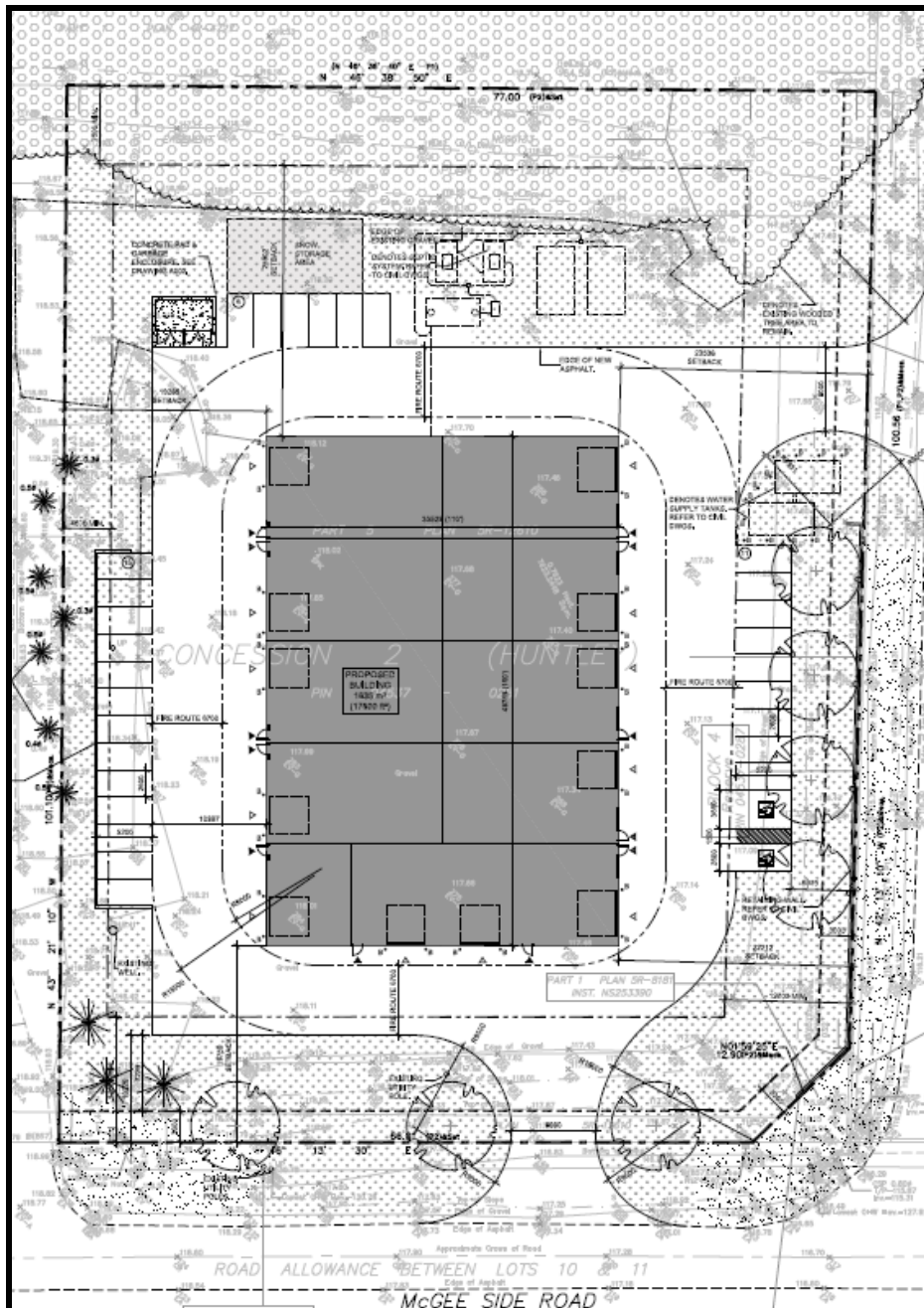


**PLANNING RATIONALE REPORT  
2167 MCGEE SIDE ROAD: SITE PLAN APPLICATION**

**PREPARED BY: P H ROBINSON CONSULTING  
JUNE 2023**



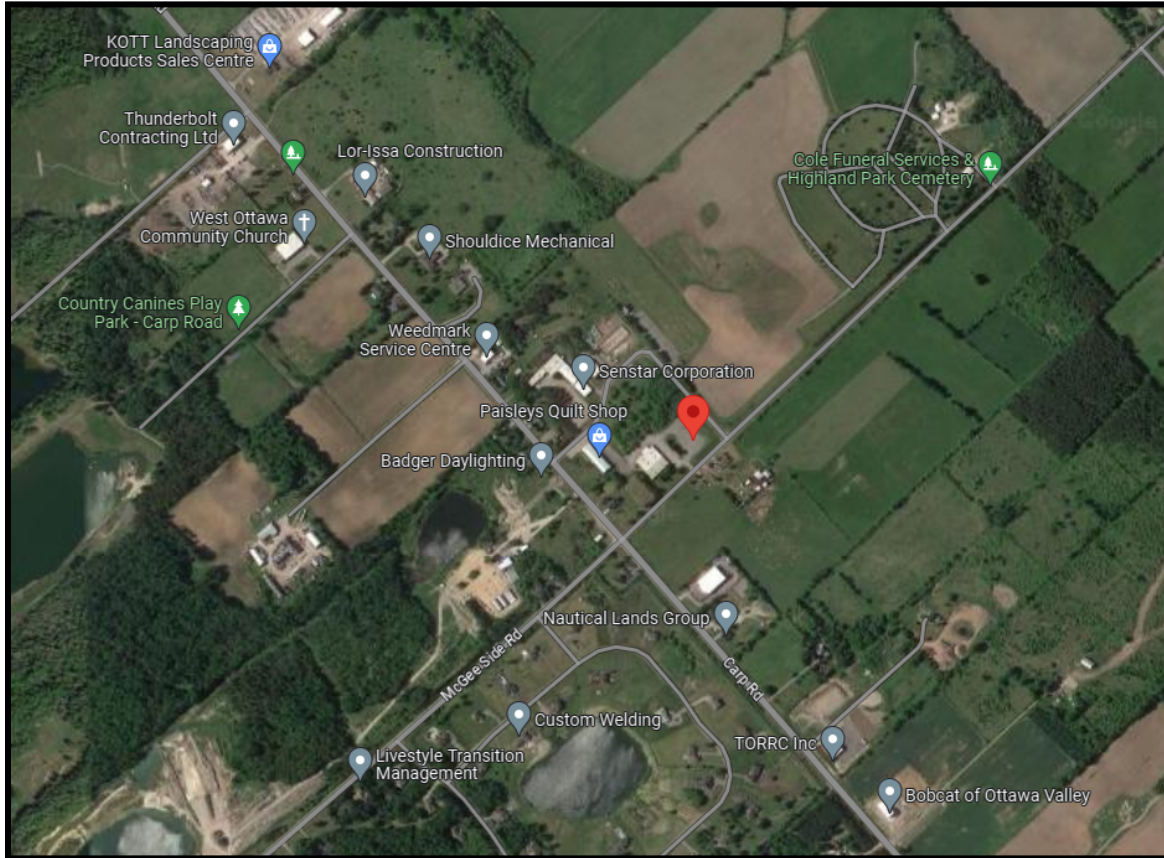
[P. H. Robinson Consulting](#)  
[Urban Planning, Consulting and Project Management](#)

This report has been prepared in support of a Site Plan Control Application for the property at 2167 McGee Side Road. The legal description of the property is Parts of Lot 11, Concession 2, Geographic Township of Huntley now in the City of Ottawa (P.I.N 04537-0281).

This property is subject to a Site Plan Control application submitted in September 2021 (D07-12-21-0027). Since that time the ownership, building size, parking area, entrances, garbage storage, and proposed septic bed location have changed. The ownership went from CLS Roofing LTD to Stoked Industries as the owner of CLS Roofing passed away suddenly during the SPC review process.

After the land was purchased by Stoked Industries, the building size increased from two warehouse units and one office unit at 683m<sup>2</sup> GFA to ten warehouse units plus mezzanine level at 1853m<sup>2</sup> GFA. By consequence, the parking area also increased from a total of 20 spaces to 30 spaces. The increase in building and parking area did not result in the removal of additional trees as the majority of the site is currently gravel. Many of the existing trees are located in the north end of the site within a drainage easement in favour of the property to the west. The site now features two entrances (McGee Side Rd. and John Cavanaugh Dr.) rather than one (McGee Side Rd.). The garbage storage area has been relocated from the west property line to the north, and the site also now has a designated snow storage area. Additionally, instead of proposing to use the previous location of the septic system, we are proposing a new location for the septic system along the north property line.

The property is located at the northwest corner of McGee Side Road and John Cavanaugh Drive between the communities of Stittsville and Carp (see **Location plan**).



### Location plan of 2167 McGee Side Rd.

Surrounding land uses consist of a variety of industrial, technology and office uses on McGee Side Road and John Cavanaugh Cenote and also some agricultural uses to the south and institutional uses to the east (Highland Park Cemetery uses). Further to the southwest there is an estate residential subdivision approximately 300 m away on the west side of Carp Road.

The subject property has a frontage of approximately 75 m (246') on the north side of McGee Side Road and also approximately 100 m (330') on the west side of John Cavanaugh Drive. The overall lot area is 7622 m<sup>2</sup> (0.76 ha) (1.88 ac).

Currently the property is vacant and there is some vegetation along the north property line. (see photos on the following page). The first photo shows the view along McGee Side Road looking to the north into the site and the second photo shows the view along John Cavanaugh with the lands to be developed on the site on the left and the wooded area to be retained on the right hand side of the photo. The third photo is taken in the interior of the site looking to the south.

