

PARKING CALCULATIONS			
MOTOR VEHICLE PARKING			
REQUIRED - PARKING CALCULATIONS MAIN BUILDING (INCL. ADDITION)			
GRADES 7&8 = 1.5 STALLS/CLASS x 19 CLASSROOMS = 29 SPACES			
GRADES 9-12 = 2 STALLS/CLASS x 37 CLASSROOMS = 74 SPACES			
TOTAL REQUIRED PARKING SPACES MAIN BUILDING	103 SPACES		
REQUIRED - PARKING CALCULATIONS 16 EXISTING PORTABLES			
GRADES 7&8 = 1.5 STALLS/CLASS x 8 PORTABLES = 12 SPACES			
GRADES 9-12 = 2 STALLS/CLASS x 8 PORTABLES = 16 SPACES			
TOTAL REQUIRED PORTABLE PARKING SPACES	28 SPACES		
TOTAL REQUIRED ADDITIONAL PARKING SPACES FOR THE PHYSICALLY DISABLED PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARD 3.1.2 TABLE 3.			
TYPE A	2 SPACES		
TYPE B	3 SPACES		
PROVIDED PARKING SPACES	141 SPACES		
REQUIRED BICYCLE PARKING			
MAIN BUILDING INCLUDING ADDITION	7,963m ²	1 / 100m ²	80 SPACES
EXISTING PORTABLES	1,072m ²	1 / 100m ²	11 SPACES
TOTAL REQUIRED PARKING SPACES	91 SPACES		
TOTAL SPACES PROVIDED	108 SPACES		
LOADING SPACES (3.5m X 7m)			
REQUIRED USE	GROSS AREA	TABLE 113A	SPACES REQ'D
SCHOOL	9,035m ²	COLUMN VI	2 SPACES
TOTAL SPACES PROVIDED	2 SPACES		

SITE DATA		
ANNIS, O'SULLIVAN, VOLLEBECK SURVEYING LTD. (613)-727-0850 JOB NO: 19381-17		
LEGAL DESCRIPTION: PART OF LOTS 2 AND 3 CONCESSION 3 GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA		
LOT AREA	50,587 m ²	
FOOTPRINT		
EXISTING SCHOOL FOOTPRINT	6,866 m ²	
NEW ADDITION FOOTPRINT	1,050 m ²	
EXISTING PORTABLES FOOTPRINT	1,157 m ²	
GROSS FLOOR AREA (GFA) (AS PER CITY OF OTTAWA ZONING DEFINITION)		
EXISTING SCHOOL GFA	6,835 m ²	
NEW ADDITION GFA	1,328 m ²	
EXISTING PORTABLES GFA	1,072 m ²	
TOTAL GROSS FLOOR AREA	9,035 m ²	
CITY OF OTTAWA ZONING		
ZONING - 11B SUBZONE	REQUIRED	PROVIDED
LOT AREA	MIN. 400.0m ²	50,597m ²
LOT WIDTH	MIN. 15.0m	209m
LOT COVERAGE	MAX. 35%	16%
BUILDING HEIGHT	MAX. 13.0m	11.8m
FRONT YARD SETBACK	MIN. 7.5m	10.5m
REAR YARD SETBACK	MIN. 7.5m	134.9m
INTERIOR SIDE YARD SETBACK	MIN. 7.5m	43.0m
CORNER SIDE YARD SETBACK	MIN. 4.5m	9.1m

- ### DRAWING NOTES
- EXISTING PORTABLES
 - EXISTING PRECAST CONCRETE SHED
 - EXISTING GARBAGE ENCLOSURE
 - EXISTING TRANSFORMER
 - ARMOUR STONE SEATING CIRCLE NEW LOCATION

- ### GENERAL NOTES
- EXTENT OF CONTRACT IS LIMITED TO WITHIN PROPERTY EXCEPT WHERE SHOWN OTHERWISE.
 - ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO CITY OF OTTAWA CONSTRUCTION STANDARDS.
 - FOR LANDSCAPE/PLANTING DETAILS SEE DRAWING AS PREPARED BY JBLA.
 - FOR SITE GRADING INFORMATION SEE GRADING & DRAINAGE DRAWING AS PREPARED BY WSP.
 - FOR SITE SERVICES INFORMATION SEE SITE SERVICES DRAWING AS PREPARED BY WSP.
 - FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY EXP SERVICES.
 - SLOPES OF CONCRETE/PAVING AT DEPRESSED CURBS SHALL NOT EXCEED 5%.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.
 - FOR SITE SURVEY INFORMATION, SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY .

LEGEND

	BARRIER FREE PARKING
	BUILDING ENTRANCE/EXIT
	EXISTING BOLLARD TO REMAIN
	EXISTING CURB
	EXISTING DEPRESSED CURB
	EXISTING SEMI-MOUNTABLE DEPRESSED CURB
	EXISTING CHAIN LINK FENCE TO REMAIN
	TO BE DEMOLISHED / REMOVED
	ROAD CENTER LINE
	FIRE ROUTE
	SET BACK LINE
	PROPERTY LOT LINE
	EXISTING FIRE ROUTE SIGN TO REMAIN
	EXISTING HANDICAPPED PARKING SIGN TO REMAIN
	EXISTING DROP-OFF SIGN TO REMAIN
	EXISTING ONE WAY SIGN TO REMAIN
	EXISTING NO ENTRY SIGN TO REMAIN
	EXISTING NO PARKING SIGN
	EXISTING LOADING AREA SIGN TO REMAIN
	EXISTING MISC. TRAFFIC SIGN TO REMAIN
	EXISTING LIGHT STANDARD TO REMAIN
	EXISTING IRON BAR (REFER TO SURVEY)
	EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN
	EXISTING FIRE HYDRANT TO REMAIN
	EXISTING MAN HOLE TO REMAIN
	EXISTING CATCH BASIN TO REMAIN
	EXISTING FLAG POLE TO REMAIN
	NEW BOLLARD
	NEW CURB
	NEW DEPRESSED CURB
	NEW MAN HOLE (REFER TO CIVIL)
	NEW CATCH BASIN (REFER TO CIVIL)

LEGEND

	SHADE INDICATES EXISTING TO REMAIN
	EXISTING UNIT PAVERS TO REMAIN
	EXISTING UNIT PAVERS WITH HEAVY DUTY GRANULAR BASE TO REMAIN
	EXISTING HEAVY DUTY ASPHALT PAVING TO REMAIN
	EXISTING LIGHT DUTY ASPHALT PAVING TO REMAIN
	EXISTING CONCRETE WALK TO REMAIN
	EXISTING CRUSHED STONE PATHWAY TO REMAIN
	EXISTING MULCH TO REMAIN
	EXISTING TREES TO REMAIN (REFER TO LANDSCAPE DOCUMENTS)
	EXISTING ARMOUR STONE RETAINING WALL
	NEW ASPHALT - LIGHT DUTY (REFER TO SPEC.)
	NEW CONCRETE WALK
	NEW GRASS (REFER TO LANDSCAPE DOCUMENTS)
	NEW TREES (REFER TO LANDSCAPE DOCUMENTS)

3	0	2023/06/02	ISSUED FOR FINAL SITE PLAN SUBMISSION
2	0	2023/04/26	SPC COMMENTS 01 RESPONSE
1	0	2022/11/11	ISSUED FOR SITE PLAN CONTROL

ISSUE NO.	REV. NO.	DATE	ISSUE

LES IDÉES, CONCEPTS, DISPOSITIONS ET PLANS MONTRÉS OU REPRÉSENTÉS PAR CE DESSIN APPARTIENNENT À EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET ONT ÉTÉ CRÉÉS ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PRÉSENT PROJET. ILS NE DOIVENT PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À QUI QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC.

