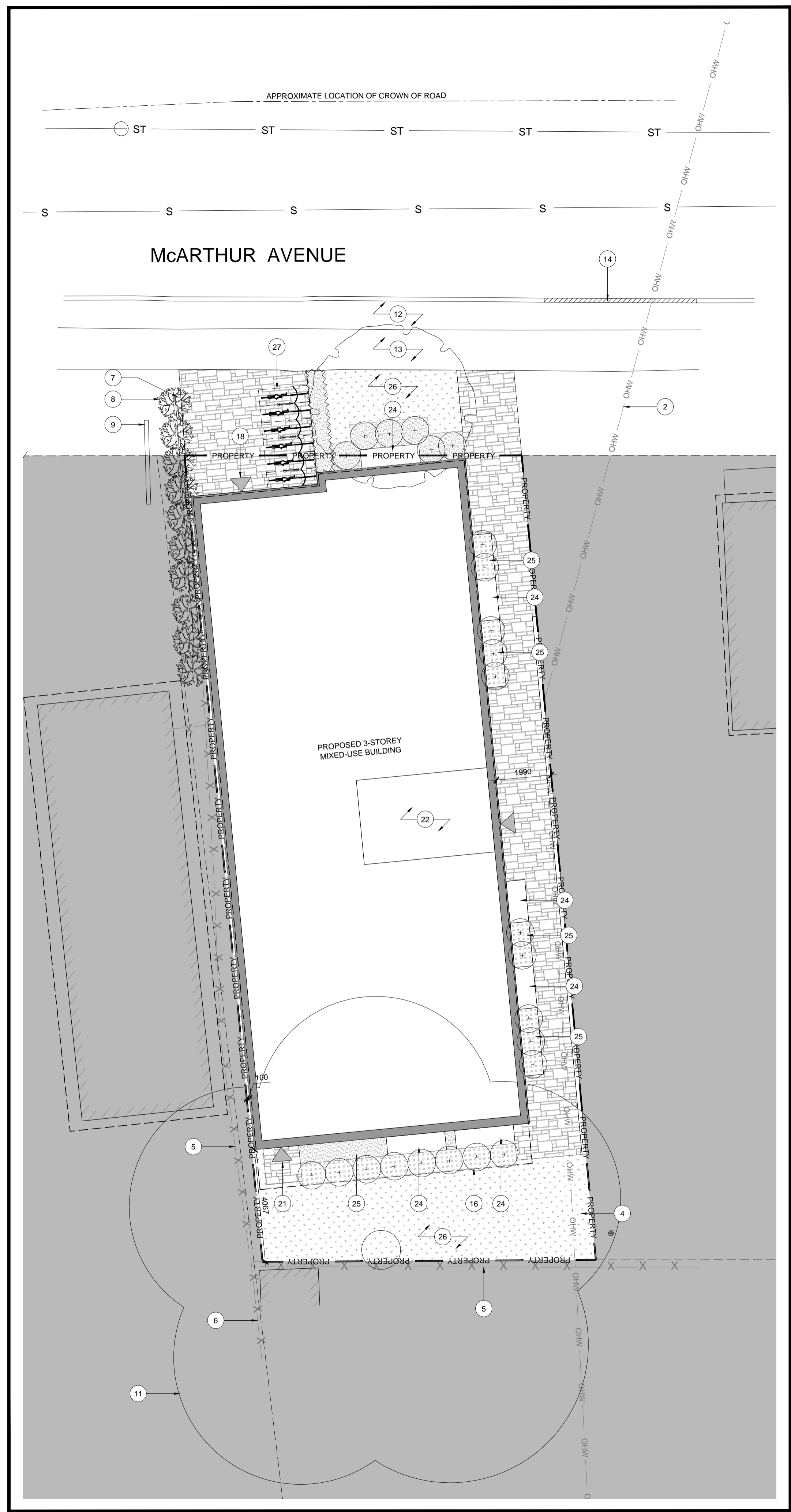


1 **Basement Plan**
Scale = 1:100



2 **Ground Floor Plan**
Scale = 1:100

LEGAL DESCRIPTION
TOPOGRAPHICAL SURVEY OF
PART OF LOT 4
REGISTERED PLAN 90
CITY OF OTTAWA
Surveyed by Fairhall, Moffatt & Woodland Ltd.