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The intent of the Site Plan Control application is to allow for the development of a new warehouse with some ancillary office space building. (see **Site Plan drawing showing proposed building and elevation drawings** in the Appendix Section). The new building has dimensions of approximately 33.5 m x 48.8 m at its maximum dimensions and a building floor area of 1,635 m<sup>2</sup> (17,600 ft<sup>2</sup>) and the building height is 7.3 m (24') to the top of the steel walls, and 8.7m (28.6 ') to the underside of the roof at its peak. Therefore the maximum building height as per the Zoning By-Law is 8 m (27').

The property is owned by Stoked Industries Inc which is a family-run business operating in the Ottawa area. In the past, the Site Plan application for this property was in its final stages of review when the previous owner passed away. The plans have changed slightly to incorporate a different shape and size, but has maintained the proposed warehouse use on private services.

There will be sodded areas along the street frontages of the property, along the west property line and the existing forested area at the rear (north side) of the property will not be altered.



**View looking into the property from McGee Side Road.**



**Image of the property with the area to be developed on the site on the left and the wooded area to remain on the right. (Source: Google Street View)**

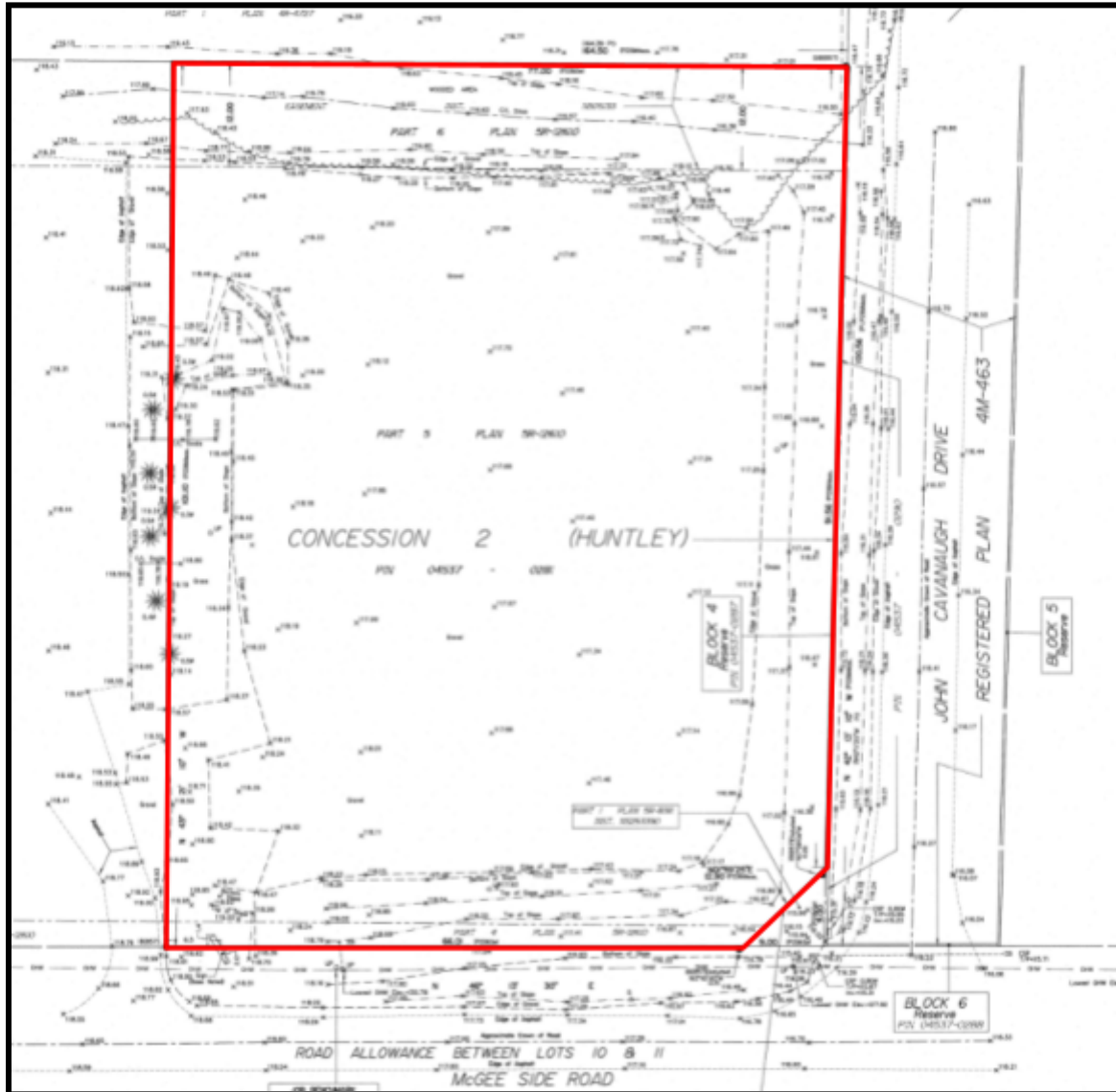


**Photo taken from the interior of the property looking towards the south and McGee Side Road. The interior of the property has large areas of gravel as a base.**

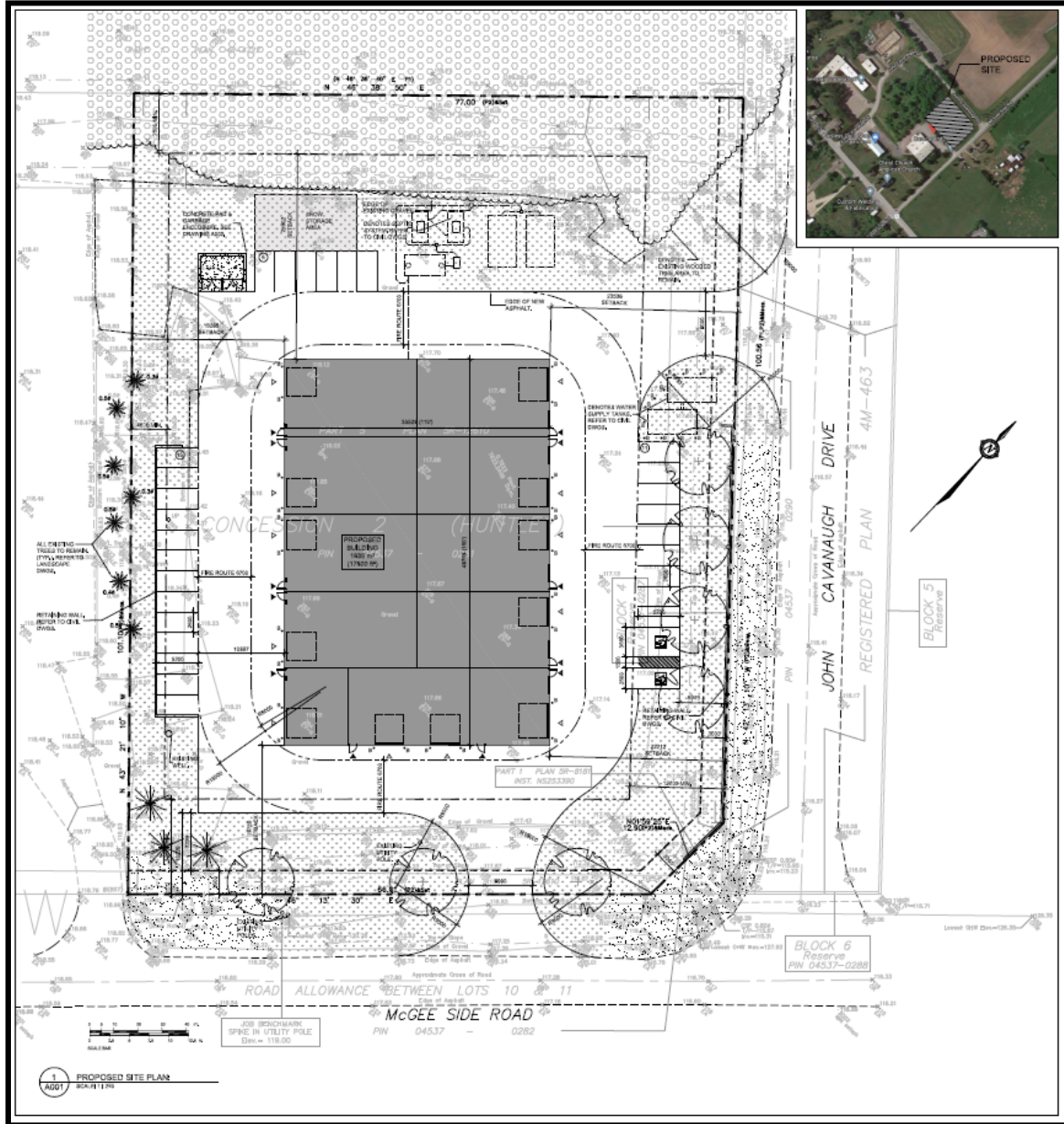
P. H. Robinson Consulting  
Urban Planning, Consulting and Project Management

The proposal will have one site access on McGee Side road and one site access from John Cavanaugh Drive. A servicing study that addressed the ability of the property to be serviced is being filed with this Site Plan application. No major issues or concerns were identified in the servicing study.

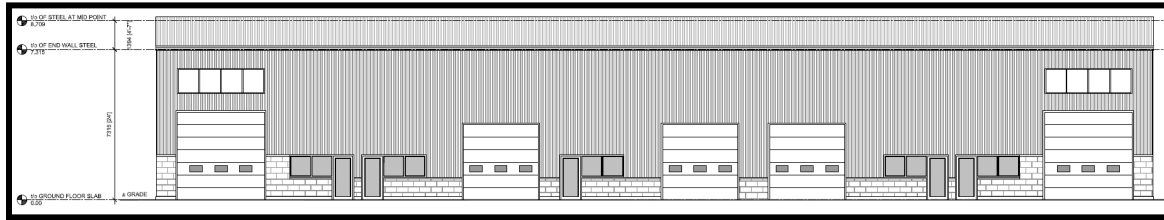
Architectural drawings showing the floor plans, exterior elevation drawings, survey plans, and servicing studies/reports are also being filed with this site plan submission.



