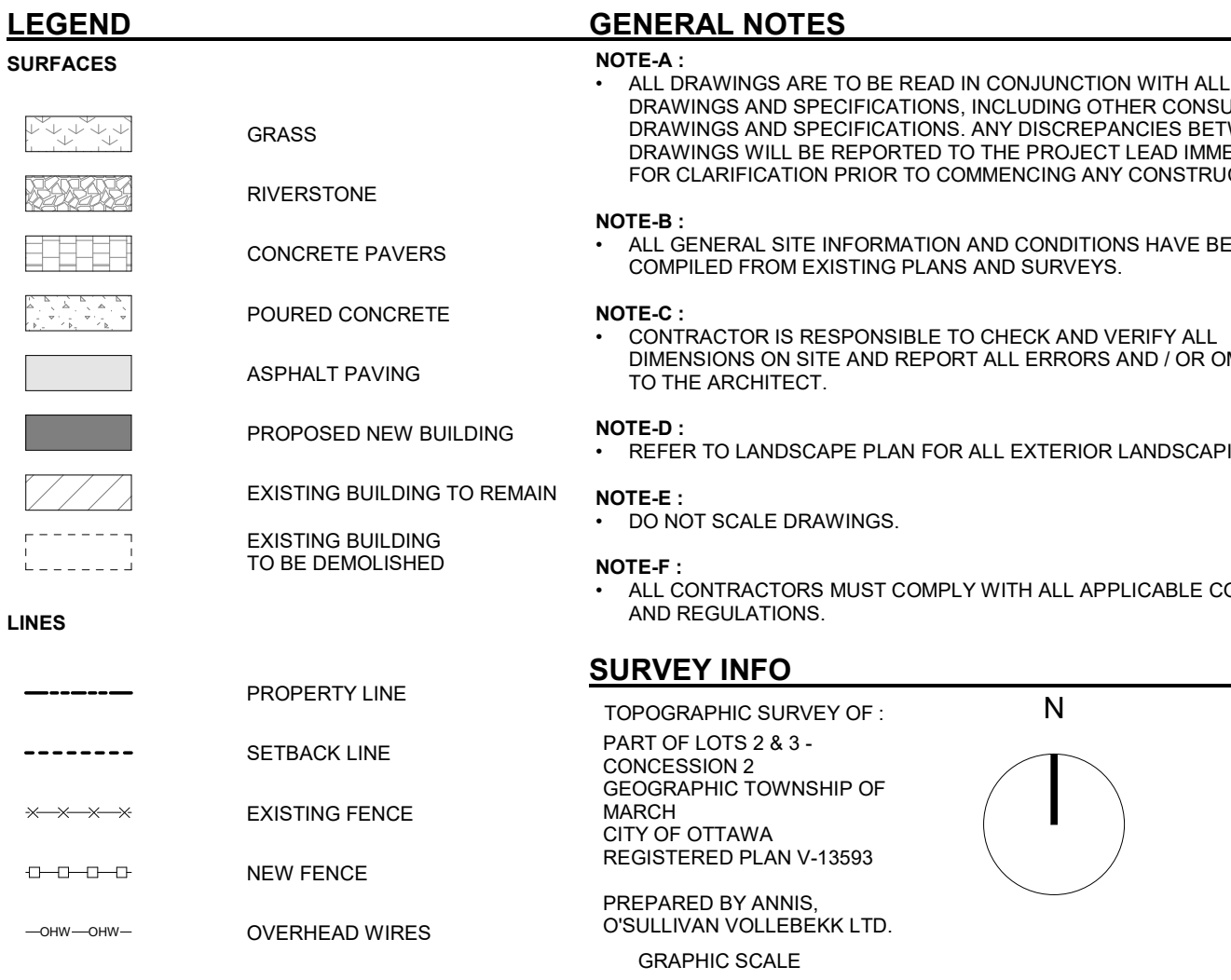
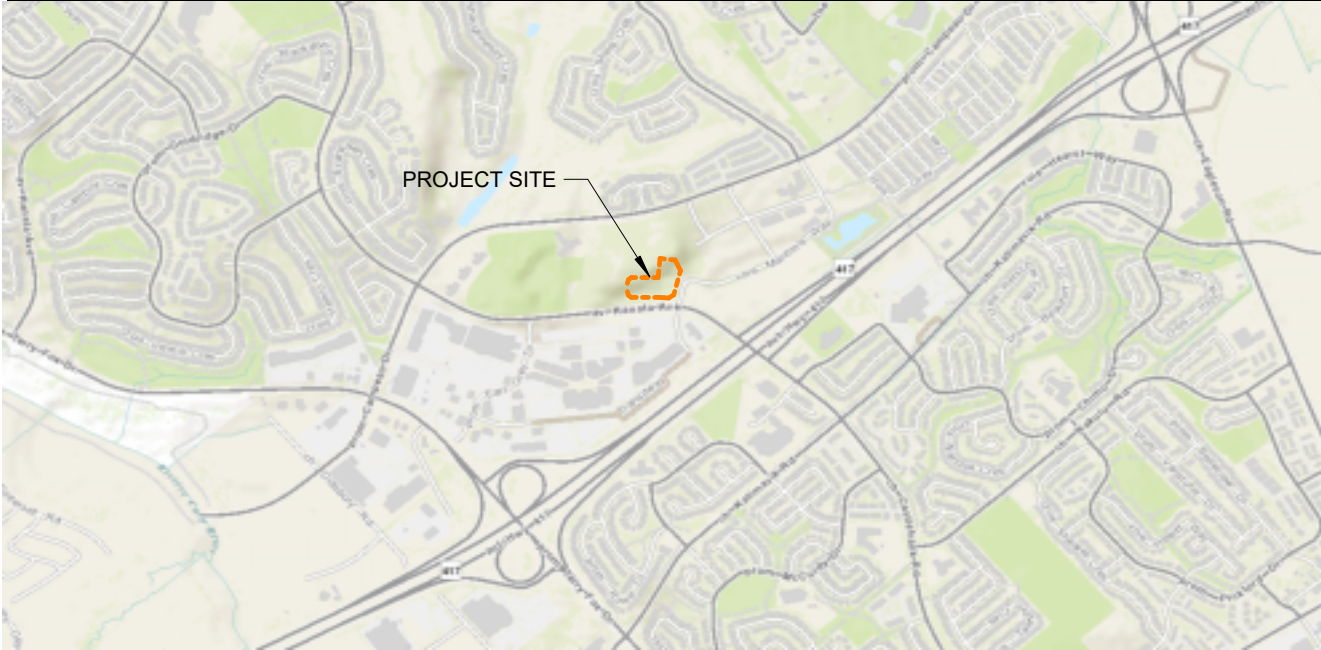
