



**SITE PLAN CONTROL APPLICATION  
DELEGATED AUTHORITY REPORT  
PLANNING, REAL ESTATE AND ECONOMIC DEVELOPMENT DEPARTMENT**

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Site Location: 8005 Jock Trail

File No.: D07-12-22-0113

Date of Application: July 21, 2022

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This SITE PLAN CONTROL application submitted by Jabulani, is APPROVED as shown on the following plan(s):

1. **Grading and Drainage Plan**, drawing 1 of 2, prepared by Shade Group Inc., dated October 7, 2022, revision 4, dated June 1, 2023
2. **Stormwater Management Details Plan**, drawing 2 of 2, prepared by Shade Group Inc., dated October 7, 2022, revision 4, dated June 1, 2023
3. **Jabulani Site Plan Sketch**, drawing/plan/sheet number, prepared by Zanderplan Inc., File No. 22-077, dated July 21, 2022, revision 3, dated June 1, 2023.

And as detailed in the following report(s):

1. **Stormwater Management Brief**, prepared by Shade Group Inc., dated October 2022, revised June 2023.
2. **Hydrogeological Investigation, Terrain Analysis & Impact Assessment**, prepared by Gemtec Consulting Engineers and Scientists Limited, Consultant's project 101593.001, dated July 22, 2022, revised October 17, 2022.
3. **Assessment of Parking Lot Subsurface Conditions**, prepared by Gemtec Consulting Engineers and Scientists Limited, Consultant's project 101593.001, dated July 26, 2022, revised April 25, 2023.
4. **Septic System Design Brief**, prepared by Gemtec Consulting Engineers and Scientists Limited, Consultant's project 101593.001, dated June 28, 2022.
5. **Water Retention Storage Design**, prepared by Tom & Janet Moul, dated April 8, 2023, revised May 30, 2023.
6. **Fire Flow Calculation - Based on Building Area**, prepared by TTF Engineering, dated Tuesday April 25, 2023.

And subject to the following Requirements, General and Special Conditions:

## **Requirements**

1. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty days notice of any material change or cancellation of the policy.

## **General Conditions**

1. The Owner shall execute the City's standard Letter of Undertaking and satisfy the conditions contained within this Delegated Authority Report. In the event the Owner fails to execute the required Letter of Undertaking and submit any required fees and/or securities within six months, this approval shall lapse.
2. **Water Supply for Fire Fighting**  
The Owner shall provide adequate water supply for fire fighting for every building. Water supplies may be provided from a public water works system, automatic fire pumps, pressure tanks or gravity tanks.
3. **Construction Fencing**  
The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Real Estate and Economic Development.
4. **Development Charges**  
The Owner shall pay development charges to the City in accordance with the by-laws of the City.

## **Special Conditions**

### **5. Geotechnical Investigation**

The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Assessment of Parking Lot Subsurface Conditions (the "Report"), referenced in Schedule "E" herein, are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Real Estate and Economic Development with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Report, prior to construction of the foundation and at the completion of the Works, which confirmation shall be to the satisfaction of the General Manager, Planning, Real Estate and Economic Development.

**6. Stormwater Works Certification**

Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports, referenced in Schedule “E” herein. The Owner further acknowledges and agrees to provide the General Manager, Planning, Real Estate and Economic Development with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports referenced in Schedule “E” herein.

**7. Waste Collection**

The Owner acknowledges and agrees that garbage, recycling, and organic waste collection will not be provided by the City and it shall make appropriate arrangements with a private contractor for garbage, recycling, and organic waste collection at the Owner’s sole expense. The Owner shall consult a private contractor regarding any access requirements for garbage and/or recycling and organic waste collection.

**8. Permits**

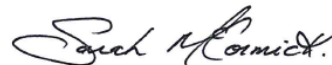
The Owner shall obtain such permits as may be required from municipal or provincial authorities and shall file copies thereof with the General Manager, Planning, Real Estate and Economic Development.