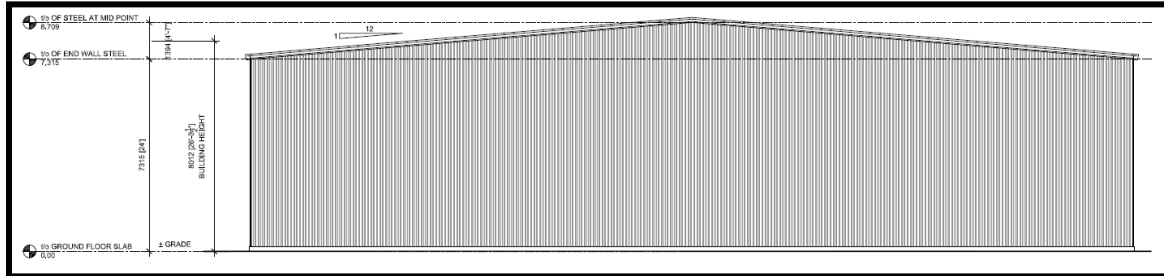
**Survey Plan of 2167 McGee Side Rd.**



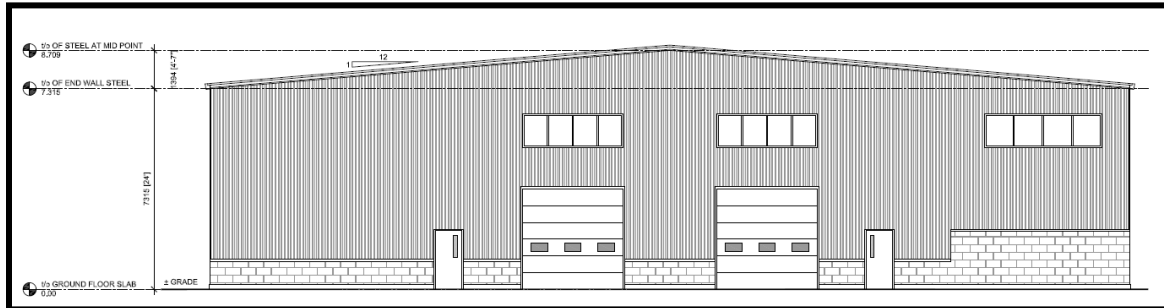
Site Plan of 2167 McGee Side Rd.



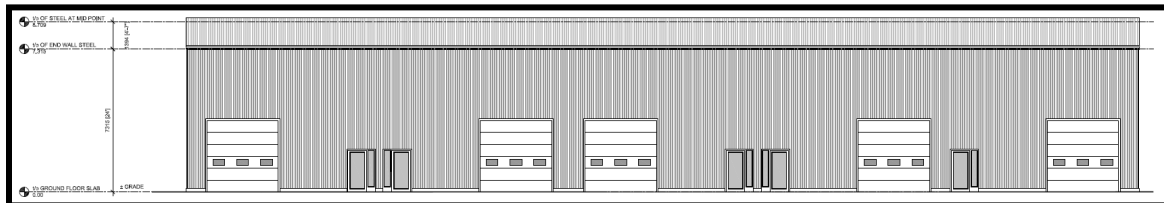
East elevation.



North elevation.



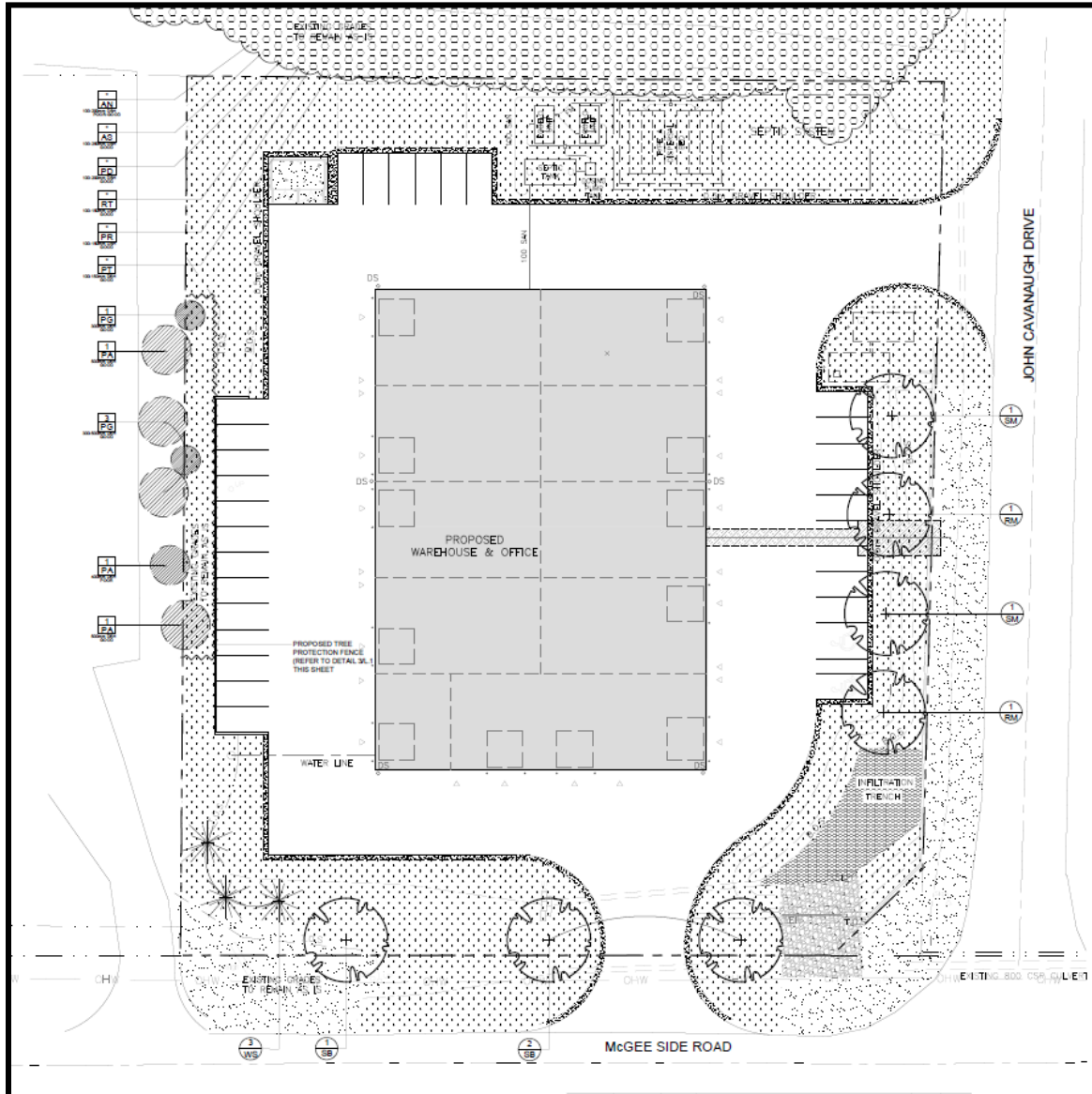
South elevation.



West elevation.

Elevations of 2167 McGee Side Rd.





**Landscape plan of 2167 McGee Side Rd.**

## **Zoning**

Under Zoning By-law 2008-250 as amended, the subject lands are located within an RG5 zone (Rural General Industrial Subzone 5). This is a zone which permits a warehouse use and an office use if it is accessory to the use being located on the same lot as a primary permitted use. The proposed uses of the site are in conformity with the existing zoning standards and the applicable setbacks and performance standards that are in effect for this zone.

As indicated in the zoning table on the site plan, the proposed building meets the performance standards related to setbacks, lot coverage and parking requirements.

The property is within an area within proximity to the east side of Carp Road and the north side of McGee Side Road that is either zoned RG5 or RI6 or in a Rural Commercial zone and the development of the property meets the purpose of this zoning classification which are to:

*The purpose of the RG – Rural General Industrial Zone is to:*

- (1) permit the development of light industrial uses in *areas mainly designated as **General Rural Area, Village and Carp Road Corridor Rural Employment** in the Official Plan;*
- (2) accommodate a range of light industrial uses and limited service commercial uses for the travelling public; and,
- (3) regulate development in a manner that respects adjacent land uses and will have a minimal impact on the surrounding rural area.

## **Provincial Policy Statement**

The current Provincial Policy Statement (PPS) outlines the key matters of Provincial planning interest with respect to land use planning decisions made by municipal approval authorities. Any decisions that are made by municipal approval authorities must be consistent with the policies of the PPS.

The following are sections of the current PPS that are applicable to additional development at 2167 McGee and a *description* of how they are applicable:

- 1.1.1 Healthy, liveable and safe communities are sustained by:
- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term; *The proposed development on the site represents an efficient intensification of the site and will not create inefficient land use patterns in the area.*
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns. *The development and land use pattern proposed on this site is a logical expansion of the nearby development on McGee and John Cavanaugh and is in keeping with the nearby general rural commercial nature of surrounding properties and will not result in environmental or safety concerns.*

- 1.1.5.5 Rural lands in municipalities. Development shall be appropriate to the infrastructure which is planned or available and avoid the need for the unjustified and/or uneconomical expansion of this infrastructure. *The proposed building will not require any additional demand on infrastructure and will not require the expansion of any infrastructure. The building will operate on private services and does not require full municipal services to be provided.*
- 1.1.5.6 Opportunities should be retained to locate new or expanding land uses that require separation from other uses. *The area along McGee Side Road and John Cavanaugh has developed over time into an area of rural commercial and warehousing and small scale commercial uses that require relatively large properties. The existing zoning permits the proposed uses in this area.*

We have completed a brief review of the Draft Provincial Policy Statement for 2023 and it is our understanding that none of the wording in the new proposed document will negatively affect the proposal.