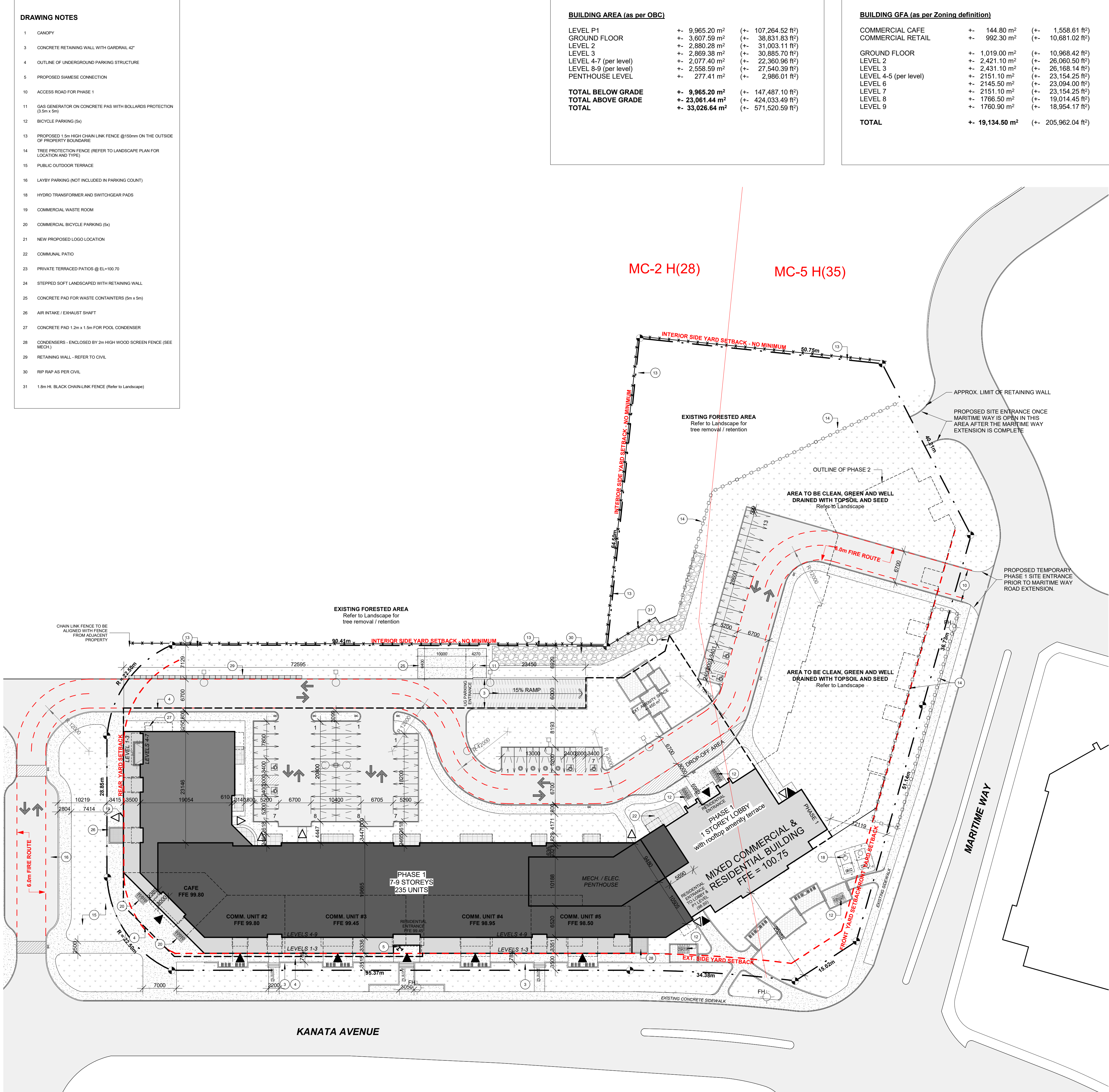