**9. Provision of As-Built Drawings**

The Owner shall supply to the General Manager, Planning, Real Estate and Economic Development, as-constructed road, grading and service drawings including the location of all Works, certified under seal by a Professional Engineer, licensed in the Province of Ontario, for City records upon Acceptance and Approval of the Works. Furthermore, the Owner shall provide the As-built Drawings and the attribute data for the Works in a form that is compatible with the City’s computerized systems.

June 26, 2023

\_\_\_\_\_  
Date



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Sarah McCormick  
Planner II, Development Review, Rural  
Planning, Real Estate and Economic  
Development Department

## SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

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**File Number:** D07-12-22-0113

### **SITE LOCATION**

8005 Jock Trail, and as shown on Document 1.

### **SYNOPSIS OF APPLICATION**

This application establishes a place of assembly as an on-farm diversified use on the subject property. The place of assembly is proposed within an existing building that is currently used for wine production and tasting.

The property is known municipally as 8005 Jock Trail; the subject lands have an area of approximately 15.25 hectares with 306 metres of frontage on Jock Trail Road. The property consists of a winery building and crush pad at the front and a small orchard, hay fields and fields that serve the vineyard. The rear of the property contains a farmhouse with associated private servicing, shed and barn. The property abuts Jock River to the north. The surrounding area contains large lots that consist mainly of open fields in the Agricultural (AG), (AG2), and Rural (RU) subzones.

A minor Zoning By-law Amendment application was approved by Council on November 9, 2022, increasing the permitted area of an on-farm diversified use, proposed as a place of assembly, from 150 metres<sup>2</sup> to 385.7 metres<sup>2</sup>. This area is located within a portion of the existing winery building. The primary use of the building will continue to be wine tasting as the event space will be used after the winery is closed for the day.

An existing outdoor seating space and outdoor ceremony spaces including a clearing and an area within the orchard are also included as part of the On-Farm Diversified Use. The outdoor seating and ceremony spaces are a maximum of 98 metres<sup>2</sup> and are included within the 2% total area limit. The gross floor area of all uses associated with the On Farm Diversified Use is 1362 metres<sup>2</sup>. The gravel parking area between Jock Trail Road and the winery building accommodates up to 35 parking spaces and large truck deliveries required for winery operation. Parking spaces will not be used simultaneously for both uses as the winery and the event space are proposed to operate at separate times of the day. The parking area is screened from Jock Trail and from the view of abutting properties through vegetative buffers.

### **Related Applications**

The following applications are related to this proposed development:

- Zoning By-law Amendment – D02-02-22-0071

## **DECISION AND RATIONALE**

This application is approved for the following reasons:

- The proposed development meets the policies of the Official Plan.
- The zoning by-law amendment application (D02-02-22-0071) associated with the development, has been approved by Council, with all opportunities for appeals exhausted.
- The proposal is in conformity with the applicable provisions of the Zoning By-law, specifically those associated with on-farm diversified uses.
- The proposed site design represents good planning.

## **PARKLAND DEDICATION**

Parkland dedication, in accordance with By-law 2022-280, is not applicable to this development.

## **CONSULTATION DETAILS**

### **Councillor's Comments**

Councillor David Brown was aware of the application related to this report.

### **Public Comments**

This application was not subject to public circulation under the Public Notification and Consultation Policy. There were public comments received online and staff considered these comments.