### **Official Plan Designation – City of Ottawa Official Plan**

The site is within lands designated as a Rural Industrial and Logistics Area in the Provincially-approved Official Plan.

Rural Industrial and Logistics are intended to support uses that are not suitable in the Urban or Rural Countryside areas due to the requirements for large areas of land or separation from their activities. These uses provide for a full range of activities across multiple industry sectors, which include warehouse, distribution, light and heavy industrial uses and small offices.

Rural Industrial and Logistics areas are served by arterial roads, most of which are located in close proximity to 400 series highway interchanges to facilitate the efficient movement of goods while limiting disruption to local rural traffic.

Key policies within the Rural Industrial and Logistics Area that are applicable to this development are:

9.3.1 Permit a range of industrial activity and functions to make the best use of rural locations

(2) Development on lands designated as Rural Industrial and Logistics shall consider the following:

a) Building design, Site layout and landscape in a way that maintains and enhances the rural identity and feel of the area in which such development takes place; *The proposed site layout is sensitive to the existing vegetation to the north*

*and proposed a soft landscaped buffer in the front and corner side yards. This will maintain the rural identity and feel of the area.*

b) Appropriate screening from public roads and adjacent properties using natural vegetation, preferably existing vegetation where possible; *The vegetated buffer will act as screening from public roads, and the vegetation to be maintained screens the property from the adjacent property to the north.*

c) Outdoor amenity areas for employees and landscaping that supports the City's tree canopy targets; *The proposed development does not eliminate the tree canopy from this site and proposes to plant 11 trees to screen the property from John Cavanaugh Dr and McGee Side Rd.*

d) Accesses are designed to minimise hazards between the road on which the development fronts and its vehicular points of access. *Previously, this site was designed with one site access off of McGee Side Rd. However, the current proposal includes a second site access on the secondary road, John Cavanaugh Dr. The site parking is located away from the access points to minimise traffic hazards between the site and the road.*

(3) Development shall be supported by individual private wells and sewage systems unless the City agrees to the development of multiple lots on a small water and wastewater system in conformity with the policies in this Plan. *The proposal includes a private well and septic system that will not require the extension or expansion of city infrastructure.*

9.3.2 Maintain clusters of industrial uses to reduce incompatibilities with the rural area

(1) The following uses are permitted in Rural Industrial and Logistics areas

a) Heavy and light industrial uses, such as value-added processing, fabrication, manufacturing, equipment and supply centres, machine and vehicle sales and servicing, landscape and construction yards, nurseries; *This area of McGee Side Rd features a variety of industrial, technology, and office uses. The proposed warehouse and office uses will be compatible with the existing land uses in this area.*

### **Carp Road Corridor Community Design Plan**

In 2004, the City of Ottawa completed the Carp Road Corridor Community Design Plan (CDP) . The CDP covers lands on both sides of Carp Road from Rothbourne Road in the south to March Road in the north. It sets out land use policies for the Corridor, as well as strategies for servicing, the environment, road improvements, visual appearance and marketing of the rural employment area. It provides a framework to guide future development and addresses issues that have been identified as concerns in the community.

Within this 9 km corridor there were (in 2004) 177 businesses and approximately 2500 people working within the Corridor.

The CDP contains the following objectives:

- To promote the Carp Road Corridor as a rural employment area which is an attractive base for a wide range of industrial and commercial uses;
- To enhance the visual appearance of the corridor and maintain the rural landscape;
- To provide a plan that ensures that future land uses are compatible and the Corridor continues to be an area where people work, live and play and enjoy a rural lifestyle;
- To ensure that servicing in the corridor is adequate and meets the needs for the future;
- To ensure that Carp Road continues to function as a major arterial road that provides easy accessibility to Highway 417 and the Carp Airport and businesses in the Corridor; and
- To protect and enhance natural features.

*The proposed development of the property as a warehouse and office space meets the objectives of the Carp Road CDP. It is introducing a use compatible with other uses in the area, it is serviced privately, and the natural features of the property (along the north property line) will be maintained.*

The subject lands, as per Schedule 1 of the CDP, are within a 'Light Industrial' land use designation.

Key policies for light industrial lands within the CDP include light manufacturing plants, distribution, **warehouses**, service and repair shops, storage uses, **contractor or construction related uses**. The uses permitted should be appropriately located and well designed so as to minimise nuisance or interference with existing or proposed uses of adjoining lands.

### **Consultation details**

A pre consultation meeting was held on December 17 2020 to discuss the application with City staff and staff of the Conservation Authority. During the initial review period of this application we met with the previous City Councillor (Councillor El-Chantiry) and we will meet with the new councillor if it is appropriate to do so.

## Conclusions

The proposed development of the lands to allow for an office/warehouse/storage building is consistent with the current zoning and Official Plan policies for these lands.

The site represents a sensitive development that will allow for:

- a well designed contemporary building to be located within an area of similar light industrial/rural industrial uses that will serve the needs of the roofing business
- a building that meets the current zoning regulations.
- through setbacks to adjacent properties the building proposed is at a scale that will not cause negative impacts on surrounding properties.

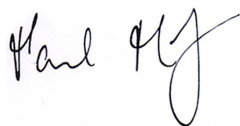
Through the site plan process there are a number of key engineering studies and drawings required in support of the development. These studies show that the site can be serviced under current engineering guidelines and requirements.

Sodded areas will be provided in the provided yards to provide screening and buffering to adjacent properties. The proposed building height of this development is less than the permitted maximum building height as outlined in the zoning by-law. Access to the site will be through two accesses, one on McGee Side Road and one on John Cavanaugh. The wooded area at the north end of the site will remain in its current state.

It is our opinion that the proposed development is consistent with the Provincial Policy Statement and the City of Ottawa Official Plan and relevant zoning regulations and represents good planning.

It is being proposed at an appropriate scale of development and is compatible with surrounding land uses and will contribute to the rural industrial community.

## P H Robinson Consulting



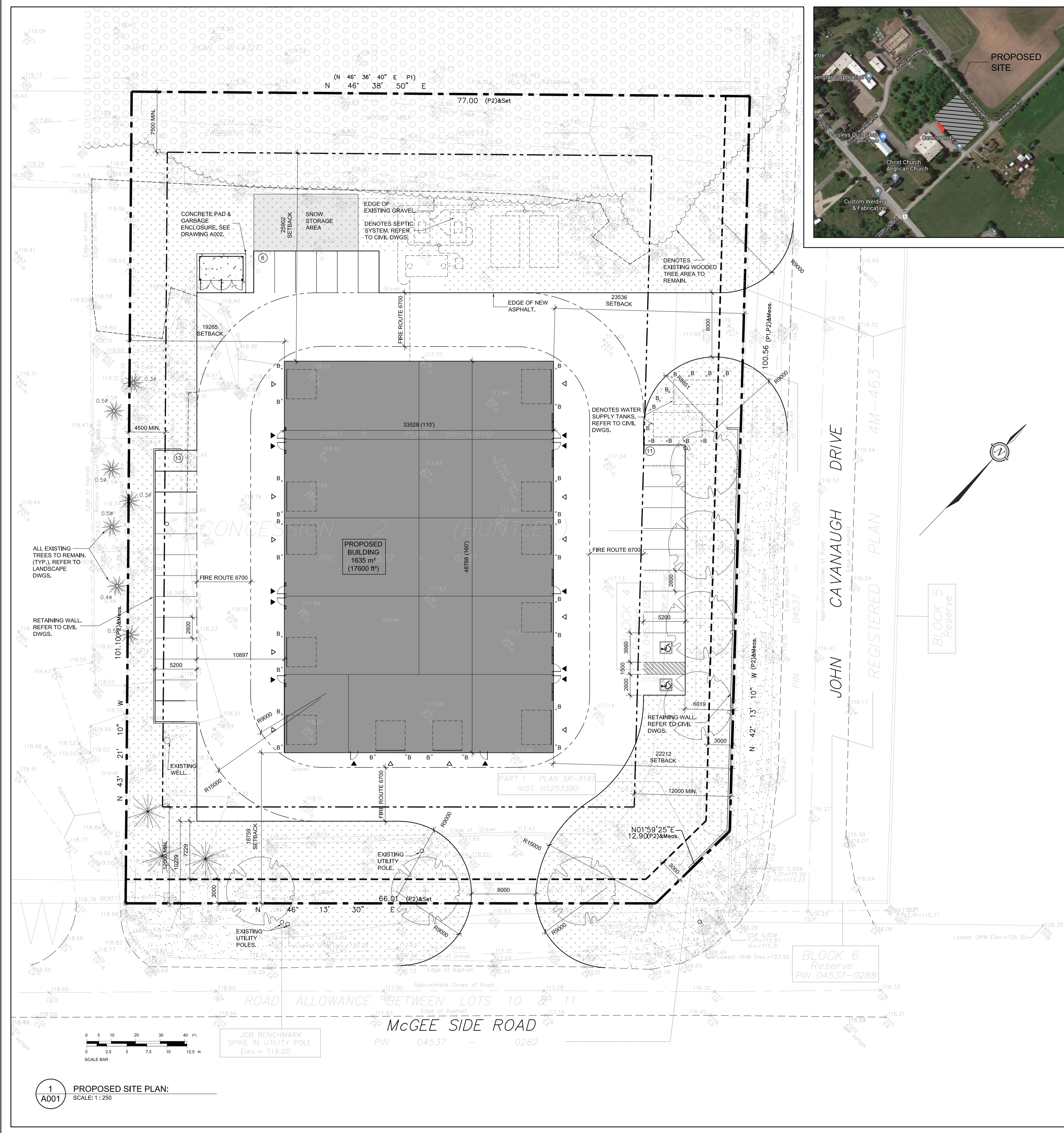
Paul Robinson RPP

**APPENDIX**

**SURVEY PLAN  
SITE PLAN  
ARCHITECTURAL ELEVATIONS  
LANDSCAPE PLAN**







LEGEND

- PROPERTY BOUNDARY LINE.
- SET BACK LINE
- LANDSCAPE BUFFER
- FIRE ROUTE LANES
- PROPOSED BUILDING
- ASPHALT
- CONCRETE SURFACE. REFER TO CIVIL DWGS.
- LANDSCAPED AREA (GRASS), REFER TO LANDSCAPE DWGS.
- WOODED LANDSCAPED AREA.
- ▲ MAN DOOR LOCATIONS.
- △ O/H DOOR LOCATIONS
- "B" DENOTES BOLLARDS, REFER TO CIVIL DWGS.