PROJECT INFORMATION

SITE SUMMARY	
ADDRESS	150 KANATA AVENUE
CURRENT ZONING	MC-2 AND MC-5
SITE AREA	16720.00 m ²
PROPOSED USE	MIXED USE RESIDENTIAL
BUILDING AREA	3607.59 m ²

PROJECT INFORMATION			
ZONING STANDARD	REQUIRED		PROVIDED
	MC-2	MC-5	
LOT AREA	-	-	± 15,720 m ²
TOTAL ZONING GFA	-	-	19,134.50 m ²
FSI (MAX)	2	2	1.22
BUILDING HEIGHT	28 m	35 m	27.8 m
Front Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m	3.5 m
Corner Side Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m	3.5 m
Rear Yard Setback (MIN. / MAX.)	0 m / 3.5 m	6 m	3.5 m
Surface Parking Front & Corner Yard Setback	10 m	10 m	35.30 m
FSI Non-Residential (MIN. / MAX.)	-	0.75 (3 794 m ²)	1,137.10 m ²
GFA Non-Residential (MIN. / MAX.)	1665.36 m ²	-	1,137.10 m ²
Amenity Space (min 6m2 per unit)	1,416.00 m ²	-	3,652.64 m ²
Communal amenity (min 50%)	708.00 m ²	-	1,898.80 m ²
LOT COVERAGE (MAX)	-	-	22.95%
LANDSCAPED AREA	-	-	+6,718.98 m ²
Soft Landscaping (not incl. forested area)	-	-	+5,667.18 m ²
Hard Landscaping	-	-	+1,051.80 m ²
ASPHALT AREA	-	-	+2,769.37 m ²

BUILDING STATISTICS		
	QTY.	SQ.M.
NON-RESIDENTIAL		1,137.10
Retail	-	992.30
Cafe	-	144.80
RESIDENTIAL		
1 bedroom	127 (54%)	-
1 bedroom + den	20 (8.5%)	-
2 bedrooms	72 (30.5%)	-
3 bedrooms	16 (7.0%)	-
TOTAL	235	
Barrier-free units (15% x 399 units = 60 units required)	36 (15%)	-
COMMUNAL AMENITY SPACE		1,898.80
Outdoor amenity space at grade & lobby rooftop	-	1,283.00
Indoor amenity space	-	615.80
Gym	-	60.50
Pool (incl. locker rooms)	-	196.70
Billiard Room	-	51.20
Golf Simulator	-	37.80
Darts / Poker Room	-	21.50
Family Room w/ Kitchen	-	63.10
Entry Lounge	-	132.00
Cafe & Library	-	53.00
PRIVATE AMENITY SPACE		1,753.84
Balconies / terraces	-	1,753.84