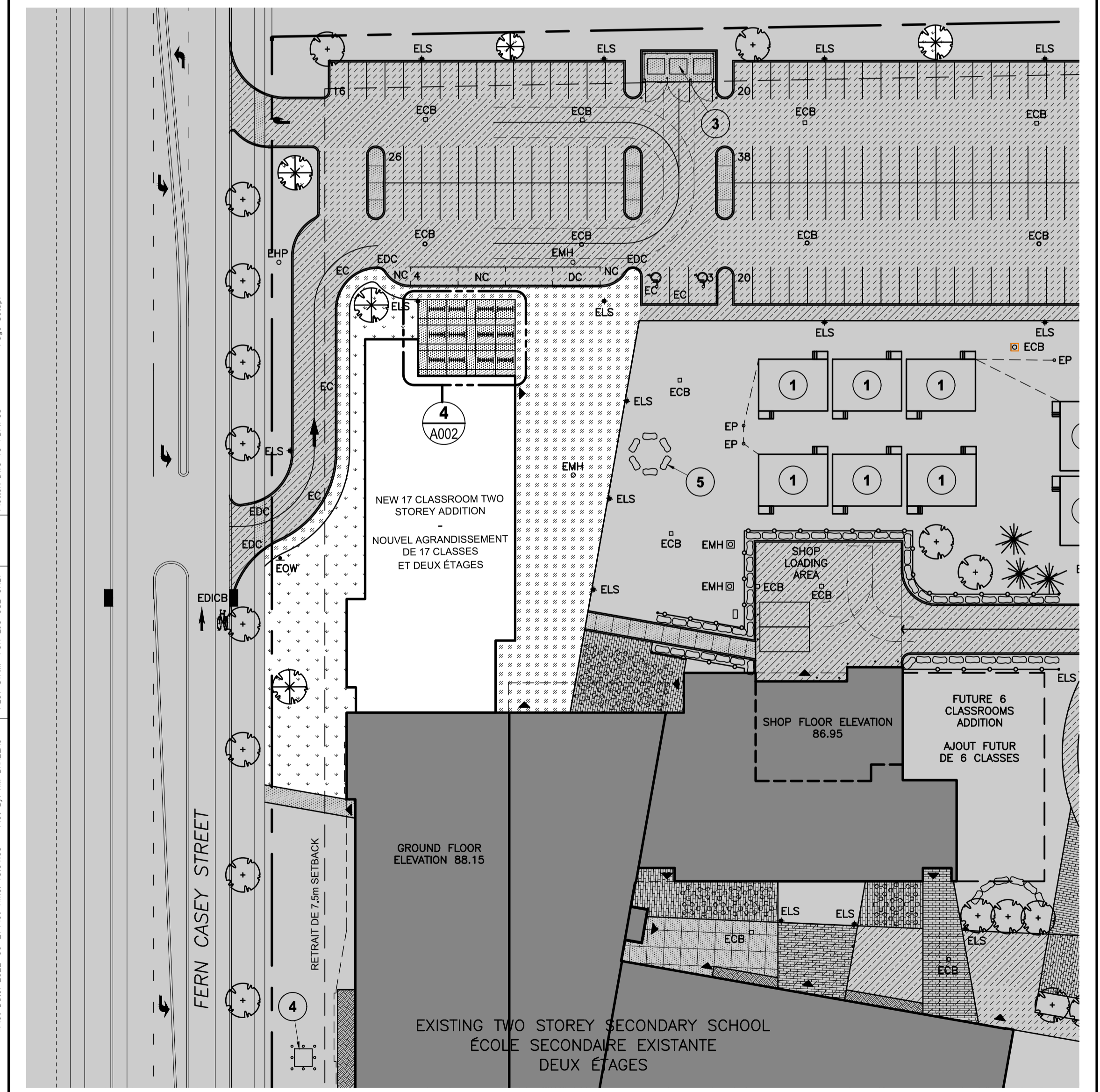
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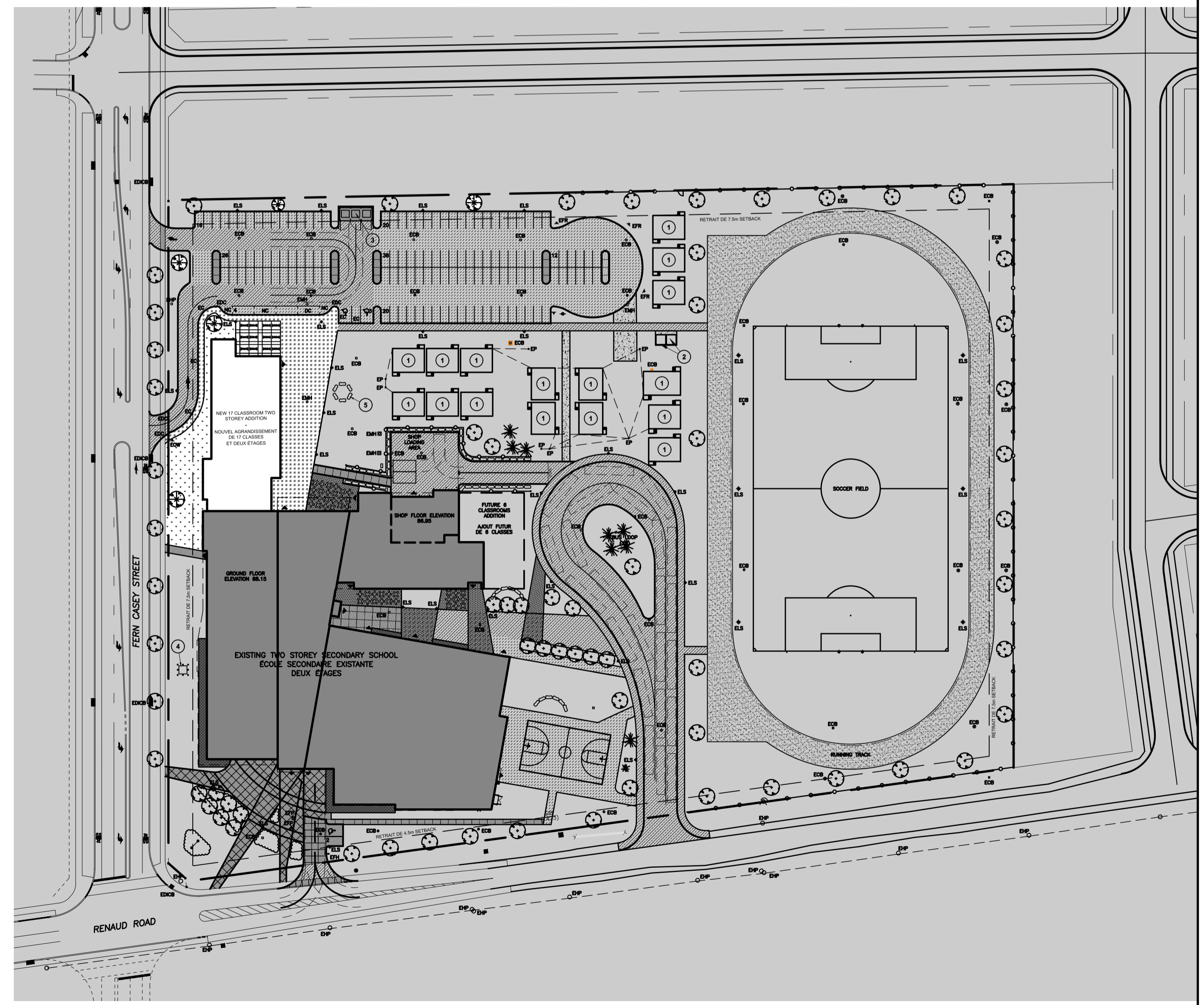
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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS



1 SITE PLAN - ADDITION
A001 1:500



2 SITE PLAN - OVERALL
A001 1:1000

TRUE NORTH PLAN NORTH

EDWARD J. CUHACI & ASSOCIATES ARCHITECTS Inc.
171 Slater St. Suite 100, Ottawa, Ontario, K1P 5H7
Fax: (613) 238-1944 Telephone: (613) 238-7135 E-mail: info@cuhaci.com

PROJECT TITLE/TITRE DU PROJET
COLLÈGE CATHOLIQUE MER BLEUE - ADDITION
6401 RENAUD RD, OTTAWA, ON, K1W 0H8

CONSEIL DES ÉCOLES CATHOLIQUES DU CENTRE-EST
4000, RUE LABELLE, OTTAWA, ON K1J 1A1

DRAWING TITLE/TITRE DU DESSIN
SITE PLAN

SCALE ÉCHELLE	PROJ. No 2237	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	DRAWING/DESSIN		
CHECKED BY VÉRIFIÉ PAR	JJ		
DATE	2022		

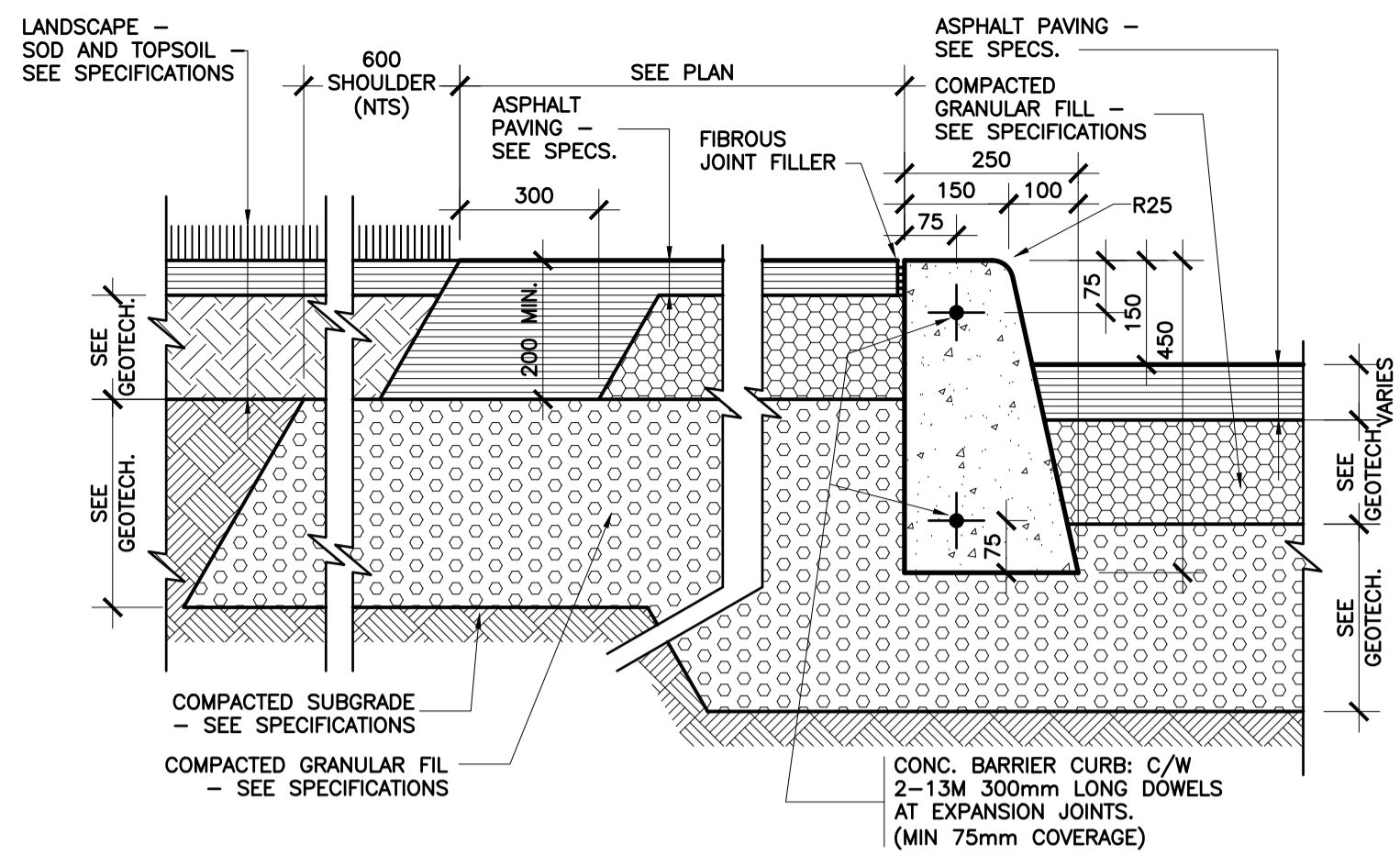