SURVEYOR
Fairhall, Moffatt & Woodland Ltd
Ontario Land Surveyors
100-600 Terry Fox Drive,
Kanata, Ontario
K2L 4B6
TEL: 613-591-2580

PROJECT DEVELOPER
CASSIDY CONSTRUCTION
1011 THOMAS SPRATT PLACE
OTTAWA, ONTARIO
K1G 5L5
TEL: 613-728-2112
E-MAIL:
chris@cassidyconstruction.com

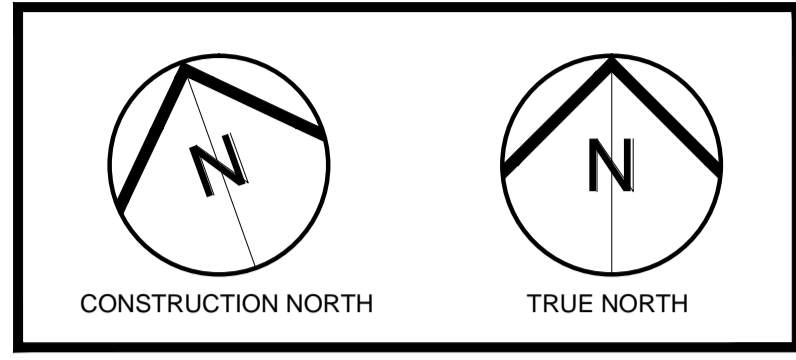
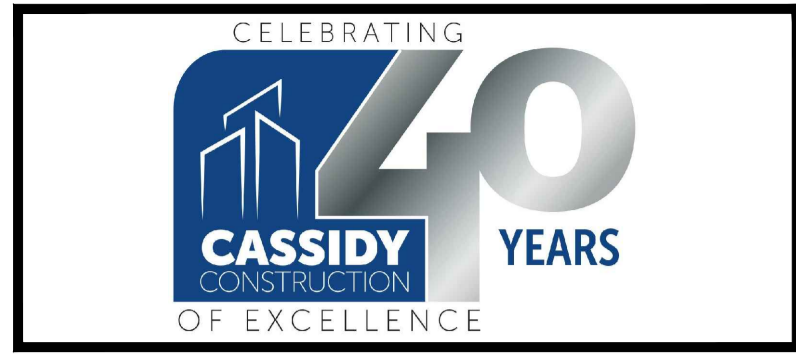
CIVIL ENGINEER
D.B. GRAY ENGINEERING INC
700 LONG POINT CIR,
GLOUCESTER, ON
K1T 4E9

LANDSCAPE ARCHITECT
Lestek Consultants Landscape Architects
5871 Hugh Crescent,
Ottawa, Ontario
K0A 2W0
TEL: 613-826-0518

- NOTES FOR SITE PLAN:**
- EXISTING TREE TO BE REMOVED.
 - EXISTING OVERHEAD UTILITY WIRES.
 - EXISTING STEPS TO BE DEMOLISHED.
 - EXISTING WOOD AND CHAIN LINK FENCE.
 - EXISTING CHAIN LINK FENCE.
 - EXISTING BOARD FENCE.
 - EXISTING WOOD RETAINING WALL.
 - EXISTING 1M WIDE CEDAR HEDGE.
 - EXISTING SIGN.
 - EXISTING 4M WIDE LINE OF CEDAR TREES TO BE REMOVED.
 - EXISTING ASPHALT.
 - EXISTING CONCRETE SIDEWALK.
 - EXISTING DEPRESSED CURB.
 - EXISTING GAS METER.
 - PROPOSED OUTLINE OF 2ND-3RD STOREY.
 - RESERVED.
 - PROPOSED RESIDENTIAL ENTRY.
 - RESERVED.
 - RESERVED.
 - PROPOSED EMERGENCY EXIT.
 - PROPOSED RESIDENTIAL GARBAGE ROOM.
 - RESERVED.
 - PROPOSED WINDOW WELL.
 - PROPOSED PLANTS. REFER TO LANDSCAPE PLAN.
 - PROPOSED SOD. REFER TO LANDSCAPE PLAN.
 - PROPOSED BICYCLE RACK.