PARKING STATISTICS			
DEDICATION (LOCATION)	RATE	REQUIRED	PROVIDED
APARTMENTS - RESIDENTS (U/G)	0.5	PH-1 = 118	PH-1 = 146
APARTMENTS - VISITORS (U/G & AT GRADE)	0.2	PH-1 = 47	PH-1 = 47
NON-RESIDENTIAL (AT GRADE)			
Cafe	5 / 100 m2	PH-1 = 7	PH-1 = 7
Retail	1.25 / 100 m2	PH-1 = 12	PH-1 = 12
TOTAL		PH-1 = 184	PH-1 = 212
BICYCLE SPACES	0.5 per unit + 1/250m ² (retail)	PH1 = 118 + 5 (NON-RES.)	PH1 = 118 + 5 (NON-RES.)

DRIVE AISLE & BICYCLE REQUIREMENTS		
TYPE	REQUIRED	COMPLIANCE
Drive Aisle - Two way at grade	6.7 m	YES
Drive Aisle - Two way at parking garage	6.0 m	YES
Bicycle Parking - Horizontal	0.6 x 1.8m & 1.5m aisle	YES
Bicycle Parking - Vertical	0.50 x 1.5m & 1.5m aisle	YES

WASTE MANAGEMENT CONTAINERS		
TYPE	REQUIRED	PROVIDED
Garbage (0.110 y ³ per unit)	7 x 4 yard bins	YES
Fiber (0.038 y ³ per unit)	3 x 4 yard bins	YES
Glass metal plastic	2 x 3 yard bins	YES
Organics (240L container per 50 units)	5 x 240L carts	YES



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PROJECT TEAM / ÉQUIPE DU PROJET :



KEY PLAN / PLAN CLÉ :



CLIENT :



6485 R. Doris-Lussier, Bureau 400, Boisbriand, QC J7H 0E8

1.19	SPC SUB #5	23-06-20
1.15	IFT - PHASE 1	23-04-17
1.13	IFC v.00	23-03-16
1.12	IFBP - PHASE 1	23-03-03
1.11	SPC SUB #4	23-03-02
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :

PHASE 1 - SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	21019
DATE :	2023-04-12
DRAWN BY / DESSINÉ PAR :	ZH
REVIEWED BY / VÉRIFIÉ PAR :	ES
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A050

REVISION NO. / NO. DE RÉVISION :

DRAWING NOTES

- CANOPY
- CONCRETE RETAINING WALL WITH GARDRAIL 42"
- OUTLINE OF UNDERGROUND PARKING STRUCTURE
- PROPOSED SIAMESE CONNECTION
- ACCESS ROAD FOR PHASE 1
- GAS GENERATOR ON CONCRETE PIS WITH BOLLARDS PROTECTION (3.5m x 5m)
- BICYCLE PARKING (5x)
- PROPOSED 1.5m HIGH CHAIN LINK FENCE @150mm ON THE OUTSIDE OF PROPERTY BOUNDARY
- TREE PROTECTION FENCE (REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE)
- PUBLIC OUTDOOR TERRACE
- LAYSBY PARKING (NOT INCLUDED IN PARKING COUNT)
- HYDRO TRANSFORMER AND SWITCHGEAR PADS
- COMMERCIAL WASTE ROOM
- COMMERCIAL BICYCLE PARKING (5x)
- NEW PROPOSED LOGO LOCATION
- COMMUNAL PATIO
- PRIVATE TERRACED PATIOS @ EL=100.70
- STEPPED SOFT LANDSCAPED WITH RETAINING WALL
- CONCRETE PAD FOR WASTE CONTAINERS (5m x 5m)
- AIR INTAKE / EXHAUST SHAFT
- CONCRETE PAD 1.2m x 1.5m FOR POOL CONDENSER
- CONDENSERS - ENCLOSED BY 2m HIGH WOOD SCREEN FENCE (SEE MECH)
- RETAINING WALL - REFER TO CIVIL
- RIP RAP AS PER CIVIL
- 1.8m HL BLACK CHAIN-LINK FENCE (Refer to Landscape)