GENERAL NOTES:

1. REFER TO SURVEYOR'S REAL PROPERTY REPORT PART 1 PLAN OF PART OF LOT 11, CONCESSION 2, (GEOGRAPHIC TOWNSHIP OF HUNTLEY) CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD. ONTARIO LAND SURVEYORS.

SITE DATA:

BUILDING AREA: 1635m²

GROSS FLOOR AREA: (City of Ottawa Zoning Bylaw): Gross floor area means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:

- (a) floor area occupied by shared mechanical, service and electrical equipment that serve the building; (By-law 2008-326)
- (b) common hallways; corridors; stairwells, elevator shafts and other voids; stairs and landings; (By-law 2008-326)
- (c) bicycle parking; motor vehicle parking or loading facilities;
- (d) common laundry, storage and washroom facilities that serve the building or tenants;
- (e) common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
- (f) common amenity area and play areas accessory to a principle use on the lot; and (By-law 2008-326)
- (g) living quarters for a caretaker of the building.

GROUND FLOOR AREA (1635m²) + MEZZANINES (218m²)  
 NEW INDUSTRIAL BUILDING: 1853m²  
 TOTAL: 1853m²

GROSS AREA: (Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls or between the outside surfaces of exterior walls and the centre line of firewalls, except that, in any occupancy other than a residential occupancy, where an access or a building service penetrates a firewall, measurements shall not be taken to the centre line of such firewall.

GROUND FLOOR AREA (1635m²) + MEZZANINES (218m²)  
 NEW INDUSTRIAL BUILDING: 1853m²  
 TOTAL: 1853m²

ZONING:

- 1.0 ZONING DESIGNATIONS (Part 13):  
 RG - RURAL GENERAL INDUSTRIAL ZONE
- 2.0 ZONING PROVISIONS:  
 RG5 SUBZONES - CARP ROAD CORRIDOR :

	REQUIRED	PROVIDED
MINIMUM LOT WIDTH (m):	30	66.01
MINIMUM LOT AREA (m²):	4000	7.622
MINIMUM FRONT YARD SETBACK (m):	12	18.759
MINIMUM REAR YARD SETBACK (m):	7.5	25.902
MINIMUM INTERIOR SIDE YARD SETBACK (m):	4.5	19.265
MINIMUM CORNER SIDE YARD SETBACK (m):	12	22.212
MAXIMUM PRINCIPAL BUILDING HEIGHT (m):	15	8.012
MAXIMUM LOT COVERAGE (%):	50	21.45
LANDSCAPED AREA (%):	50	78.55
MINIMUM LANDSCAPING ABUTTING A STREET (m):	3	6.019
MINIMUM LANDSCAPING ALL OTHER CASES (m):	0	0

3.0 PARKING (Section 101):  
 AREA D ON SCHEDULE 1A.  
 Minimum Required: OFFICE 8 (2.4/100m² of GFA 332.5 m²), WAREHOUSE: 13 (0.8/100m² of GFA 1520.5 m²), TOTAL: 21  
 Provided: STANDARD SPACE: 28, BARRIER-FREE: 2, TOTAL: 30

4.0 BICYCLE PARKING (Section 111):

Not Required as per section 111 (1): NOT PROVIDED

5.0 LOADING (Section 113):

Not required as per table 113A. NOT PROVIDED

6.0 ACCESSIBLE PARKING PROVISION REQUIREMENTS (Parking Bylaw 2017-301, PART C Section 111):

Minimum Required:	1	TYPE A PARKING SPACE
	1	TYPE B PARKING SPACE
Provided:	1	TYPE A PARKING SPACE
	1	TYPE B PARKING SPACE

ISSUE	DESCRIPTION	DATE
04	FOR SITE PLAN CONTROL	30/06/2023
03	REVISED AS PER CIVIL COMMENTS	22/03/2023
02	REVISED AS PER CLIENT COMMENTS	16/02/2023
01	FOR CLIENT DISCUSSION	10/02/2023

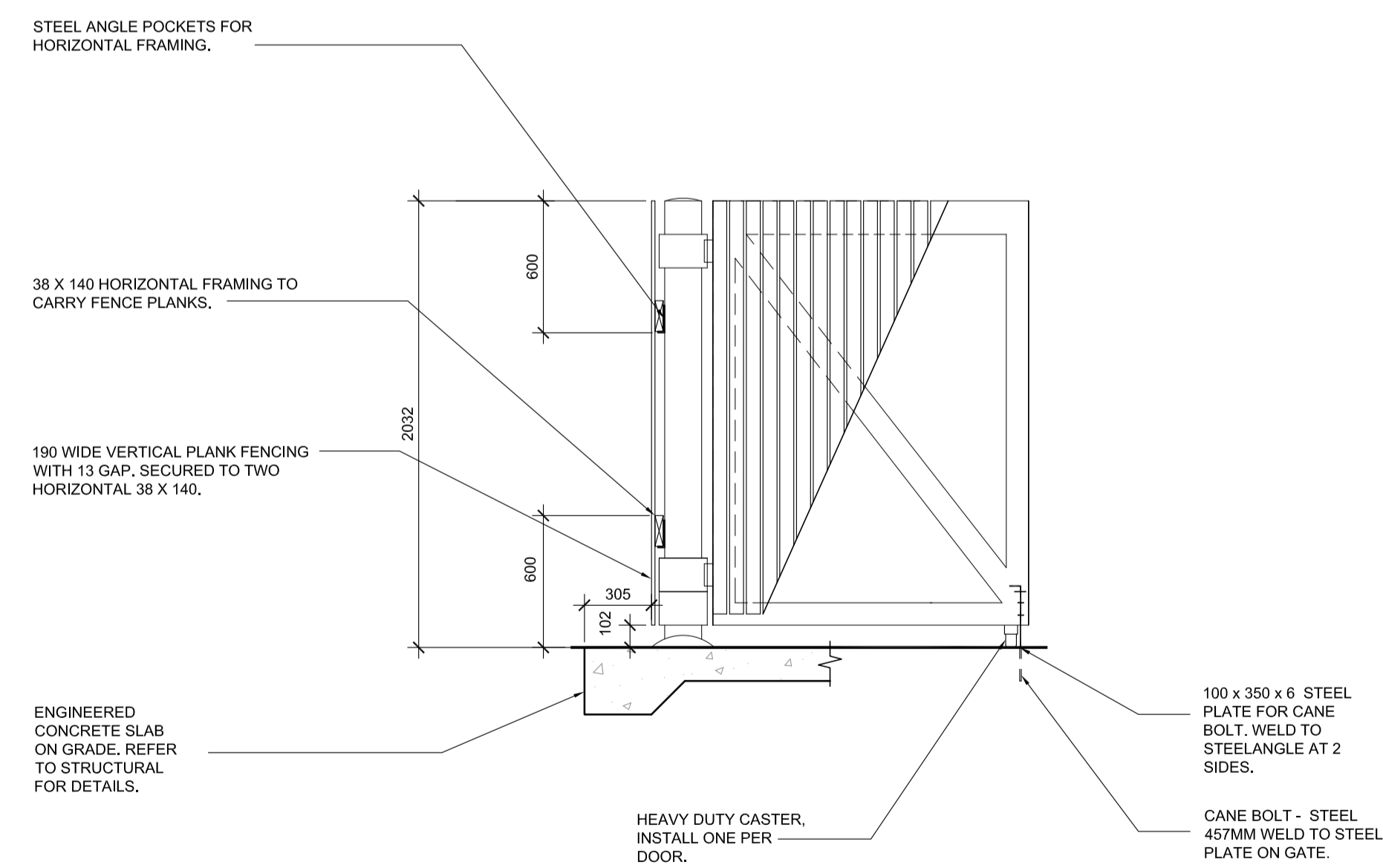
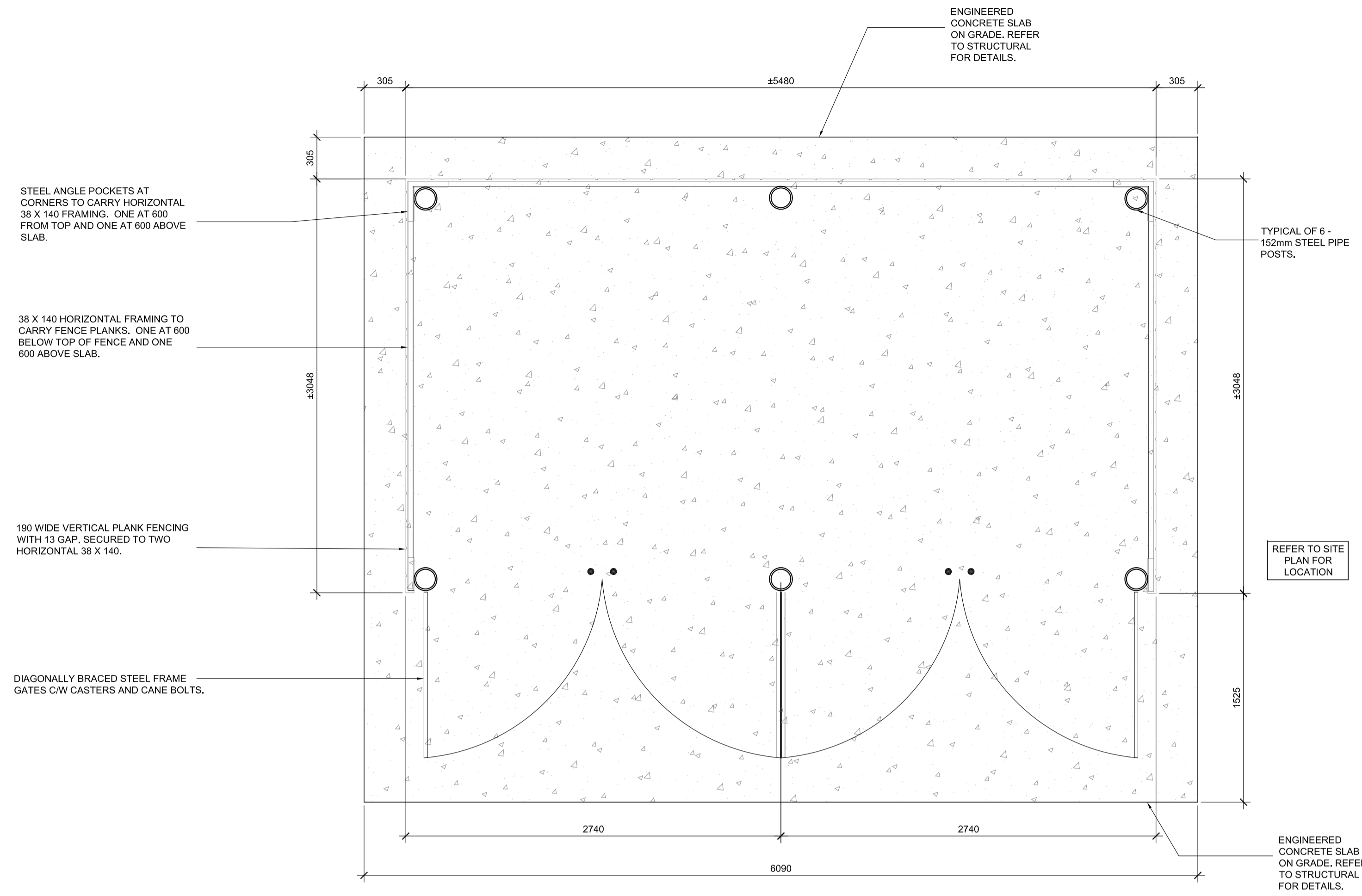
PROFESSIONAL STAMP	PROJECT NORTH