### **Technical Agency/Public Body Comments**

N/A

### **Advisory Committee Comments**

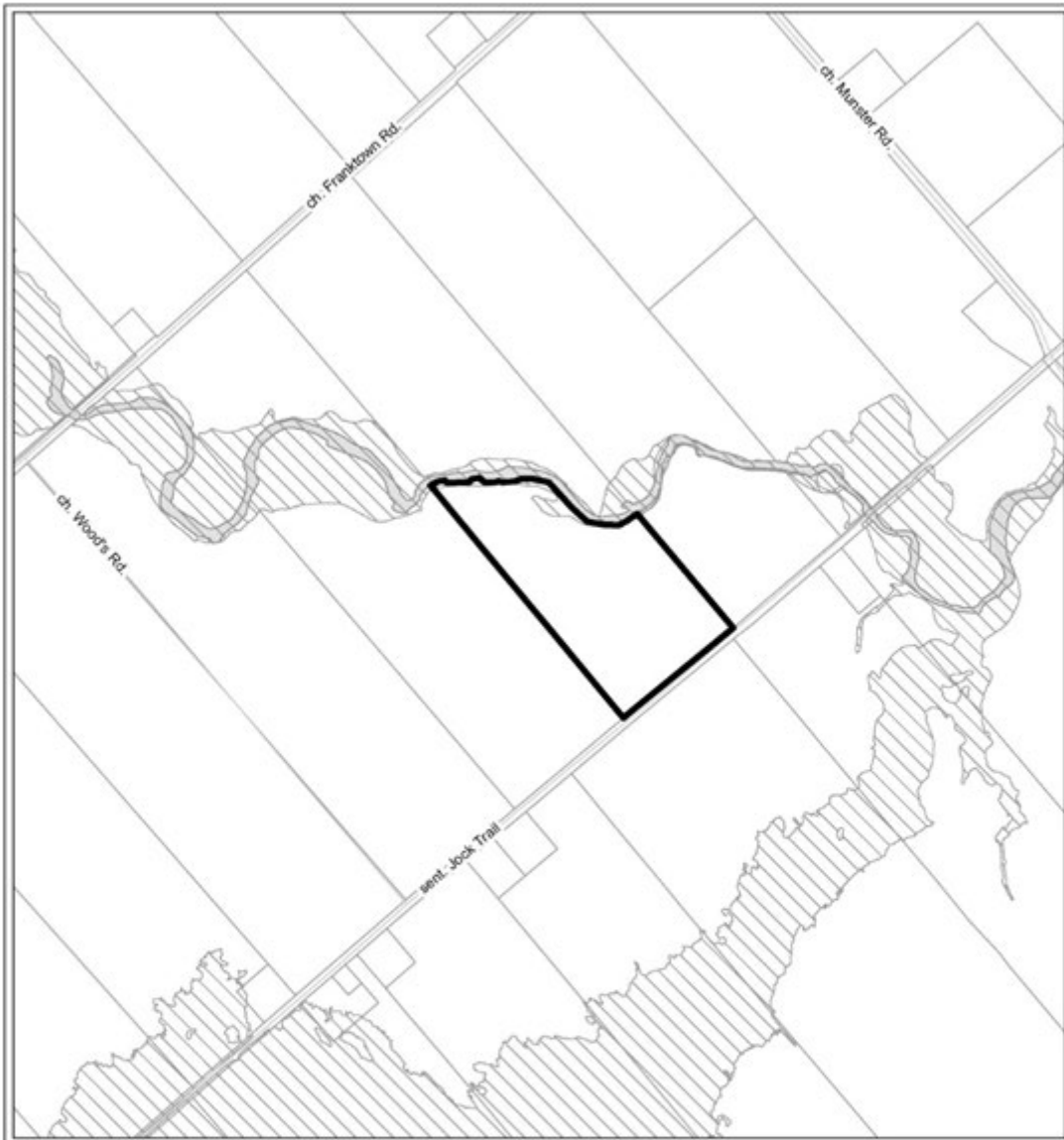
N/A




## **APPLICATION PROCESS TIMELINE STATUS**

This Site Plan application was not processed by the On Time Decision Date, due to the complexity of the issues associated with on-site water storage for fire suppression.

**Contact:** Sarah McCormick Tel: 613-580-2424, ext. 24487 or e-mail: Sarah.McCormick@ottawa.ca

# Document 1 – Location Map



		<b>LOCATION MAP / PLAN DE LOCALISATION</b> <b>ZONING KEY PLAN / SCHÉMA DE ZONAGE</b>	
D02-02-22-0071	22-0927-X		
I:\CO\2022\Zoning\Jock_Trail_8005		 <b>8005 chemin Jock Trail Road</b>	
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REVISION / RÉVISION - 2022 / 09 / 19		 Existing Flood Plain (Section 58) / Plaine inondable (Article 58)	
			