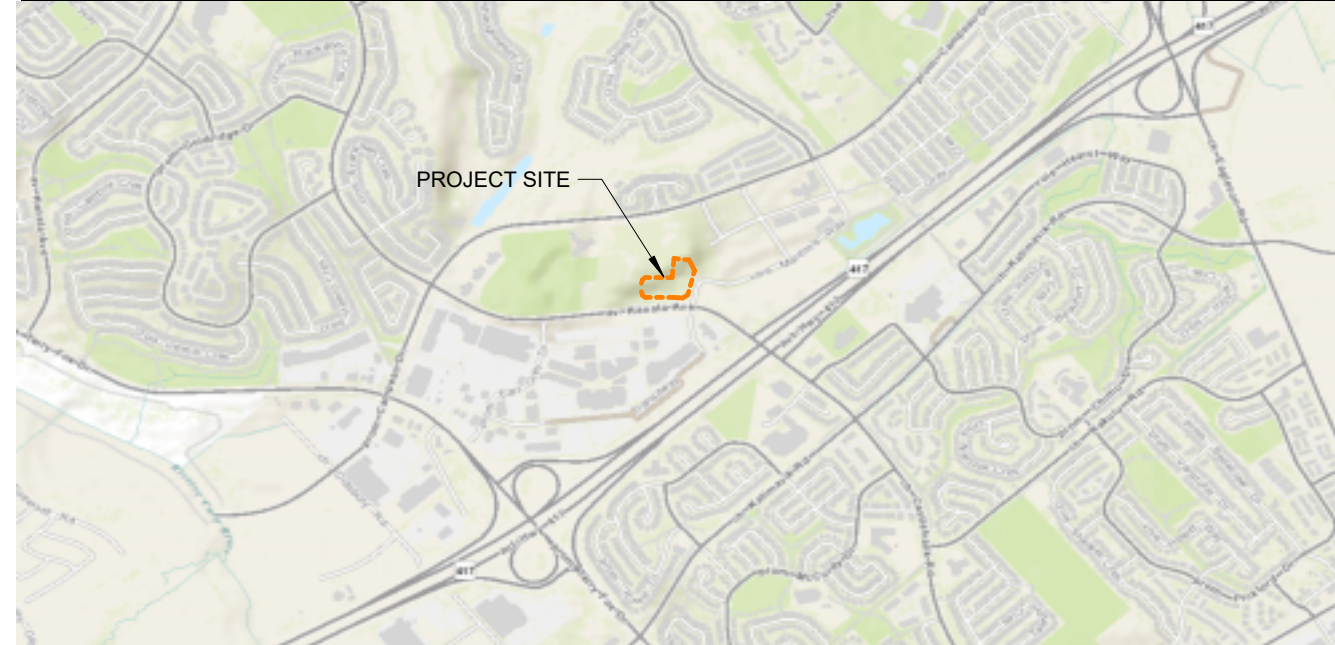
BUILDING AREA (as per OBC)

LEVEL P2	+	3,391.80 m ²	(+)	36,509.03 ft ²
LEVEL P1	+	9,965.00 m ²	(+)	107,264.52 ft ²
GROUND FLOOR	+	5,106.00 m ²	(+)	54,960.53 ft ²
LEVEL 2-3 (per level)	+	4,386.00 m ²	(+)	47,210.51 ft ²
LEVEL 4-7 (per level)	+	3,958.00 m ²	(+)	42,603.56 ft ²
LEVEL 8-9 (per level)	+	3,465.00 m ²	(+)	37,300.00 ft ²
LEVEL 10-11 (per level)	+	1,377.00 m ²	(+)	14,821.90 ft ²
TOTAL BELOW GRADE	+	13,702.00 m²	(+)	147,487.10 ft²
TOTAL ABOVE GRADE	+	39,394.00 m²	(+)	424,033.49 ft²
TOTAL	+	53,096.00 m²	(+)	571,520.59 ft²

BUILDING GFA (as per Zoning definition)

COMMERCIAL CAFE	+	144.80 m ²	(+)	1,558.61 ft ²
COMMERCIAL RETAIL	+	992.30 m ²	(+)	10,681.02 ft ²
GROUND FLOOR	+	2,261.20 m ²	(+)	24,339.35 ft ²
LEVEL 2	+	3,680.20 m ²	(+)	39,613.34 ft ²
LEVEL 3	+	3,703.00 m ²	(+)	39,858.76 ft ²
LEVEL 4-5 (per level)	+	3,307.10 m ²	(+)	35,597.32 ft ²
LEVEL 6	+	3,297.80 m ²	(+)	35,497.22 ft ²
LEVEL 7	+	3,307.10 m ²	(+)	35,597.33 ft ²
LEVEL 8	+	2,922.50 m ²	(+)	31,457.52 ft ²
LEVEL 9	+	2,912.30 m ²	(+)	31,347.73 ft ²
LEVEL 10-11 (per level)	+	1,156.00 m ²	(+)	12,443.08 ft ²
TOTAL	+	31,010.30 m²	(+)	333,792.09 ft²