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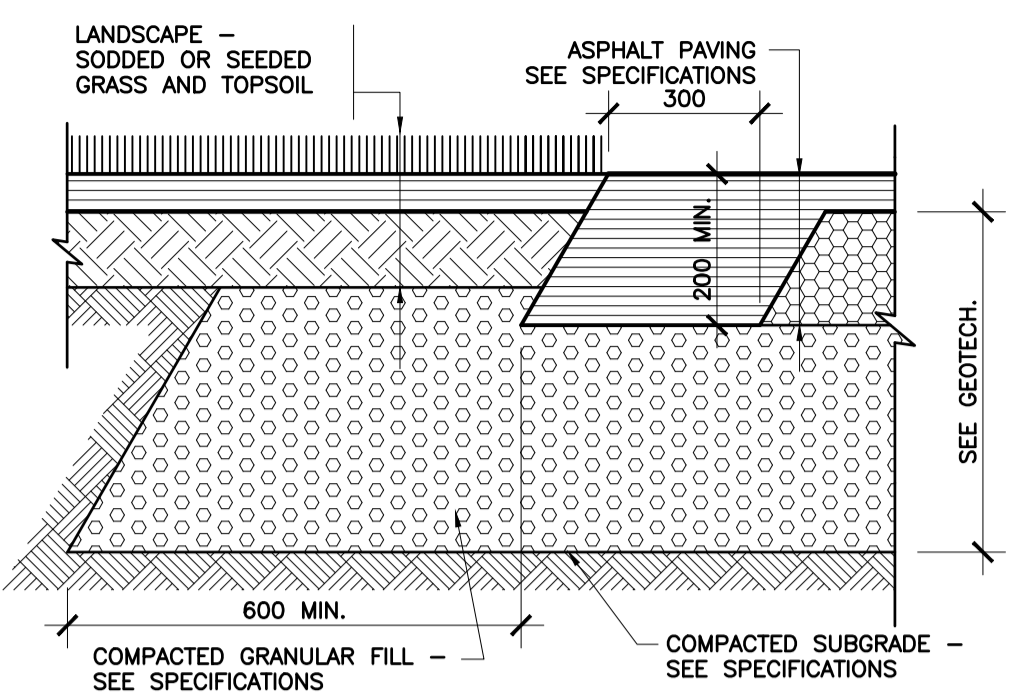
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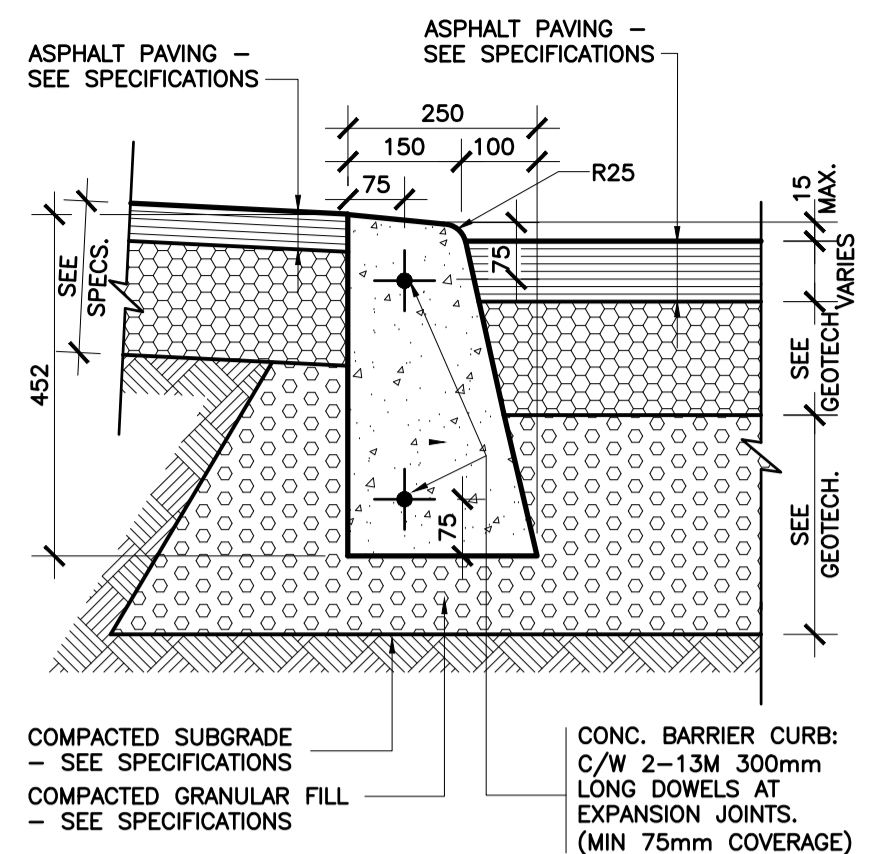
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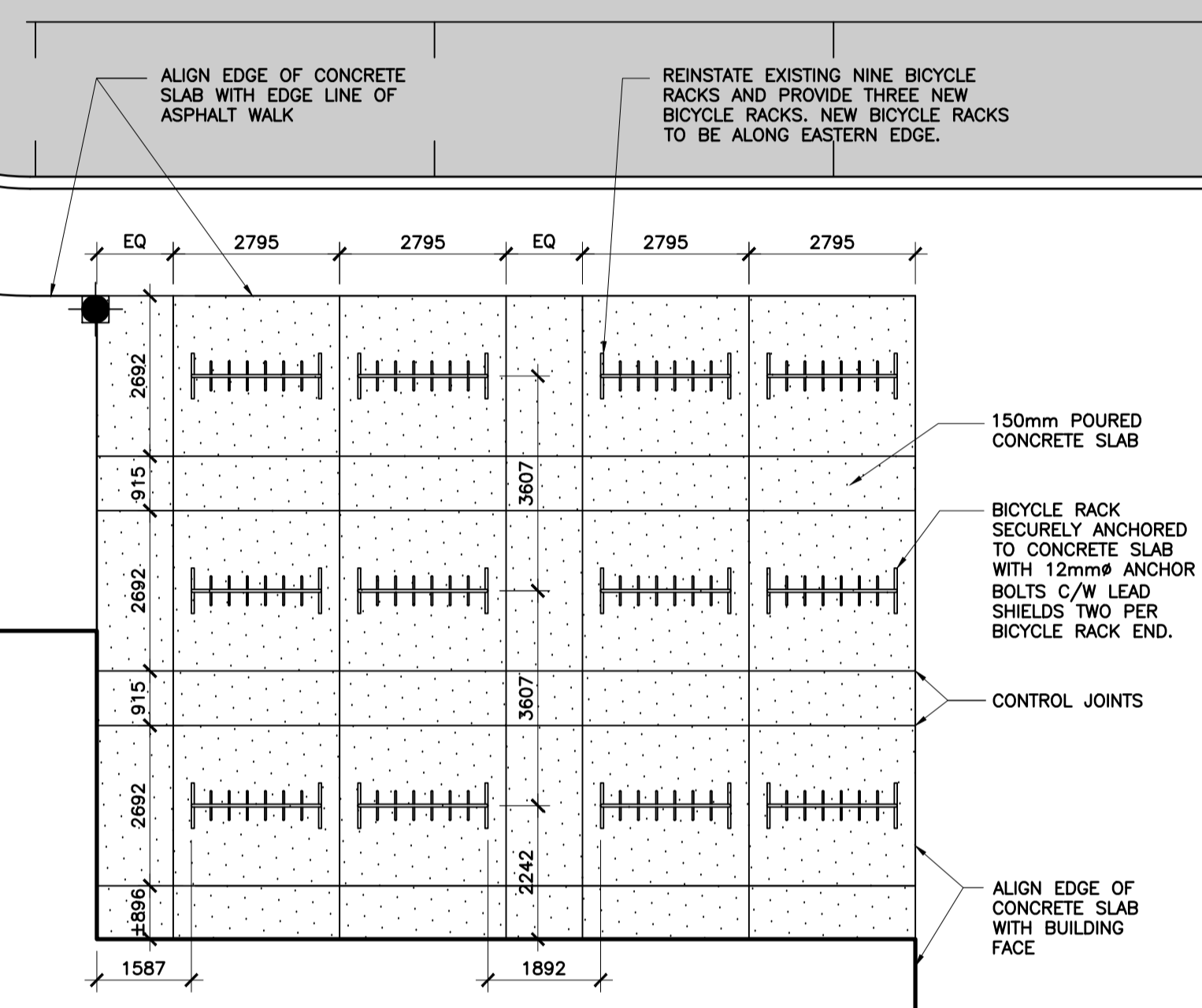
SECTION DETAIL
1 ASPHALT SIDEWALK
 A002 1:10