- LEGEND FOR SITE PLAN:**
- PROPERTY
 - PROPERTY LINE
 - PROPOSED NEW BUILDING
 - PROPOSED OUTLINE OF 2ND - 3RD STOREY
 - PROPOSED UNIT PAVERS, REFER TO LANDSCAPE PLAN.
 - PROPOSED AGGREGATE

PROJECT INFORMATION		
ZONING BY-LAW 2008-250	TM	
SITE AREA	354.98 SQ.M	
AVERAGE MEAN GRADE (GEODETIC ELEVATION)	63.2	
GROSS FLOOR AREA (CITY OF OTTAWA)		
BELOW GRADE	1417.28 SQ.FT (131.67 SQ.M)	
GROUND FLOOR	1290.59 SQ.FT (119.9 SQ.M)	
2ND FLOOR	2074.42 SQ.FT (192.72 SQ.M)	
3RD FLOOR	1994.23 SQ.FT (185.27 SQ.M)	
TOTAL GFA	6776.52 SQ.FT (629.56 SQ.M)	
UNIT STATISTICS		
1 BEDROOM	10	
2 BEDROOM	2	
TOTAL UNITS	12	
BARRIER FREE UNIT	2	
PROJECT STATISTICS		
	REQUIRED	PROVIDED
BUILDING HEIGHT	TM- MIN 6.5M/ MAX 20M	12M
LANDSCAPED AREA	NO MIN	72.3 SQ.M
FRONT YARD SETBACK	MAX 2m, NO MIN	0M
REAR YARD SETBACK	NO MIN	0M
INTERIOR SIDE YARD SETBACK (WEST)	MAX 3m, NO MIN	0M
INTERIOR SIDE YARD SETBACK (EAST)	MAX 3m, NO MIN	0M
AMENITY AREA REQUIREMENTS		
	REQUIRED	PROVIDED
TOTAL	12 x 6 SQ.M = 72 SQ.M	103.57 SQ.M
COMMON AMENITY AREA	72 x 0.5 = 36 SQ.M	91.57 SQ.M
CAR PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
RESIDENTIAL	0	0
VISITOR	0	0
COMMERCIAL	0	0
BICYCLE PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
RESIDENTIAL	0.5/ UNIT X 12 UNITS = 6	6
TOTAL	6	6
WASTE MANAGEMENT REQUIREMENTS (RESIDENTIAL)		
	REQUIRED	PROVIDED
GARBAGE	0.231 SQ.YD / UNIT	1-3 YD
RECYCLING - FIBRE	360L BLACK CART / 6 UNITS	2-360L
RECYCLING- GMP	360L BLUE CART / 6 UNITS	2-360L
COMPOST	1 KITCHEN CATCHER / UNIT + 1 COMMUNAL 250L GREEN CONTAINER/ 50 UNITS	1-240L
AREA	8.15 SQ.M	14.5 SQ.M

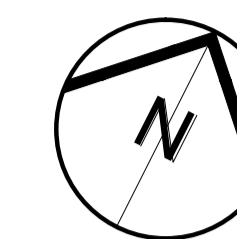
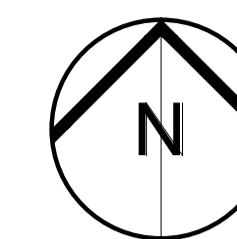


No	ISSUE/REVISION	DATE
3	Revised Issued for Site Plan Approval	16.06.23
2	Reissued for Site Plan Approval	25.11.22
1	Issued for Site Plan Approval	22.02.22
No	ISSUE/REVISION	DATE
Nº	ÉMISSION/RÉVISION	DD/MM/YY



PROJECT NAME: NOM DU PROJET
Development Mixed Use
216 McArthur Ave
Ottawa, On

DRAWING TITLE		TITRE DU DESSIN	
Floor Plans			
JOB No 703-21	N° DE PROJET	DATE June 2021	DATE
SCALE As Noted	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
CONCEPTION BY SG	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
DRAWN BY WKW	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTER VOTRE ÉCHELLE D'IMPRESSION.	
CHECKED BY SG	VÉRIFIÉ PAR		
ARCHITECT'S STAMP	DRAWING No	DESSIN N°	
	SP1		
SCEAU D'ARCHITECTE	REVISION No	REVISION N°	0