SITE CONTEXT



LEGEND

SURFACES

	GRASS
	RIVERSTONE
	CONCRETE PAVERS
	POURED CONCRETE
	ASPHALT PAVING
	PROPOSED NEW BUILDING
	EXISTING BUILDING TO REMAIN
	EXISTING BUILDING TO BE DEMOLISHED

LINES

	PROPERTY LINE
	SETBACK LINE
	EXISTING FENCE
	NEW FENCE
	OVERHEAD WIRES

VEGETATION

	TREE: EXISTING TO REMAIN
	TREE: EXISTING TO BE REMOVED
	TREE: NEW PROPOSED
	SHRUB: EXISTING TO REMAIN
	SHRUB: NEW PROPOSED

SYMBOLS

	DIRECTIONAL ARROWS
	BUILDING ACCESS
	BUILDING EGRESS
	SIAMESE CONNECTION
	UTILITY POLE
	FIRE HYDRANT
	CATCH BASIN / MANHOLE
	DEPRESSED CURB
	LANDSCAPE LIGHT
	LIGHT POLE
	WALL MOUNTED LIGHT
	EXISTING GRADE ELEVATION
	PROPOSED GRADE ELEVATION
	LOT CORNERS

PARKING

	BIKE PARKING H: HORIZONTAL 0.6M x 1.8M S: VERTICAL 0.5M x 1.5M S: STACKED 0.37M x 1.8M
	CAR PARKING R: RESIDENTIAL V: VISITOR
	BF PARKING R: RESIDENTIAL V: VISITOR
	BF PARKING (TYPE A) R: RESIDENTIAL V: VISITOR
	BF PARKING (TYPE B) R: RESIDENTIAL V: VISITOR

GENERAL NOTES

NOTE-A :

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B :

- ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C :

- CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D :

- REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E :

- DO NOT SCALE DRAWINGS.

NOTE-F :

- ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO

TOPOGRAPHIC SURVEY OF :

PART OF LOTS 2 & 3 -

CONCESSION 2

GEOGRAPHIC TOWNSHIP OF

MARCH

CITY OF OTTAWA

REGISTERED PLAN V-13593

PREPARED BY ANNIS,

O'SULLIVAN VOLLEBEKK LTD.

GRAPHIC SCALE

PROJECT INFORMATION

ZONING STANDARD	REQUIRED	PROVIDED
LOT AREA	-	± 15,720 m ²
TOTAL ZONING GFA	-	31,010.30 m ²
FSI (MAX)	2	1.97
BUILDING HEIGHT	28 m	35 m
Front Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m
Corner Side Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m
Rear Yard Setback (MIN. / MAX.)	0 m / 3.5 m	6 m / 3.5 m
Surface Parking Front & Corner Yard Setback	10 m	10 m
FSI Non-Residential (MIN. / MAX.)	-	0.75 (3,794 m ²)
GFA Non-Residential (MIN. / MAX.)	1,665.36 m ²	1,137.10 m ²
Amenity Space (min 6m ² per unit)	2,400.00 m ²	5,257.08 m ²
Communal amenity (min 50%)	1,200.00 m ²	1,898.80 m ²
LOT COVERAGE (MAX)	-	+5,234.42 m ² (33.29%)
LANDSCAPED AREA	-	-
Soft Landscaping (incl. forested area)	-	+4,072.86 m ²
Hard Landscaping	-	+1,161.56 m ²
ASPHALT AREA	-	+3,881.67 m ²

