

PAGE SIZE 24" x 36" SCALE 1:250

SHADE GROUP INC.  
PO BOX 1716  
ALMONTE, ON  
K0A 1A0

**LEGEND**  
(IF APPLICABLE)

---	PROPERTY BOUNDARY
---	EX. ROAD CENTRE LINE
---	EX. EDGE OF ASPHALT
---	EX. EDGE OF SHOULDER
---	EX. DITCH
---	EX. CONTOUR AND ELEVATION
---	APPROX. LOCATION OF EXISTING UNDERGROUND UTILITIES
---	EX. BUILDING
→	EX. OVERLAND FLOW ROUTE
→	EX. OVERLAND FLOW SLOPE AND DIRECTION OF FLOW
○	EX. TREES + BRUSH
○	SWALE SLOPE AND DIRECTION OF FLOW
○	SWALE DESIGN ELEVATION
○	EX. DITCH ELEVATION
○	PR. TOP OF SLOPE
○	PR. FENCING
○	DESIGN ELEVATION - MATCH EXISTING
○	PR. DESIGN ELEVATION
○	PR. DRAINAGE DIRECTION & SLOPE

04	REVISED PER CITY COMMENTS	JUNE 1, 2023
03	REVISED PER CITY COMMENTS	MAY 8, 2023
02	REVISED PER CITY COMMENTS	APR 18, 2023
01	REVISED PER CITY COMMENTS	MAR 8, 2023
00	ISSUED FOR REVIEW	OCT 7, 2022
REV. #	REVISION DESCRIPTION	DATE

STAMP

PROJECT TITLE **JABULANI WINERY**

DRAWING TITLE **GRADING AND DRAINAGE PLAN**

DRAWING NO. **1 OF 2**

**APPROVED**  
By Sarah McCormick at 11:11 am, Jun 22, 2023

**SARAH MCCORMICK**  
PLANNER  
PLANNING, REAL-ESTATE & ECONOMIC-DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**GENERAL NOTES**

- ALL TOPOGRAPHY, GROUND ELEVATIONS AND SURVEY DATA ARE SHOWN FOR INFORMATION PURPOSES ONLY AND IMPLY NO GUARANTEE OF ACCURACY. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THIS PLAN HAS BEEN PREPARED IN REFERENCE TO A SITE PLANS PREPARED BY GEMTEC, DATED JULY 2022. THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES OR EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HAVE BEEN DERIVED DATA SUPPLIED BY GEMTEC.
- THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR ACQUIRING LOCATES PRIOR TO CONSTRUCTION. APPROXIMATE LOCATION OF UNDERGROUND UTILITIES IS FOR INFORMATION PURPOSES ONLY AND IS PER INFORMATION SUPPLIED BY THE OWNER. THERE IS NO IMPLIED GUARANTEE OF ACCURACY.
- LAYOUT BY OTHERS.
- ALL DISTURBED AREAS ARE TO BE SEED AS SOON AS FEASIBLE. NO BARE TOPSOIL SHALL REMAIN. ALL DISTURBED AREAS INTENDED TO BE FINISHED AS GRASS ARE TO BE TREATED WITH A MIN. 75mm TOPSOIL AND SEED (OR SOD).

- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- DISTURBED AREAS WITHIN THE ROAD ALLOWANCE ARE TO BE RESTORED TO THE SATISFACTION OF THE APPLICABLE AUTHORITY.
- GRADING NOT TO EXTEND BEYOND PROPERTY LINES.
- ALL PARKING LOT AND GRADING WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- ALL WORKS ARE TO BE PERFORMED IN ACCORDANCE WITH CURRENT CODES AND STANDARDS.
- ANY CHANGES MADE TO THIS PLAN ARE TO BE VERIFIED AND APPROVED BY SHADE GROUP INC. AND ARE SUBJECT TO APPROVAL FROM THE APPROPRIATE APPROVAL AGENCIES.
- UNDERSIDE OF FOOTING ELEVATION WAS PROVIDED BY CLIENT. SHADE GROUP HAS PREPARED THE ENCLOSED PLAN BY VISUAL INSPECTION AND THROUGH INPUT FROM OTHERS. SHADE GROUP DID NOT DESTRUCTIVE OR NON DESTRUCTIVE TESTING, NOR WAS SHADE GROUP RETAINED TO COMPLETE ANY EXCAVATION OR DRILLING TO VERIFY SUBSURFACE FEATURES OR CONDITIONS.
- TOPOGRAPHY OF EXISTING RETENTION AREA IS APPROXIMATE ONLY AND HAS BEEN ESTIMATED BASED ON INFORMATION PROVIDED BY THE OWNER.
- ENGINEER TO CONFIRM PERMANENT POOL AND ACTIVE STORAGE AREAS POST-CONSTRUCTION.