PROJECT  
**2167 MCGEE SIDE RD,  
 WAREHOUSE BUILDING**

DRAWING  
**PROPOSED  
 SITE PLAN**

PROJECT No:	060	REVISION:	03
DRAWN:	SL	DATE:	FEBRUARY 2023
APPROVED:	ES	SCALE:	AS SHOWN

DRAWING No: **A001**



1 SITE PLAN: GARBAGE ENCLOSURE PLAN & GATE DETAIL  
A002 SCALE: 1: 25

CLIENT

DBM CONSULTING INC.

ISSUE	DESCRIPTION	DATE
04	FOR SITE PLAN CONTROL	30/06/2023
03	REVISED AS PER CIVIL COMMENTS	22/03/2023
02	REVISED AS PER CLIENT COMMENTS	16/02/2023
01	FOR CLIENT DISCUSSION	10/02/2023

PROFESSIONAL STAMP	PROJECT NORTH
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PROJECT

2167 MCGEE SIDE RD,  
WAREHOUSE BUILDING

DRAWING

GARBAGE ENCLOSURE  
DETAILS

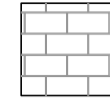
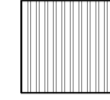
PROJECT No:	060	REVISION:	03
DRAWN:	SL	DATE:	FEBRUARY 2023
APPROVED:	ES	SCALE:	AS SHOWN

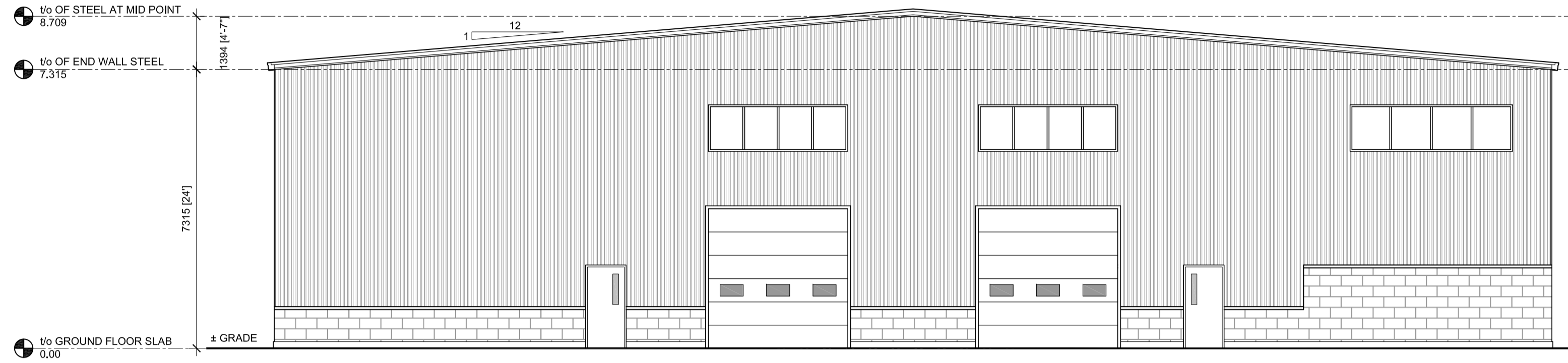
DRAWING No: **A002**

CLIENT

DBM CONSULTING INC.

**LEGEND**

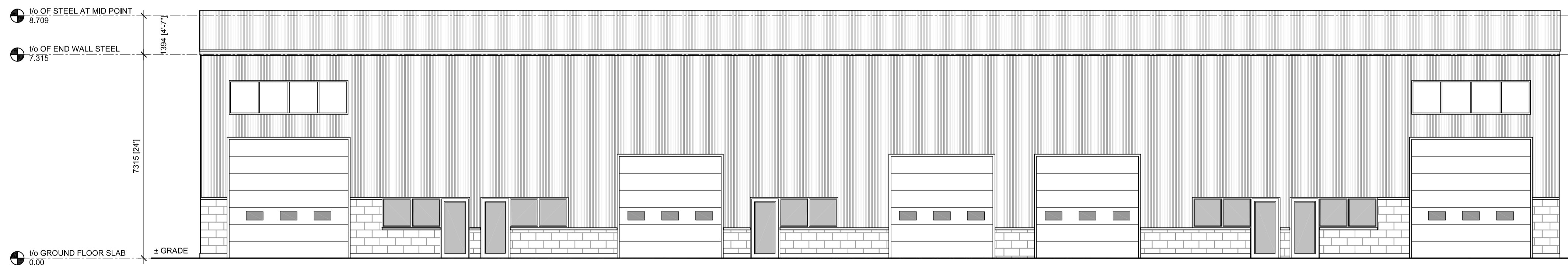
	MASONRY CLADDING.
	VERTICAL INSULATED METAL PANEL SIDING, GREY.



1 PROPOSED SOUTH ELEVATION: OPTION A  
A300 SCALE: 1:100

ISSUE	DESCRIPTION	DATE
03	FOR SITE PLAN CONTROL	30/06/2023
02	FOR CLIENT REVIEW	25/05/2023
01	FOR CLIENT DISCUSSION	17/05/2023

PROFESSIONAL STAMP PROJECT NORTH



1 PROPOSED EAST ELEVATION: OPTION A  
A300 SCALE: 1:100

PROJECT  
2167 MCGEE SIDE RD,  
WAREHOUSE BUILDING

DRAWING  
PROPOSED  
ELEVATIONS

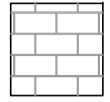
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DRAWN:	SL	DATE:	MAY 2023
APPROVED:	ES	SCALE:	AS SHOWN

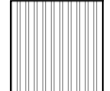
DRAWING No: **A300**

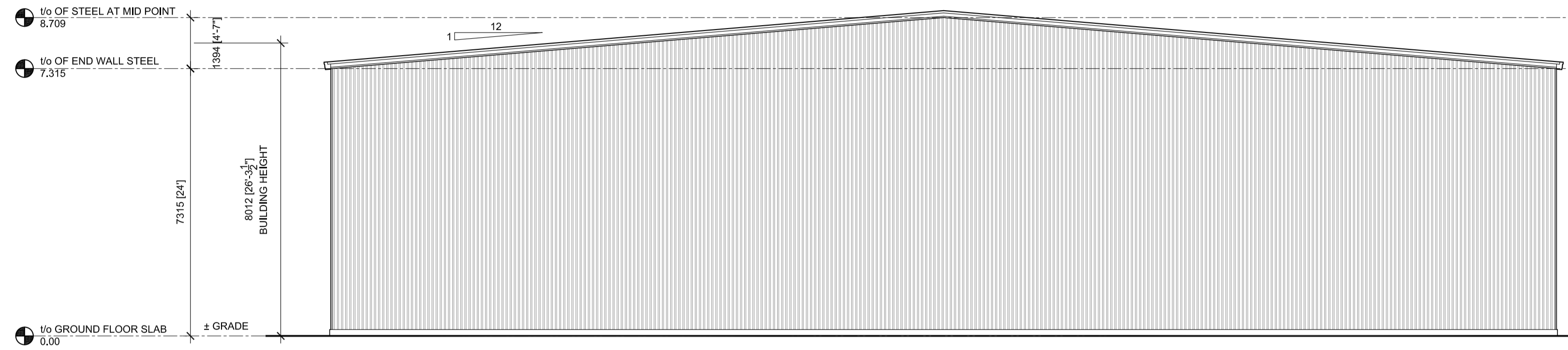
CLIENT

DBM CONSULTING INC.