PROJECT INFORMATION	REQUIRED	PROVIDED
LOT AREA	-	± 15,720 m ²
TOTAL ZONING GFA	-	31,010.30 m ²
FSI (MAX)	2	1.97
BUILDING HEIGHT	28 m	35 m
Front Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m
Corner Side Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m
Rear Yard Setback (MIN. / MAX.)	0 m / 3.5 m	6 m / 3.5 m
Surface Parking Front & Corner Yard Setback	10 m	10 m
FSI Non-Residential (MIN. / MAX.)	-	0.75 (3,794 m ²)
GFA Non-Residential (MIN. / MAX.)	1,665.36 m ²	1,137.10 m ²
Amenity Space (min 6m ² per unit)	2,400.00 m ²	5,257.08 m ²
Communal amenity (min 50%)	1,200.00 m ²	1,898.80 m ²
LOT COVERAGE (MAX)	-	+5,234.42 m ² (33.29%)
LANDSCAPED AREA	-	-
Soft Landscaping (incl. forested area)	-	+4,072.86 m ²
Hard Landscaping	-	+1,161.56 m ²
ASPHALT AREA	-	+3,881.67 m ²

BUILDING STATISTICS	QTY.	SQ. M.
NON-RESIDENTIAL	-	1,137.10
Retail	-	992.30
Cafe	-	144.80
RESIDENTIAL	-	-
1 bedroom	204 (51%)	-
1 bedroom + den	26 (6.5%)	-
2 bedrooms	140 (35%)	-
3 bedrooms	30 (7.5%)	-
TOTAL	400	3,358.28
Barrier-free units (15% x 399 units = 60 units required)	60 (15%)	-
COMMUNAL AMENITY SPACE	-	1,898.80
Outdoor amenity space at grade	-	1,283.00
Indoor amenity space	-	615.80
Gym	-	60.50
Pool	-	196.70
Billiard Room	-	51.20
Golf Simulator	-	37.80
Darts / Poker Room	-	21.50
Family Room w/ Kitchen	-	63.10
Entry Lounge	-	132.00
Cafe & Library	-	132.00
PRIVATE AMENITY SPACE	-	3,358.28
Balconies / terraces	-	3,358.28

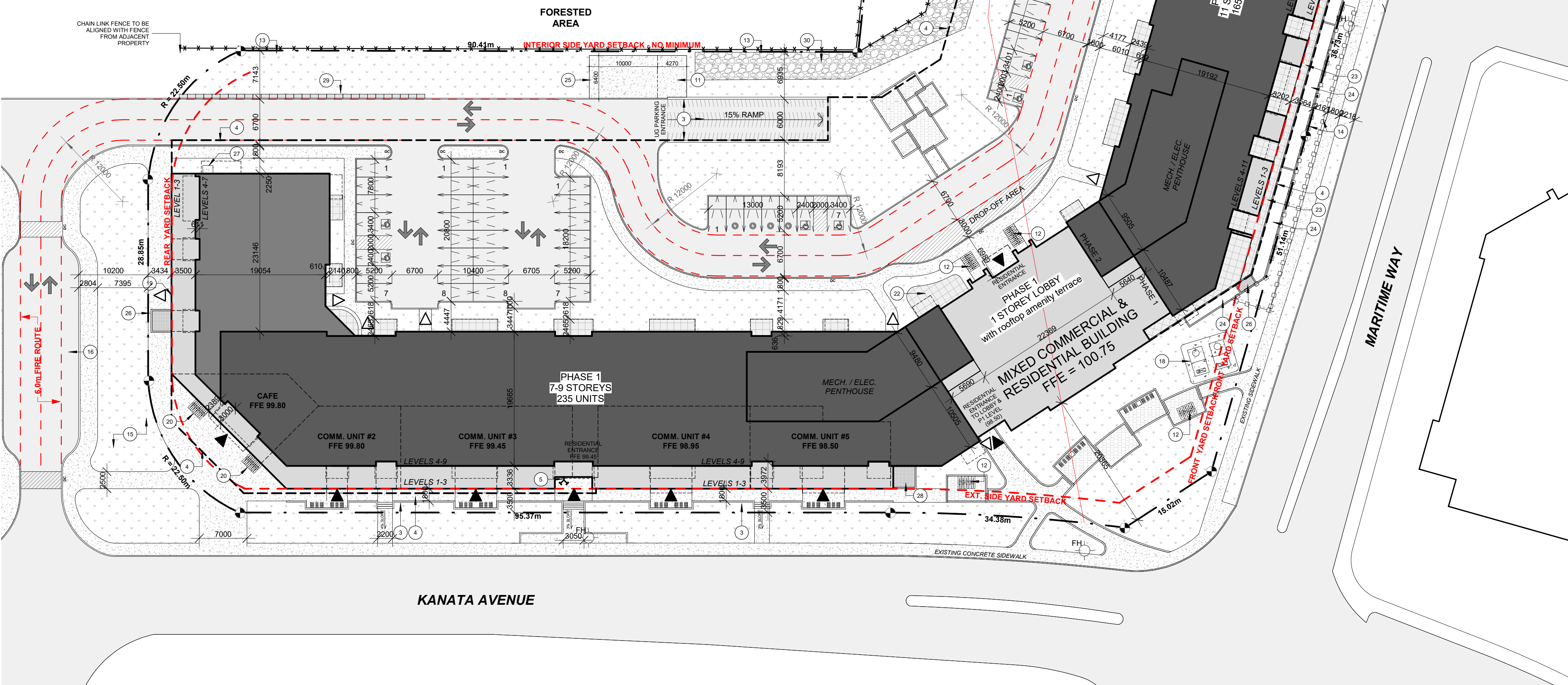
PARKING STATISTICS	RATE	REQUIRED	PROVIDED
DEDICATION (LOCATION)	-	-	-
APARTMENTS - RESIDENTS (U/G)	0.5	PH-1 = 118 PH-2 = 83	PH-1 = 146 PH-2 = 175
APARTMENTS - VISITORS (U/G & AT GRADE)	0.2	PH-1 = 47 PH-2 = 33	PH-1 = 47 PH-2 = 33
NON-RESIDENTIAL (AT GRADE)	-	-	-
Cafe	5 / 100 m ²	PH-1 = 7	PH-1 = 7
Retail	1.25 / 100 m ²	PH-1 = 12 PH-2 = 12	PH-1 = 12 PH-2 = 12
TOTAL	-	PH-1 = 184 PH-2 = 116	PH-1 = 212 PH-2 = 208
BICYCLE SPACES	0.5 per unit + 1/250m ² (retail)	PH-1 = 118 + 5 (NON-RES.) PH-2 = 83	PH-1 = 118 + 5 (NON-RES.) PH-2 = 83

