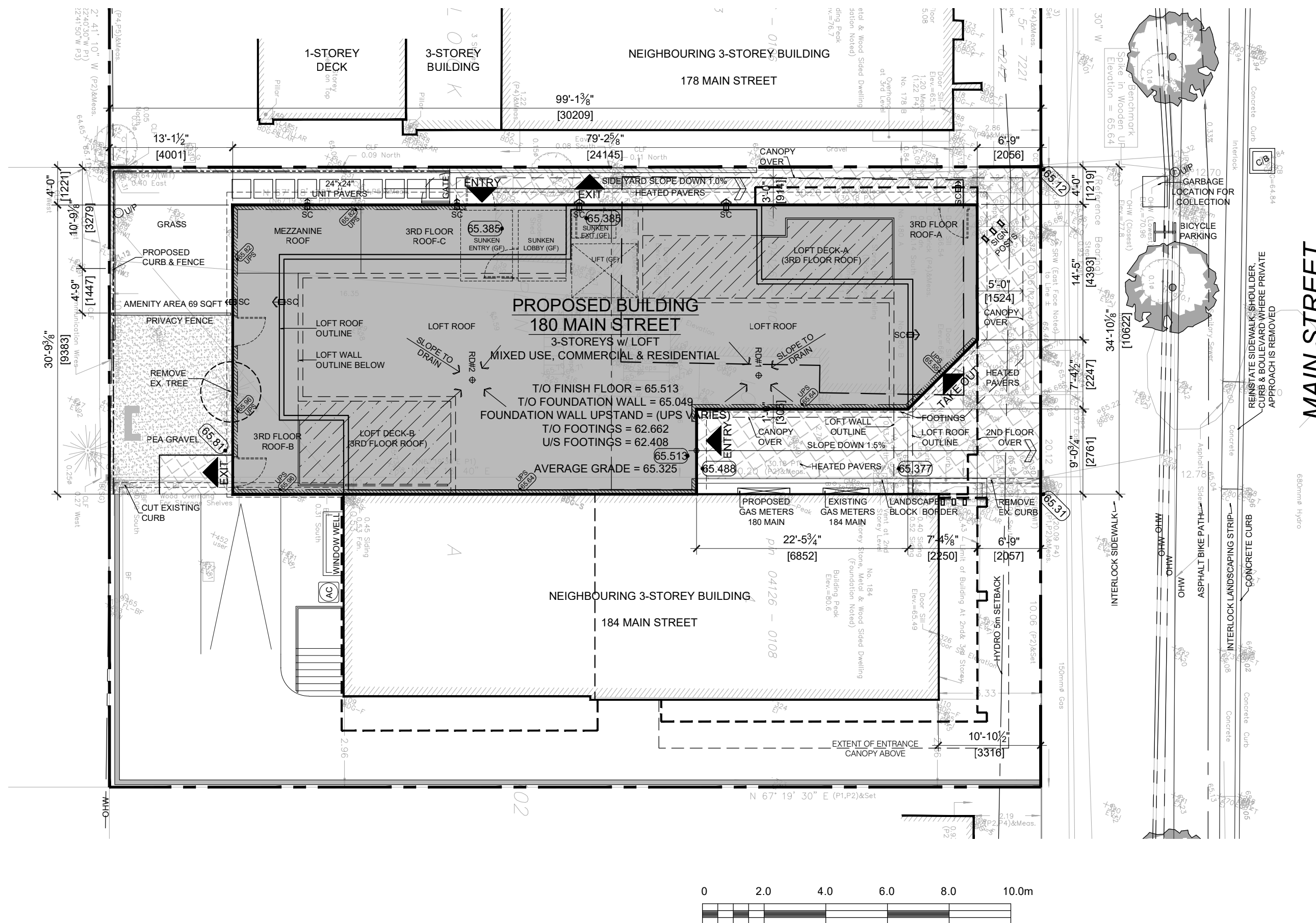


414 Churchill Ave. N, Ottawa,  
ON, K1Z 5C6 • 613-859-2822  
www.rjhil.ca • rosaline@rjhil.ca

Rosaline J. Hill Architect Inc.



**ZONING:**

- TM7(2182) ZONING DESIGNATION
- AREA Y ON SCHEDULE 1A (INNER URBAN MAINSTREET)
- PERMITTED USES INCLUDE GROUND FLOOR RESTAURANT AND DWELLING UNITS
- 6.7-15m HEIGHT LIMIT, 14.95m BUILDING HEIGHT PROVIDED
- 7.5m MIN. REAR YARD SETBACK, 4m PROVIDED
- 3m MAX. SIDE YARD SETBACK, NO MIN., 0 + 1.2m PROVIDED
- 2m MAX. FRONT YARD SETBACK
- 50% MIN. GRD FLOOR FACADE TO BE GLAZED (MEASURED FROM AVERAGE GRADE TO 4.5M IN HT)
- 1m MIN. REAR LANDSCAPE BUFFER (WITH 1.4m FENCE), PROVIDED (WITH BIKE PARKING)
- Storage must be enclosed in a building
- THE FACADE FACING THE MAIN STREET MUST INCLUDE AT LEAST ONE ACTIVE ENTRANCE SERVING EACH RESIDENTIAL OR NON-RESIDENTIAL USE OCCUPYING ANY PART OF THE GROUND FLOOR, TO BE CONFIRMED
- A RESTAURANT USE LOCATED ON THE GROUND FLOOR OF A BUILDING REQUIRES NO PARKING SPACES FOR THE FIRST 150 SQUARE METRES OF GROSS FLOOR AREA AND 10 SPACES PER 100 SQUARE METRES OVER 150 SQUARE METRES GROSS FLOOR AREA, GRND 144m<sup>2</sup>, MEZZ 31.5m<sup>2</sup> PROVIDED, TO BE CONFIRMED

**EXISTING BUILDING:**

- 2 STOREY DWELLING
- TO BE DEMOLISHED

**PROPOSED BUILDING:**

- **TYPE:** MIXED USE (RESTAURANT IN GROUND FLOOR, RESIDENTIAL ABOVE)
- **CONSTRUCTION METHODE:** WOOD FRAME
- **FIRE SUPPRESSION:** NOT SPRINKLERED
- **BUILDING HEIGHT (OBC):** 3 STOREYS TBC
- **NO. OF BASEMENT LEVELS:** 1
- **NUMBER OF UNITS:** 5
- **NUMBER OF BEDROOMS:** 8
- **ROOF:** FLAT
- **LIFT:** YES

**SURVEY INFORMATION:**

PART 1 plan of  
PART OF LOT 4 IN BLOCK 4  
REGISTERED PLAN 102  
CITY OF OTTAWA

No.	Y/M/D	REVISION
2.	2023.03.02	SITE PLAN COMMENTS
1.	2022.11.07	SITE PLAN APPLICATION

Consultants:

It is the responsibility of the appropriate contractor to check & verify all dimensions on site and report all errors &/or omissions to the architect. All contractors must comply with all pertinent codes & by-laws, & use proprietary products as directed by the manufacturer. Do not scale drawings. Copyright reserved.



3 STOREY MIXED USE BUILDING  
180 Main Street, Ottawa, Ontario

SITE PLAN

Drawn By: MP/RV	Date: NOV. 2022
Project No: 2208	Scale: 1:125

A1.0

  
**ADRIAN VAN WYK**  
PLANNER I  
PLANNING, REAL ESTATE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Adrian van Wyk at 12:51 pm, Jun 23, 2023