**LEGEND**

 MASONRY CLADDING.

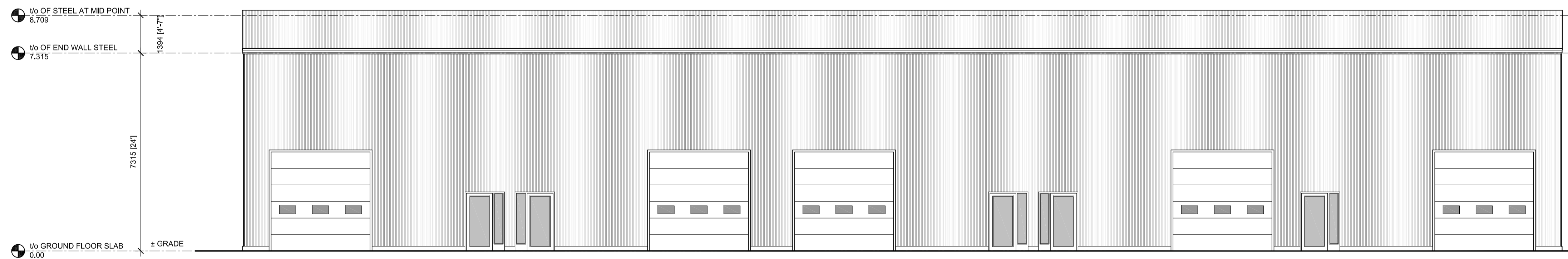
 VERTICAL INSULATED METAL PANEL SIDING, GREY.



1 PROPOSED NORTH ELEVATION: OPTION A  
A301 SCALE: 1: 100

ISSUE	DESCRIPTION	DATE
03	FOR SITE PLAN CONTROL	30/06/2023
02	FOR CLIENT REVIEW	25/05/2023
01	FOR CLIENT DISCUSSION	17/05/2023

PROFESSIONAL STAMP PROJECT NORTH



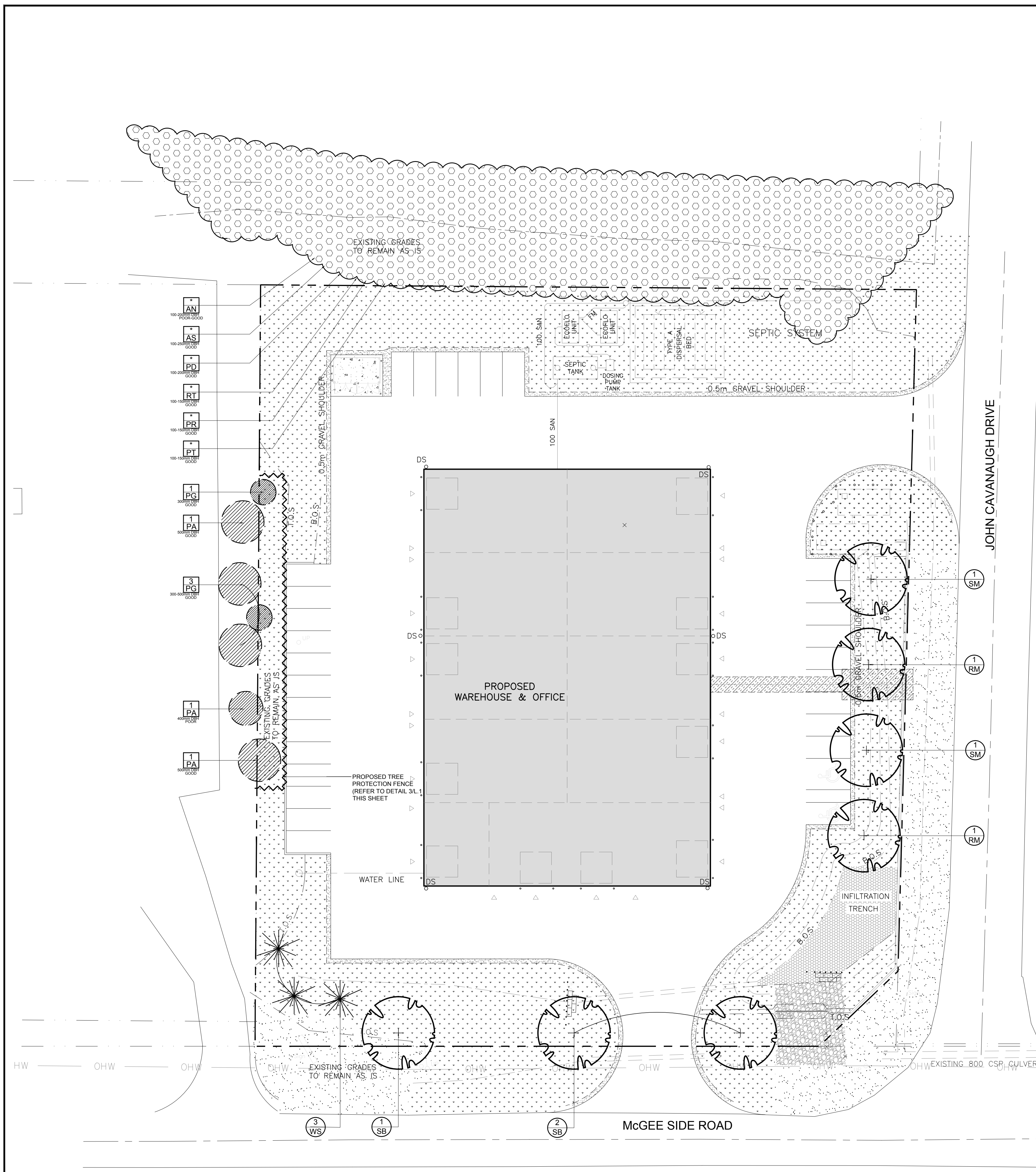
1 PROPOSED WEST ELEVATION: OPTION A  
A301 SCALE: 1: 100

PROJECT  
2167 MCGEE SIDE RD,  
WAREHOUSE BUILDING

DRAWING  
PROPOSED  
ELEVATIONS

PROJECT No:	060	REVISION:	02
DRAWN:	SL	DATE:	MAY 2023
APPROVED:	ES	SCALE:	AS SHOWN

DRAWING No: **A301**



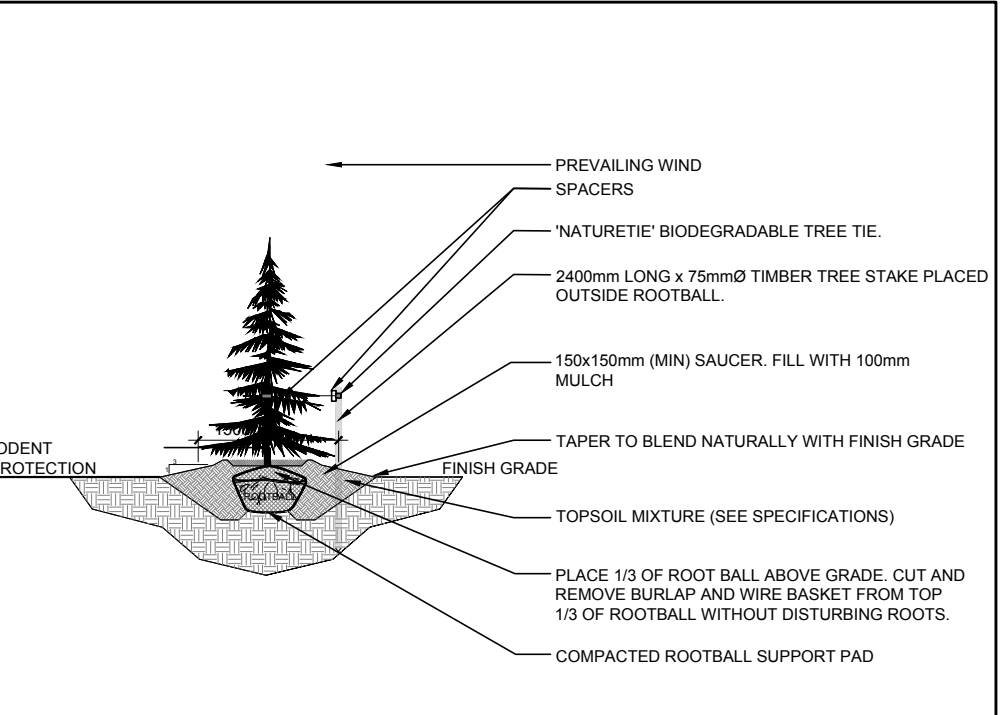
### EXISTING TREE LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>TREES</b>						
AN	*	Acer negundo	Manitoba Maple	100-200mm DBH	Poor-Good	To remain
AS	*	Acer saccharinum	Silver Maple	100-250mm DBH	Good	To remain
PD	*	Populus deltoides	Eastern Cottonwood	100-200mm DBH	Good	To remain
RT	*	Rhus typhina	Staghorn Sumac	100-150mm DBH	Good	To remain
PR	*	Prunus sp.	Cherry	100-150mm DBH	Good	To remain
PT	*	Populus tremuloides	Trembling Aspen	100-150mm DBH	Good	To remain
PG	4	Picea glauca	White Spruce	300-500mm DBH	Good	To remain
PA	3	Picea abies	Norway Spruce	400-500mm DBH	Poor-Good	To remain