**PARKING LOT CROSS-SECTION**

REFER TO THE "ASSESSMENT OF PARKING LOT SUBSURFACE CONDITIONS" REPORT PREPARED BY GEMTEC, DATED JULY 26, 2022 FOR DETAILS PERTAINING TO THE PARKING LOT CROSS-SECTION.

**EROSION AND SEDIMENT CONTROL NOTES**

- BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED BY THE CONTRACTOR/OWNER TO PROTECT THE SITE AND SURROUNDING PROPERTIES DURING ANY CONSTRUCTION ACTIVITIES. THIS INCLUDES PRACTICES SUCH AS LIMITING THE AMOUNT OF DISTURBED LANDS, AND INSTALLATION OF SILT FENCE BARRIERS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE PROJECT MANAGER, OWNER, CONSERVATION AUTHORITY, MECP, MUNICIPALITY OR OTHER APPLICABLE REGULATORY AGENCY.
- DISTURBED AREAS ARE TO BE TOPSOILED, SEED AND/OR STABILIZED UPON COMPLETION, OR THROUGH LONG PERIODS OF WORK STOP (E.G. DURING WINTER MONTHS).
- REGROWTH OF VEGETATION SHALL BE A PRIORITY UPON SITE COMPLETION. VEGETATION OF THE SITE

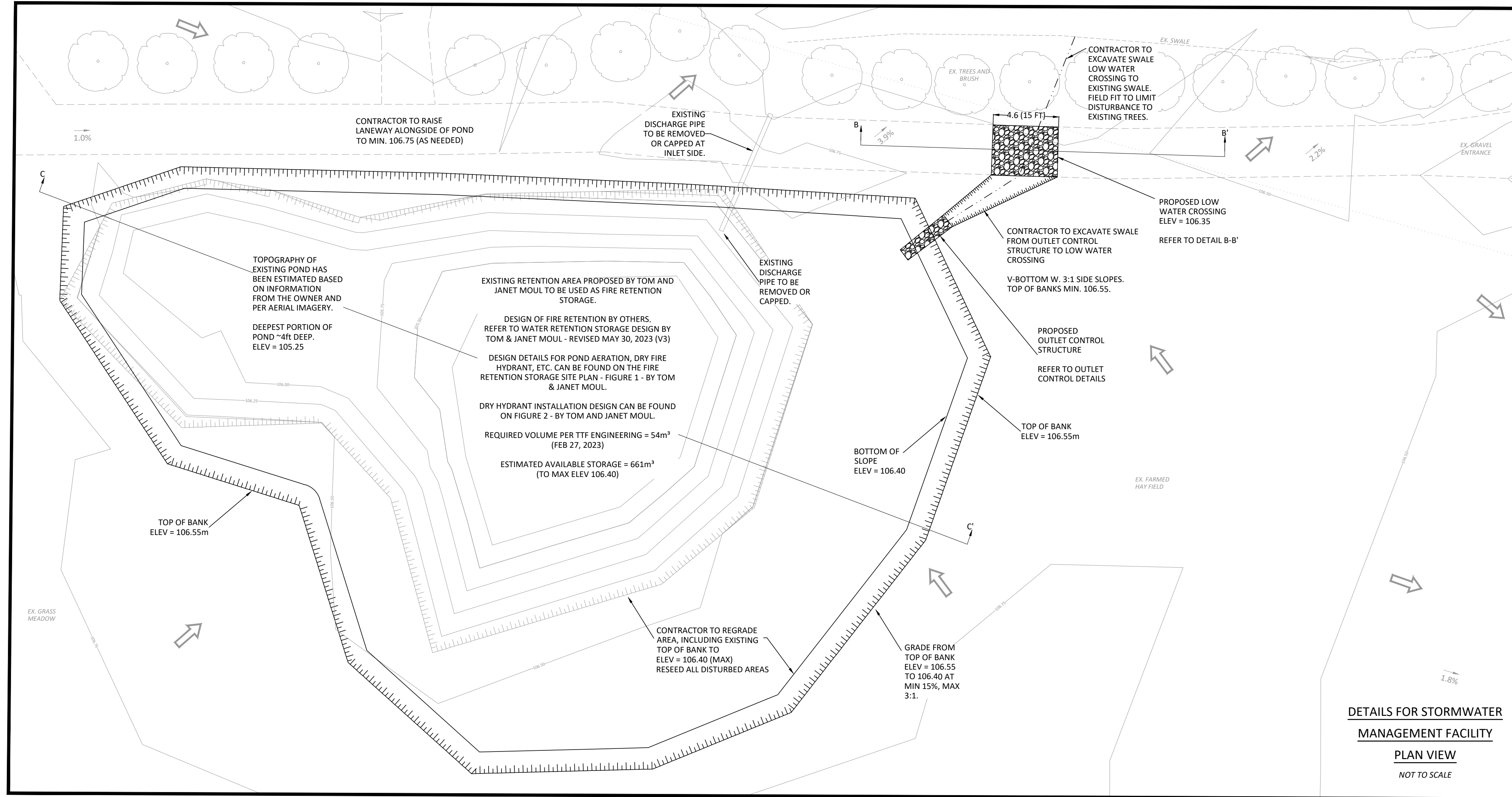
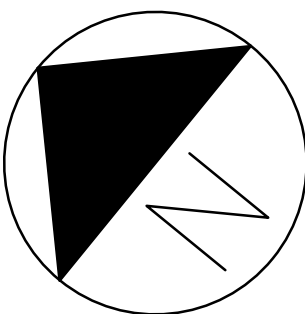
SEVES AS A KEY EROSION AND SEDIMENT CONTROL PRACTICE FOR THE LONG TERM PERFORMANCE OF THE SITE.

- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION. ALL MEASURES ARE TO BE MONITORED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION, INCLUDING UPON COMPLETION, UP UNTIL THE SITE IS DEEMED STABLE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS, WHERE NO SUCH SPECIFICATION IS AVAILABLE, REFERENCE SHALL BE MADE TO THE APPROPRIATE OPSD OR OPS.
- THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING A MAINTENANCE AND MONITORING PLAN FOR EROSION AND SEDIMENT CONTROL. THIS SHALL INCLUDE CONSIDERATION FOR INSPECTION, AND DUE CONSIDERATION FOR MAINTENANCE, INCLUDING REMOVAL OF ACCUMULATED SEDIMENT AND REMOVAL IN SUCH A MANNER THAT SEDIMENT IS NOT DISCHARGED DOWNSTREAM.
- REFER TO THE MTO EROSION AND SEDIMENT CONTROL GUIDE ON PROPER PRACTICE IN MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES.

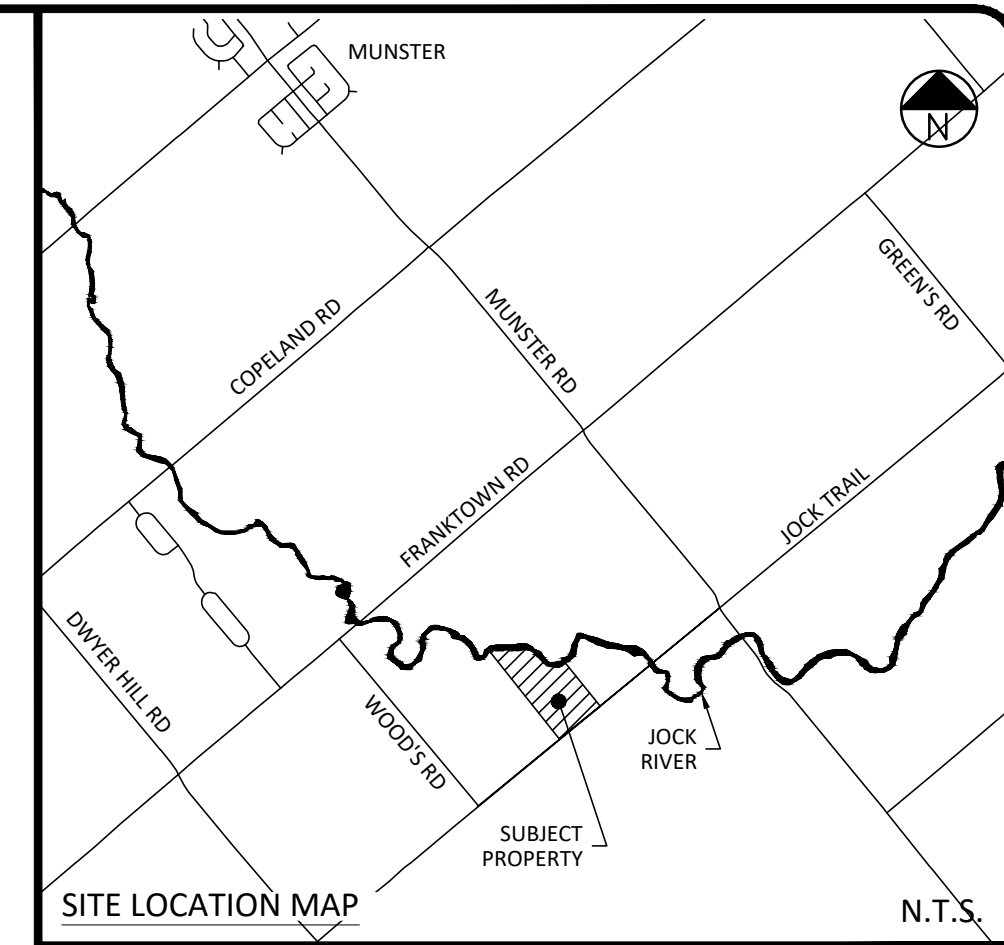