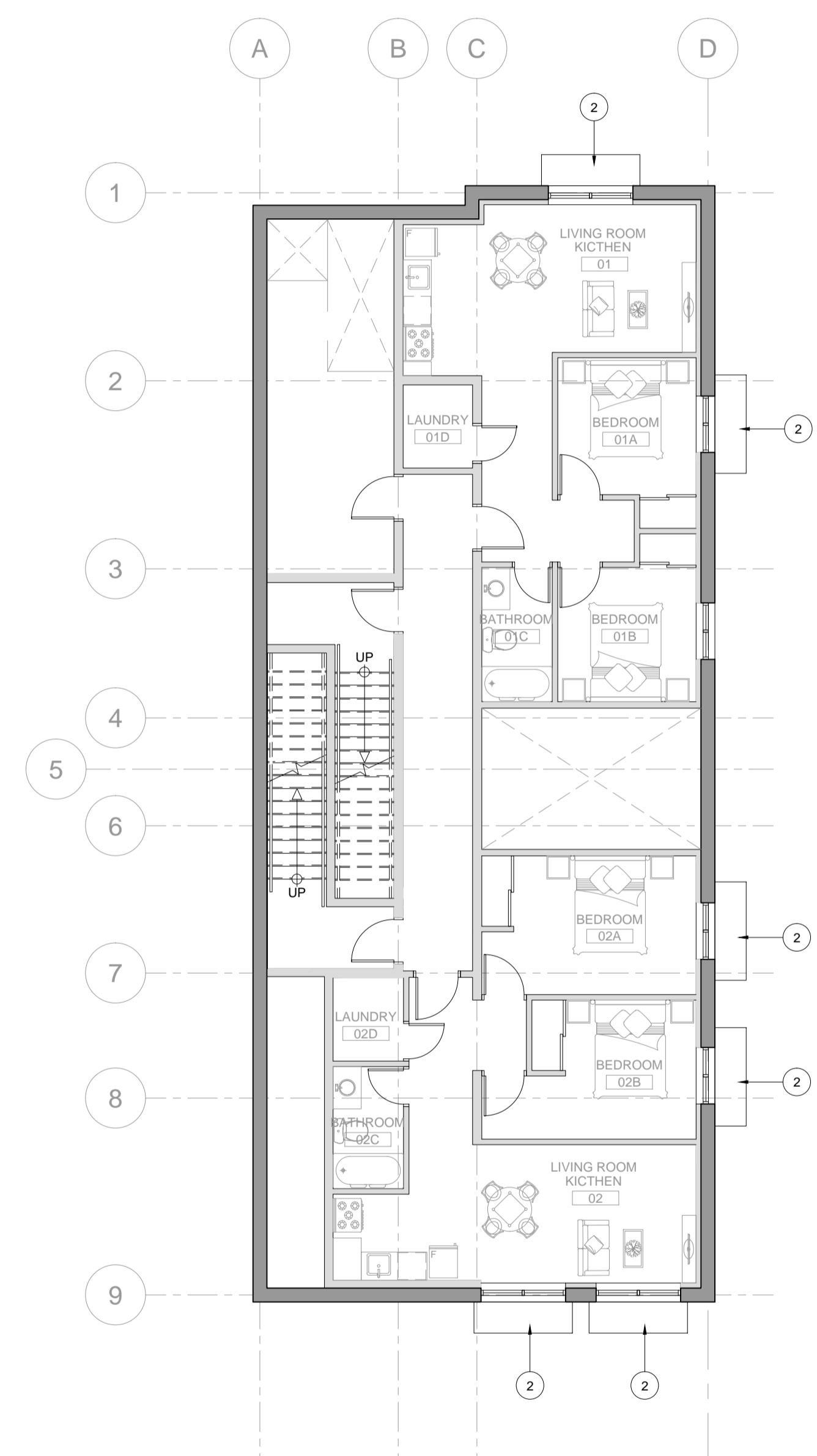


CONSTRUCTION NORTH

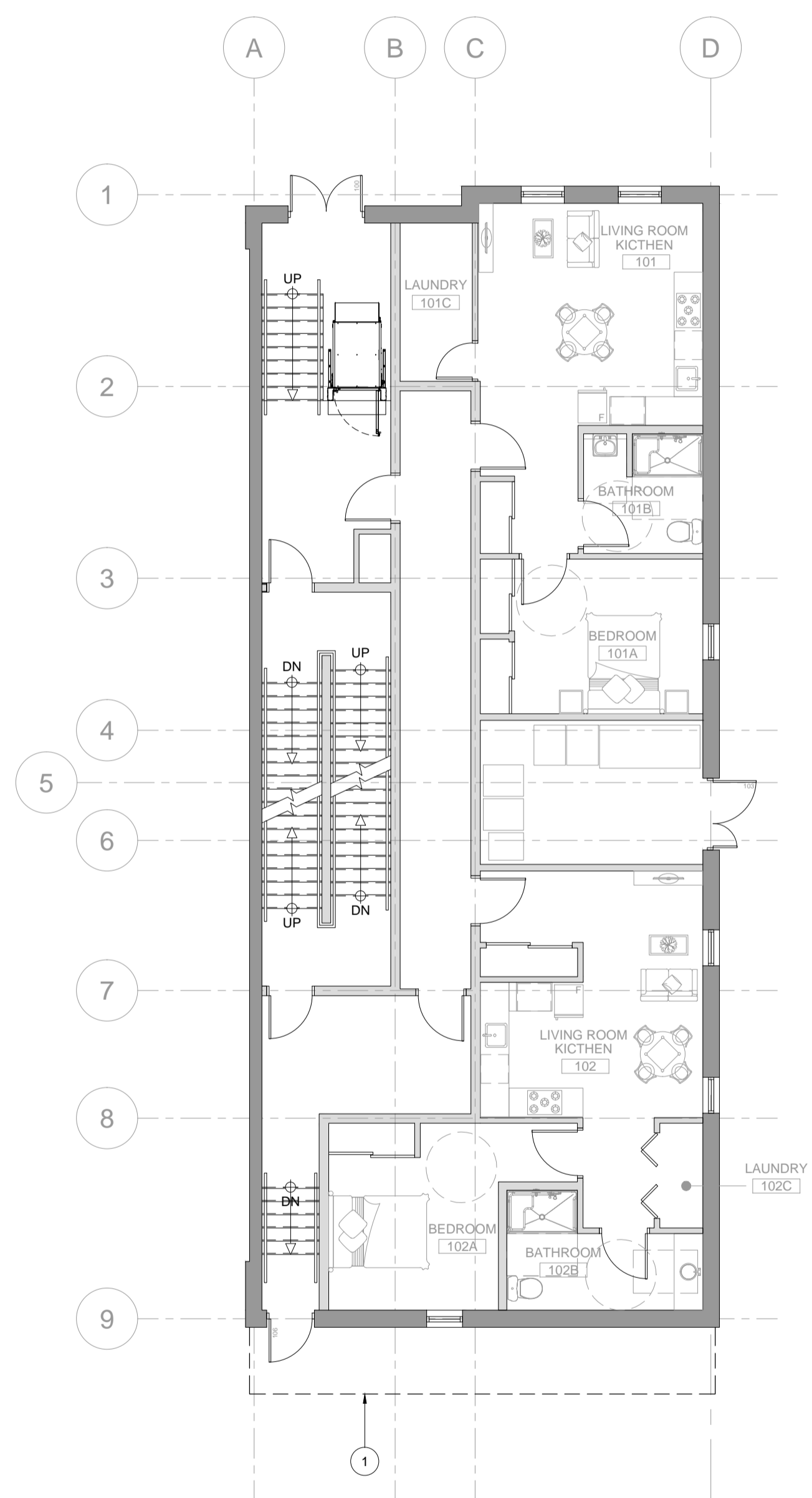
TRUE NORTH

NOTES FOR DRAWING A1:

1. OUTLINE OF SECOND FLOOR.
2. WINDOW WELL.



1
A1
Basement Plan
Scale = 1:100



2
A1
Ground Floor Plan
Scale = 1:100

No	ISSUE/REVISION ÉMISSION/RÉVISION	DATE DD/MM/YY
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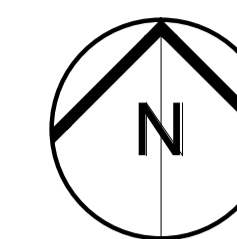
BRYDEN GIBSON
ARCHITECTS INCORPORATED
1066 Somerset Street West, Suite 200, Ottawa Ontario, K1Y 4T3
Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

PROJECT NAME / NOM DU PROJET
**Development
Mixed Use
216 McArthur Ave
Ottawa, On**

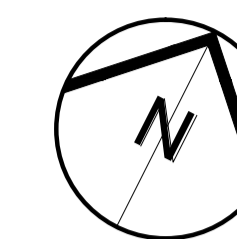
DRAWING TITLE / TITRE DU DESSIN
Floor Plans