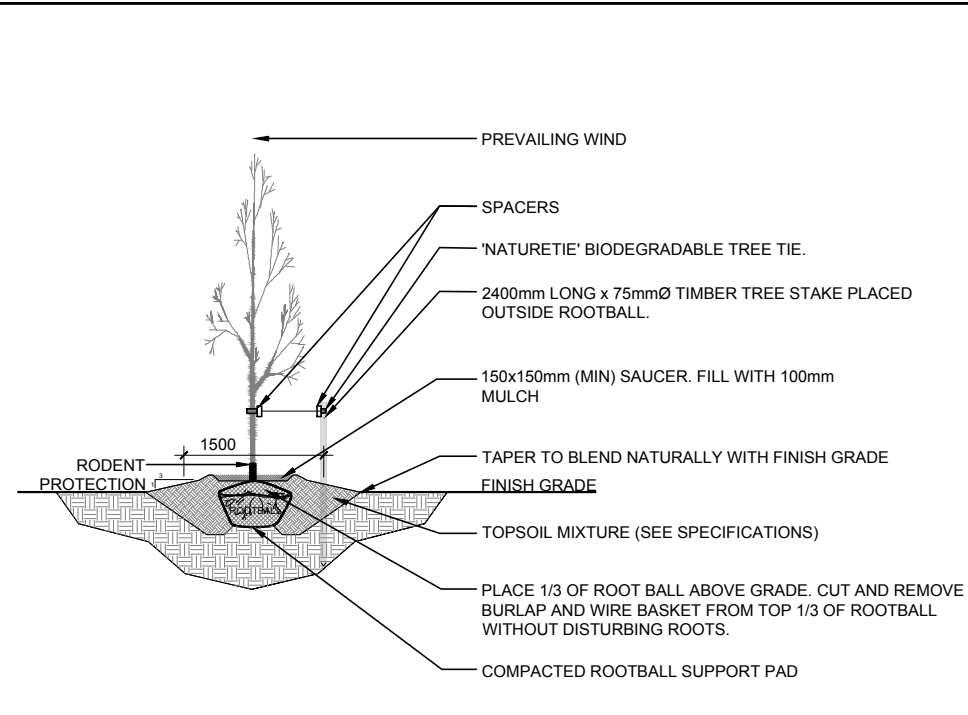
### PROPOSED PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>TREES</b>						
RM	2	Acer rubrum	Freeman's Maple	60mm ø	B&B	Single leader
SM	2	Acer saccharum	Sugar Maple	60mm ø	B&B	
SB	3	Amelanchier canadensis	Serviceberry	60mm ø	B&B	
WS	3	Picea glauca	White Spruce	1.8m ht.	B&B	

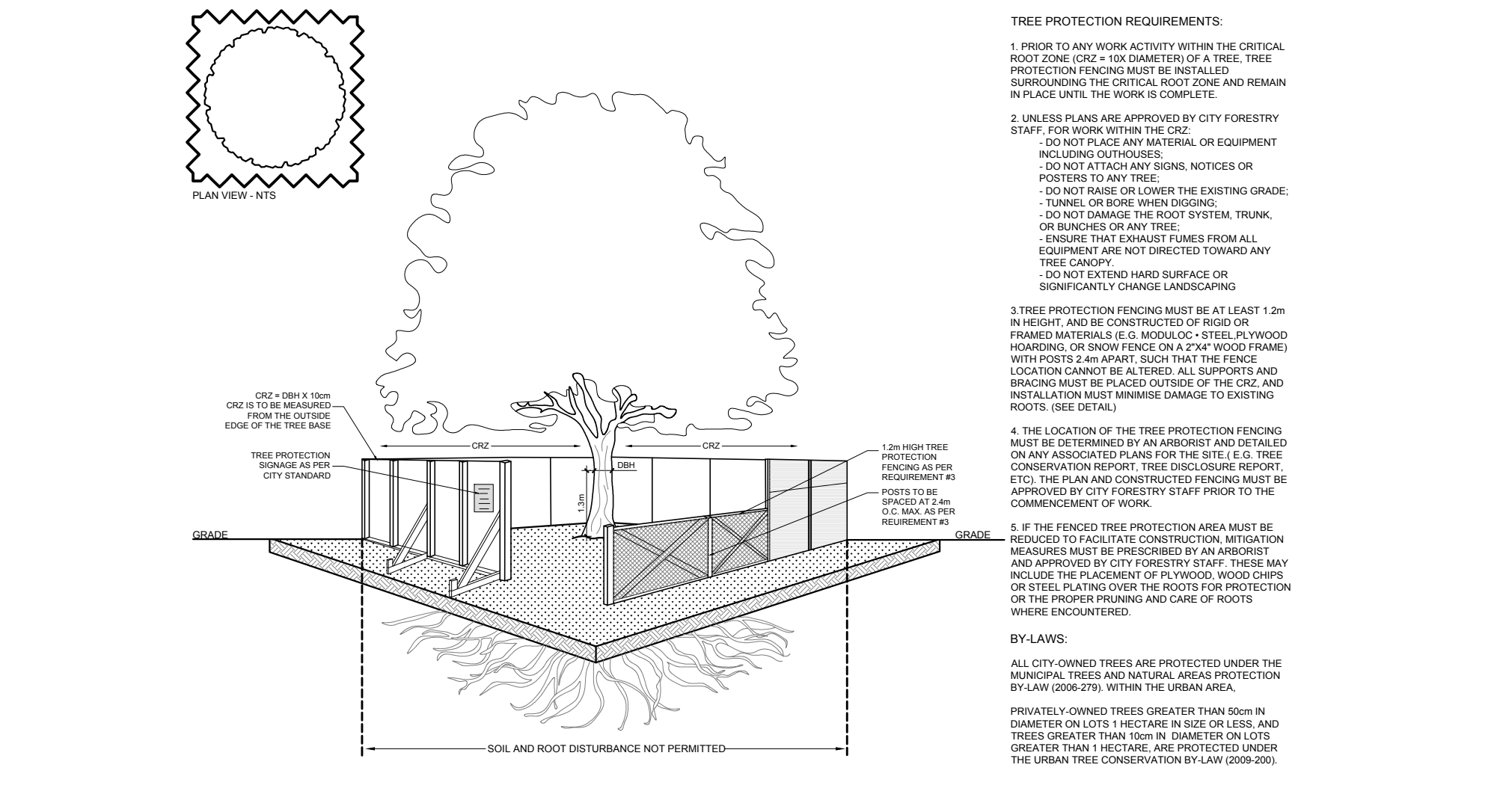
- #### GENERAL NOTES:
- It is the responsibility of the appropriate contractor or official to report any errors, omissions or discrepancies on this plan with actual site conditions to the Landscape Architect before proceeding with construction.
  - The contractor is to notify all utility companies and authorities prior to any excavation and ascertain locations of underground services.
  - The contractor is to reinstate all areas and items damaged as a result of construction activity.
  - The contractor is to comply with all pertinent codes and by-laws.
  - The contractor is to maintain a positive surface run-off throughout the entire construction period.
  - The Landscape Architect is not responsible for subsurface conditions.
  - The contractor is to identify all existing trees to remain on site with the Landscape Architect prior to construction.
  - The contractor is to stake the proposed location of all plant material in conjunction with the Landscape Architect prior to excavation.
  - Minimum distances for selected deciduous trees are as follows:
    - Building Foundations 7.5m
    - Sidewalks 1.5m
    - Public Streets 2.5m
    - Underground Infrastructure 2.0m
  - All trees within 1m of underground utility trenches are to be excavated by hand.
  - Remove all protective wrapping from tree trunks after installation.
  - Staking of trees shall only be performed if necessary.
  - Ensure that mulch is pulled back a min. distance of 75mm from base of tree trunk.



2 CONIFEROUS TREE PLANTING  
L.1 SCALE: NTS



3 DECIDUOUS TREE PLANTING  
L.1 SCALE: NTS



4 TREE PROTECTION FENCE  
L.1 SCALE: NTS

1 TREE CONSERVATION REPORT & LANDSCAPE PLAN  
L.1 SCALE 1:250

CLIENT: **DBM CONSULTING INC.**

CONSULTANTS

ARCHITECTS: **L5 IMPACT DESIGN AND MANAGEMENT**  
96 Holland Avenue, STE 305  
Ottawa ON K1T 4Y1  
Tel: (613) 322-3776

CIVIL ENGINEERS: **D.B. GRAY ENGINEERING INC.**  
700 LONG POINT CIRCLE,  
Ottawa ON K1T 4E9  
Tel: (613) 425-8044

LEGEND

- EXISTING TREE TO REMAIN
- GROUP OF EXISTING TREES TO REMAIN
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SEEDED GRASS AREA
- EXISTING LANDSCAPE AREA TO REMAIN UNDISTURBED
- PROPOSED TREE PROTECTION FENCE

1	ISSUED FOR SITE PLAN CONTROL	06/30/2022	ML	JL
No.	Issue	Date	DR	CK

**JAMES B. LENNOX & ASSOCIATES INC.**  
LANDSCAPE ARCHITECTS  
3312 CARLING AVE. OTTAWA, ONTARIO K2H 5A8  
Tel. (613) 722-5168 Fax. (866) 343-3942

PROJECT: **CLS ROOFING LTD. OFFICE & WAREHOUSE**  
2167 MCGEE SIDE ROAD, OTTAWA ON

DRAWING: **TREE CONSERVATION REPORT & LANDSCAPE PLAN**

STAMP: [Professional Seal]

SCALE: AS SHOWN

START DATE: MARCH 2021

PROJECT NO.: 21MIS2167

PROJECT NORTH: [North Arrow]

DRAWING NO.: **L.1**

PLOT SIZE ARCH-D