DRIVE AISLE & BICYCLE REQUIREMENTS	REQUIRED	COMPLIANCE
TYPE	-	-
Drive Aisle - Two way at grade	6.7 m	YES
Drive Aisle - Two way at parking garage	6.0 m	YES
Bicycle Parking - Horizontal	0.6 x 1.8m & 1.5m aisle	YES
Bicycle Parking - Vertical	0.50 x 1.5m & 1.5m aisle	YES

WASTE MANAGEMENT CONTAINERS	REQUIRED	PROVIDED
TYPE	-	-
Garbage (0.110 y ³ per unit)	11 x 4 yard bins	YES
Fiber (0.038 y ³ per unit)	4 x 4 yard bins	YES
Glass metal plastic	3 x 3 yard bins	YES
Organics (240L container per 50 units)	8 x 240L carts	YES

MC-2 H(28)

MC-5 H(35)



1 SITE PLAN

1: 400

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PROJECT TEAM / ÉQUIPE DU PROJET :

**MECHANICAL / ELECTRICAL**
LRL ASSOCIATES LTD.
5430 Carleton Rd. Gloucester,
ON K1J 5G2
(613) 942-3434**STRUCTURAL**
LZC EXPERTS-CONSEILS
4710 Rue Saint-Ambrose #103,
Montréal, QC H4C 2C7
(514) 379-4999**INTERIOR DESIGN**
4TE INC.
73 Breezhill Ave N, Ottawa,
ON K1Y 2H6
(613) 232-4499

KEY PLAN / PLAN CLÉ :

CLIENT :



6485 R. Doris-Lussier, Bureau 400, Boisbriand, QC J7H 0E8

1.19	SPC SUB #5	23-06-20
1.15	IFT - PHASE 1	23-04-17
1.11	SPC SUB #4	23-03-02
1.10	TENDER	22-12-23
1.9	99% COORD.	22-11-04
1.8	PERMIT	22-10-07
1.7	SPC SUB #3	22-09-19
1.6	66% COORD.	22-07-29
1.5	50% COORD.	22-06-10
1.4	UDRP	22-04-21
1.3	SPC SUB #2	22-03-22
1.2	Pre-UDRP	21-10-15
1.1	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :

PHASE 2 - SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : 21019

DATE : 2023-04-12

DRAWN BY / DESSINÉ PAR : ZH

REVIEWED BY / VÉRIFIÉ PAR : ES

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A050.1

REVISION NO. / NO. DE RÉVISION :

1.19

#18063