JOB No	N° DE PROJET	DATE	DATE
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WKW			
CHECKED BY	VÉRIFIÉ PAR		
SG			

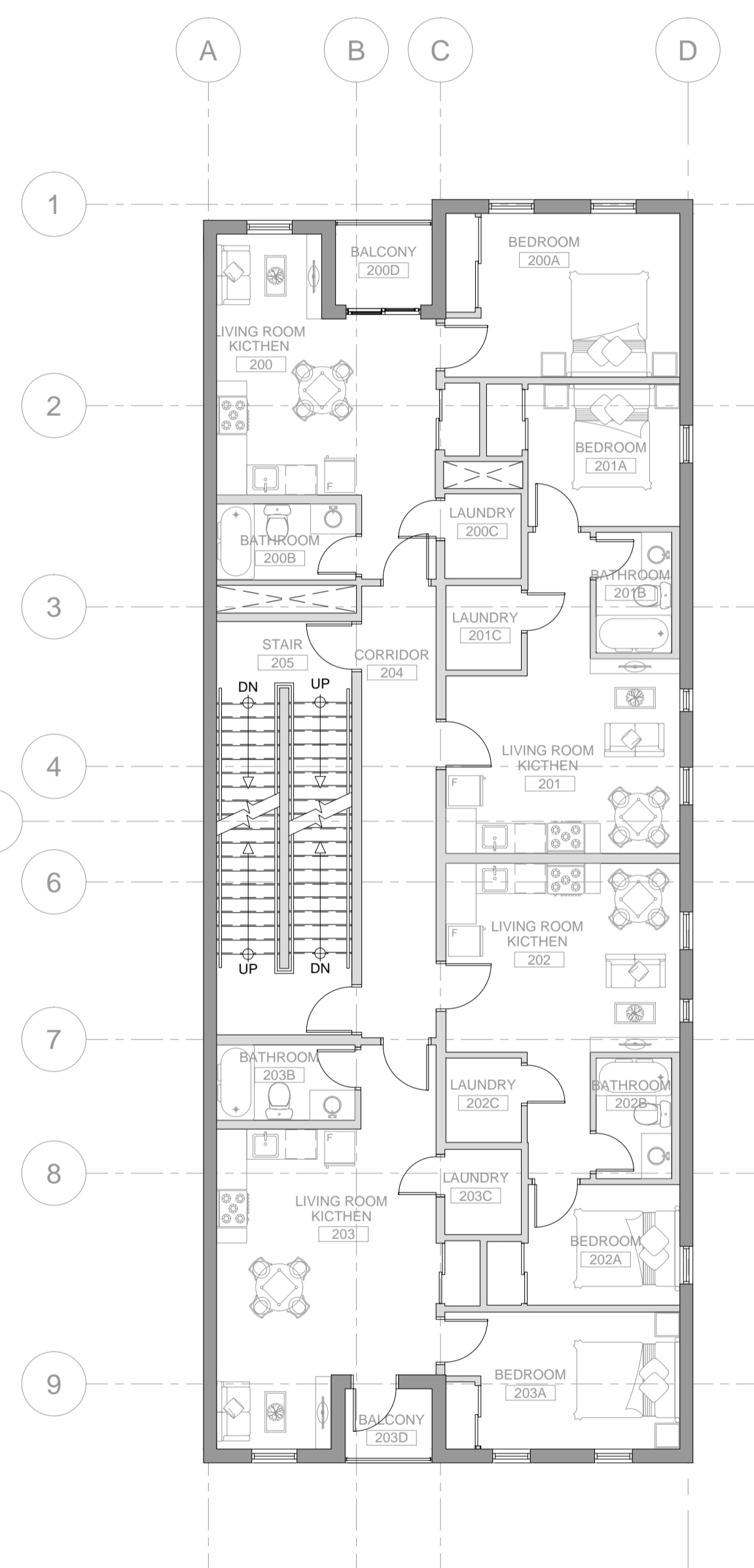