SECTION DETAIL
2 ASPHALT AT GRASS
 A002 1:10



SECTION DETAIL
3 DEPRESSED CURB AT ASPHALT WALK
 A002 1:10



PLAN DETAIL
4 BICYCLE PARKING
 A002 1:100

G. Wildman
GERALDINE WILDMAN
 ACTING MANAGER, DEVELOPMENT REVIEW, EAST
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
 DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Geraldine Wildman at 7:57 pm, Jun 22, 2023



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3	0	2023/06/02	ISSUED FOR FINAL SITE PLAN SUBMISSION
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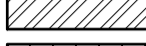


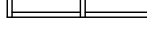
DRAWING TITLE/TITRE DU DESSIN
SITE DETAILS

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DRAWN BY	DRAWING/DESSIN		
DESSINÉ PAR	TB	A002	
CHECKED BY	JJ	FICHER ACAD FILE: 2237-A002 SPC.dwg	
VERIFIÉ PAR			
DATE	2022		

Plot Date: 2022-06-27 Plot Time: 15:54:53 Plot By: TB (810204) PLOT STAMP FOR USE ONLY Plotter: DWG TO PDF PLT

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LEGEND

-  EXISTING BUILDING
-  TILT-UP CONCRETE PANEL - PAINT COLOUR 1
-  TILT-UP CONCRETE PANEL - PAINT COLOUR 2
-  TILT-UP CONCRETE PANEL - PAINT COLOUR 3
-  TILT-UP CONCRETE PANEL - PAINT COLOUR 4
-  REUSED EXISTING COMPOSITE ALUMINUM PANELS
-  THIN BRICK VENEER ON TILT-UP PANEL
-  SPANDREL GLAZING
-  GLAZED CURTAIN WALL

G. Wildman

GERALDINE WILDMAN
ACTING MANAGER, DEVELOPMENT REVIEW, EAST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Geraldine Wildman at 7:58 pm, Jun 22, 2023

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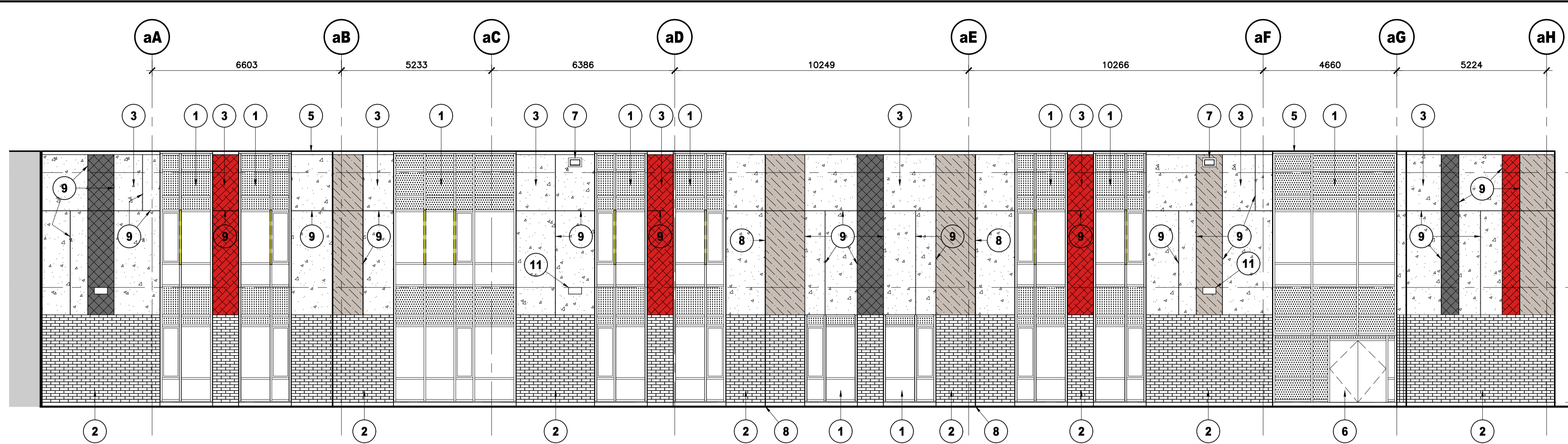
DRAWING NOTES

- 1 NEW CURTAIN WALL ASSEMBLY, REFER TO WINDOW SCHEDULE
- 2 NEW TILT-UP CONCRETE PANEL WITH THIN BRICK VENEER
- 3 NEW TILT-UP CONCRETE PANEL WITH PAINT FINISH, REFER TO LEGEND.
- 4 NEW TILT-UP CONCRETE PANEL WITH RELOCATED EXISTING COMPOSITE ALUMINUM PANELS. REFER TO DETAILS FOR ARRANGEMENT INFORMATION.
- 5 NEW PARAPET CAP FLASHING
- 6 NEW ALUMINUM DOOR, REFER TO DOOR SCHEDULE
- 7 NEW OVERFLOW ROOF SCUPPER
- 8 NEW TILT-UP CONCRETE PANEL JOINT
- 9 NEW TILT-UP CONCRETE 13mm WIDE REVEAL JOINTS, REFER TO DETAIL. ALIGN WITH CENTER OF NEIGHBOURING CURTAIN WALL MULLIONS WHERE APPLICABLE. ALIGN WITH EDGE OF CURTAIN WALL ROUGH OPENING/BRICK RETURN FACE WHERE APPLICABLE.
- 10 GRADE, REFER TO CIVIL DOCUMENTS
- 11 EXTERIOR WALL MOUNTED LIGHT FIXTURE, REFER TO ELECTRICAL CENTER LIGHTS ON PANEL BETWEEN PANEL VERTICAL REVEALS AND PANEL EDGE.