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SCEAU D'ARCHITECTE	REVISION No	DESSIN N°
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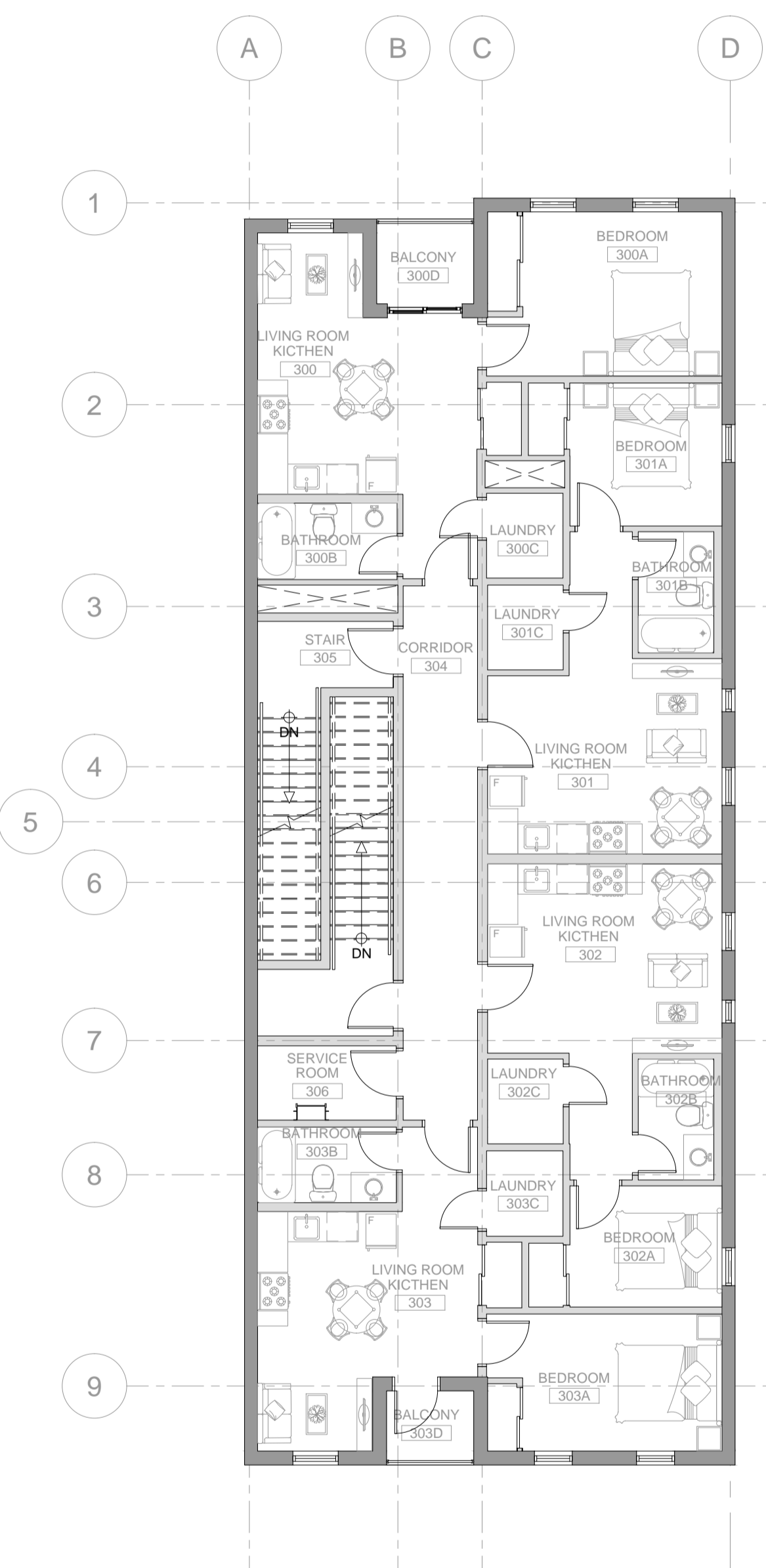
CONSTRUCTION NORTH