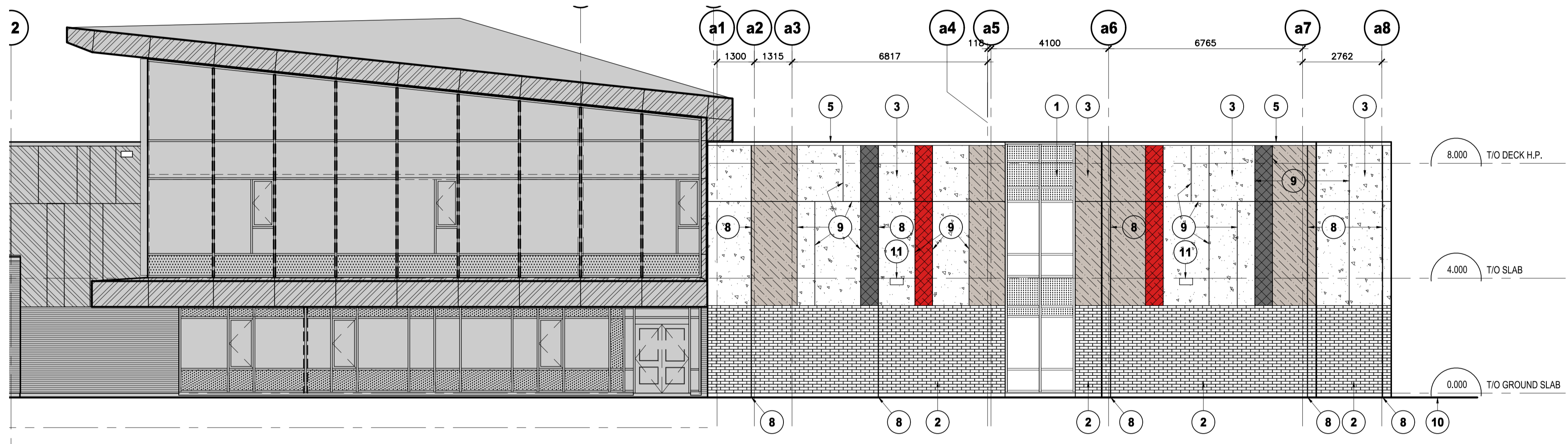
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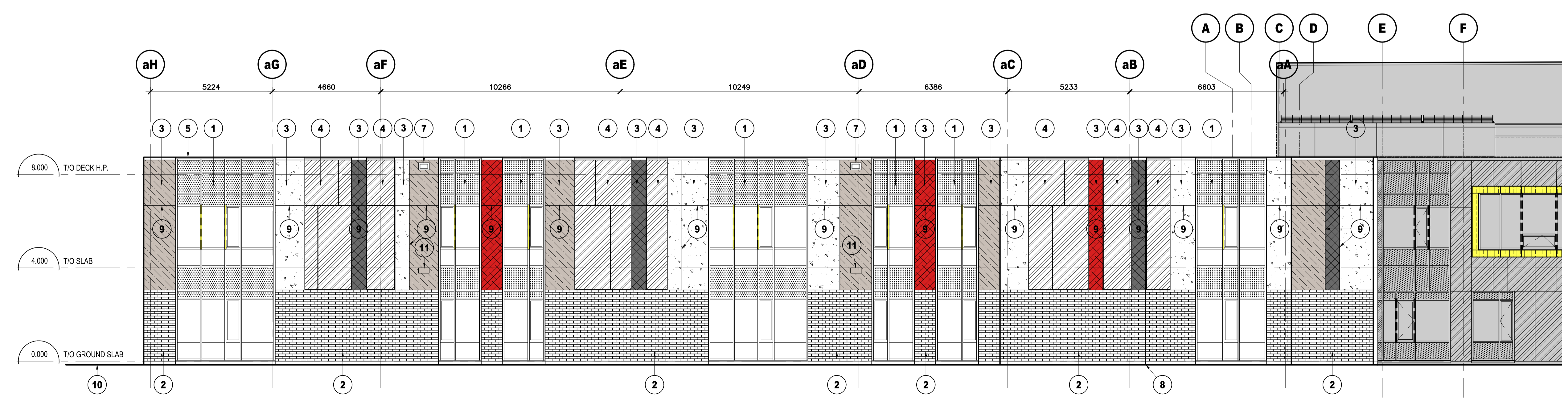
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2 EAST ADDITION ELEVATION
A200 1:100



3 SOUTH ADDITION ELEVATION
A200 1:100



4 WEST ADDITION ELEVATION
A200 1:100

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DRAWING TITLE/TITRE DU DESSIN
SITE PLAN

SCALE ÉCHELLE	PROJ. No 2237	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	DRAWING/DESSIN		
CHECKED BY VÉRIFIÉ PAR	TB/JJ		
DATE	2022	A200	
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