TRUE NORTH



1
A2
Second Floor Plan
Scale = 1:100



2
A2
Third Floor Plan
Scale = 1:100

No	ISSUE/REVISION ÉMISSION/RÉVISION	DATE DD/MM/YY
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PROJECT NAME / NOM DU PROJET

**Development
Mixed Use
216 McArthur Ave
Ottawa, On**

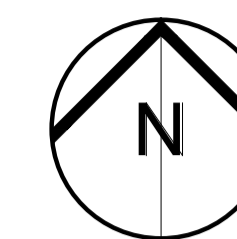
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Floor Plans

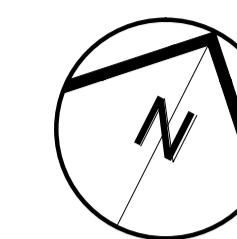
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WKW			
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SG			
ARCHITECT'S STAMP	DRAWING No	DESSIN N°	

A2

REVISION No / RÉVISION N° 0



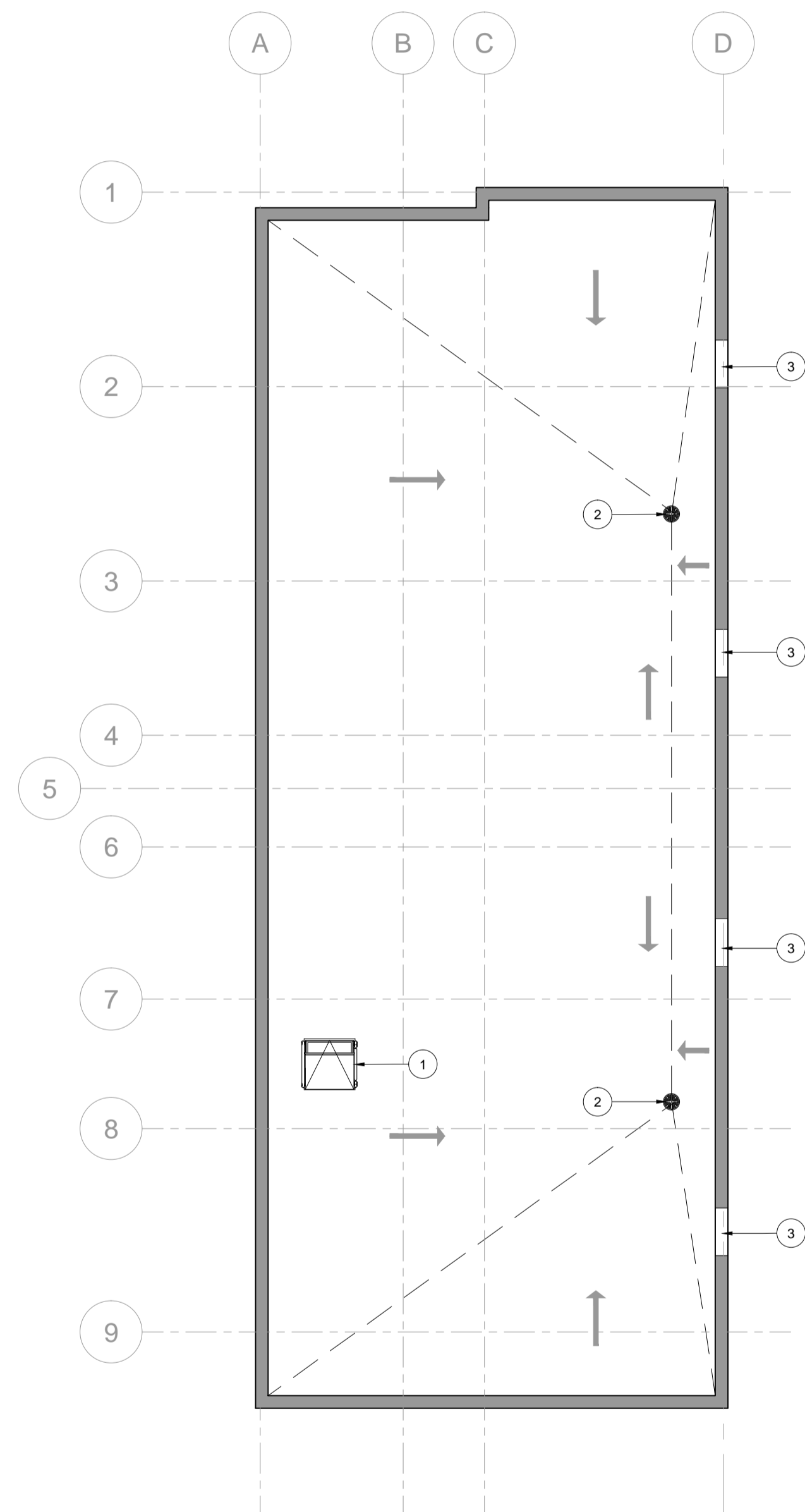
CONSTRUCTION NORTH



TRUE NORTH

NOTES FOR DRAWING A3:

1. ROOF HATCH.
2. ROOF DRAIN.
3. SCUPPER.



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PROJECT NAME / NOM DU PROJET

**Development
 Mixed Use
 216 McArthur Ave
 Ottawa, On**

DRAWING TITLE / TITRE DU DESSIN

Roof Plan

JOB No 703-21	N° DE PROJET	DATE June 2021	DATE
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CHECKED BY SG	VÉRIFIÉ PAR		

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SCEAU D'ARCHITECTE	REVISION No 0	RÉVISION N°