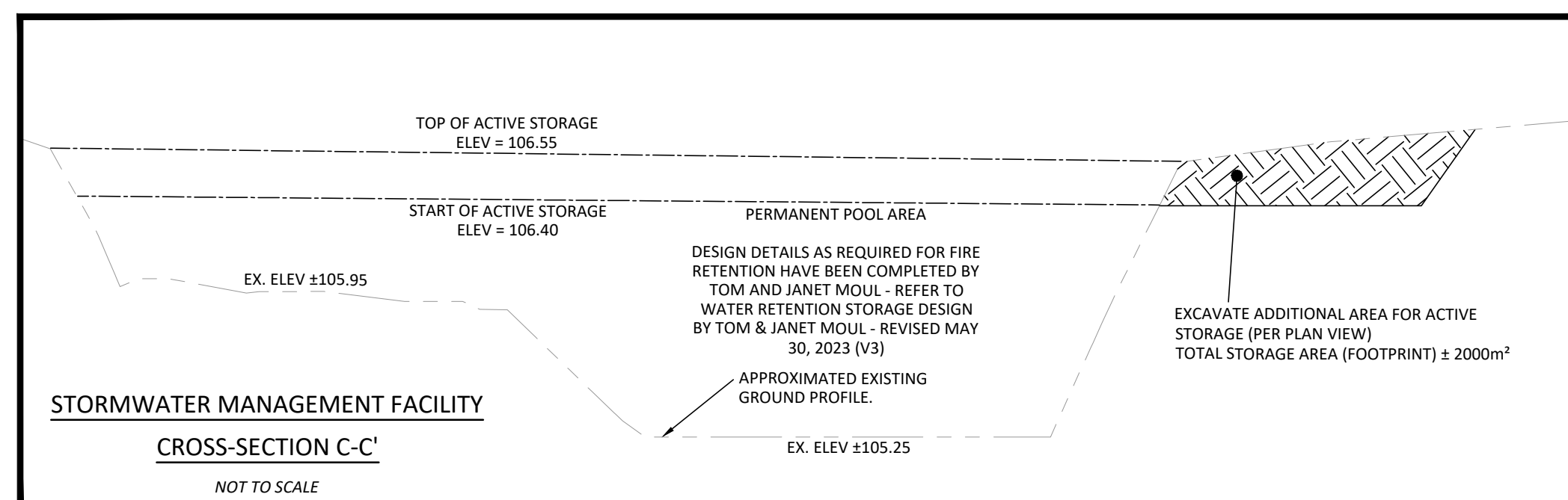
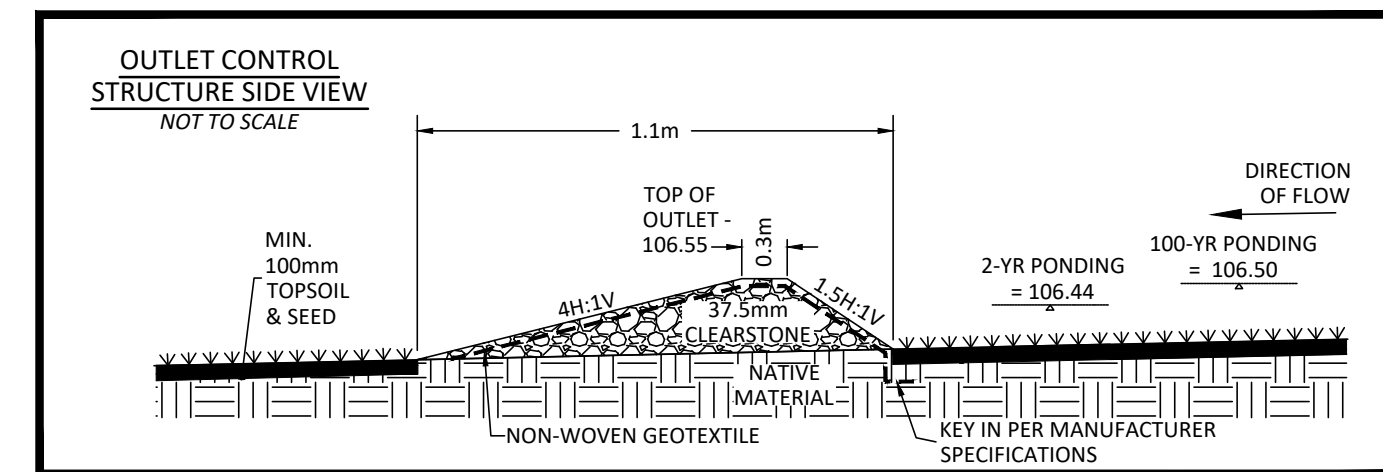
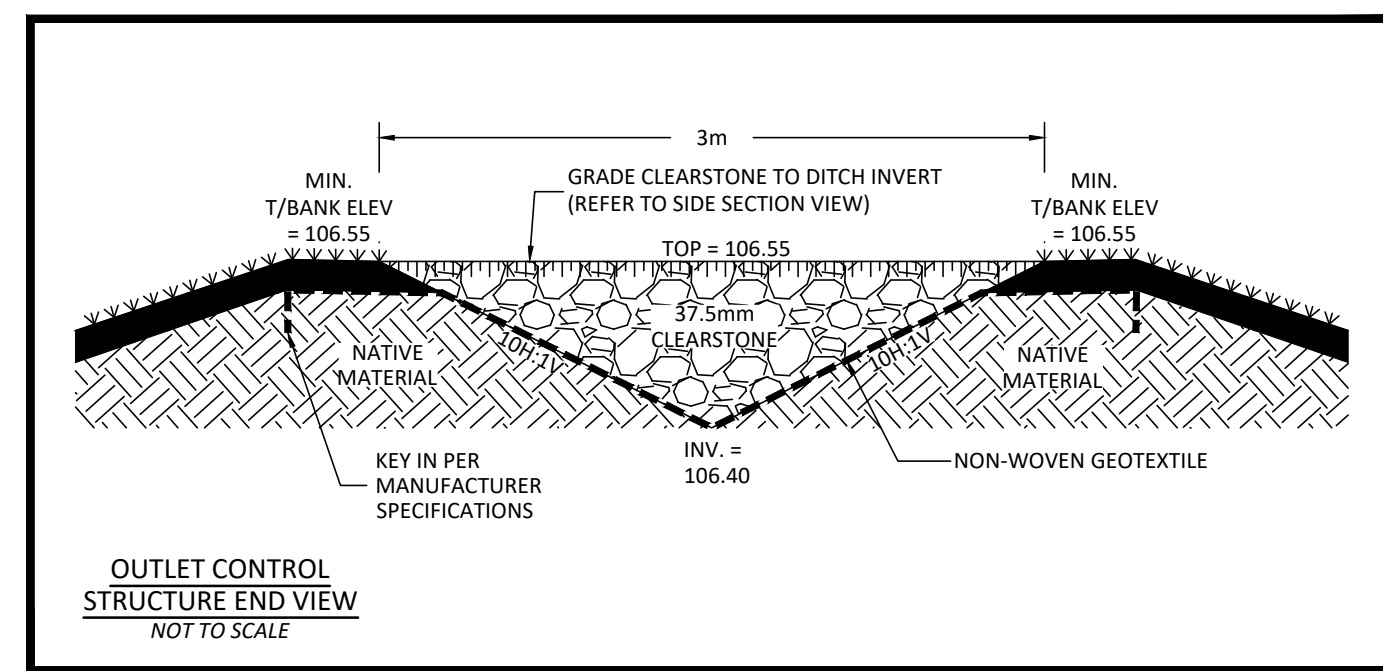
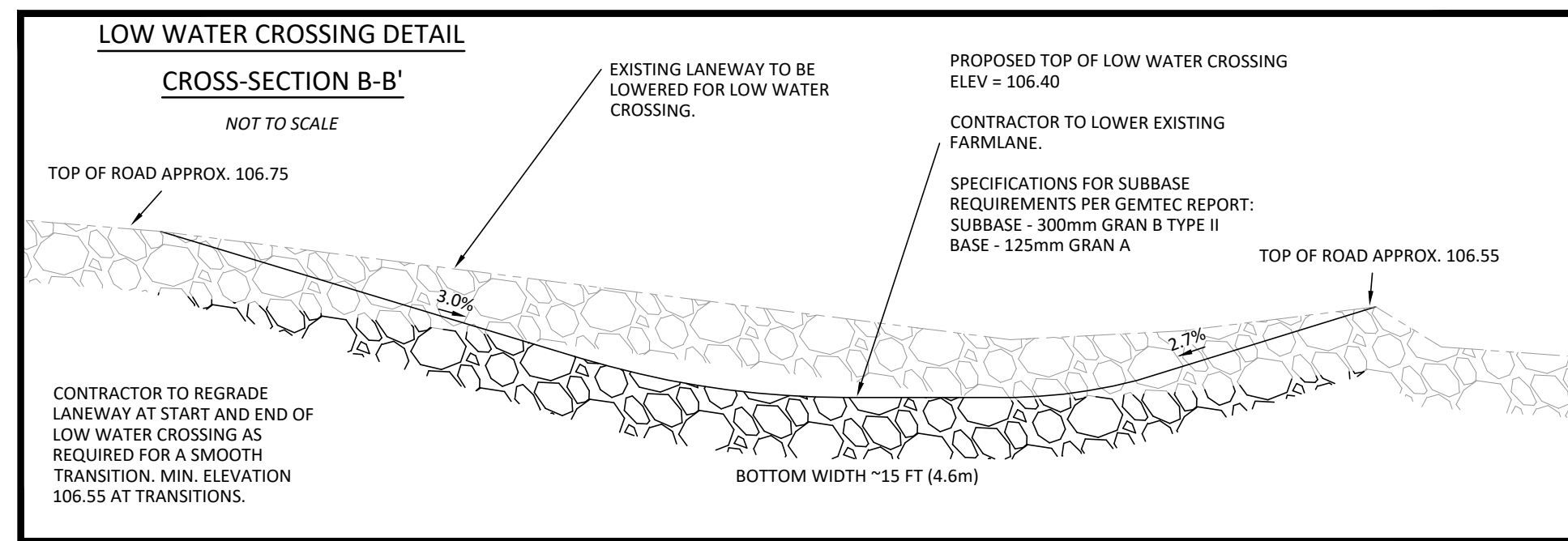
**LIMITATIONS**

THIS GRADING AND DRAINAGE PLAN HAS BEEN PREPARED BASED ON EXISTING SITE CONDITIONS AND PROVIDES IMPROVEMENTS WHERE FEASIBLE TO DIRECT RUNOFF TO THE APPROPRIATE OUTLETS. IT IS ACKNOWLEDGED THAT THIS PLAN MAY NOT COMPLY WITH ALL OF THE CITY OF OTTAWA GRADING GUIDELINES HOWEVER GIVEN THE DEVELOPMENT HAS BEEN IN EXISTENCE FOR ~10 YEARS, A COMPLETE RE-GRADE WOULD BE COST PROHIBITIVE. INSTEAD, BEST EFFORTS HAVE BEEN MADE WHERE EVER FEASIBLE.





**DETAILS FOR STORMWATER MANAGEMENT FACILITY**  
**PLAN VIEW**  
 NOT TO SCALE



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**APPROVED**  
 By Sarah McCormick at 11:12 am, Jun 22, 2023

**SARAH MCCORMICK**  
**PLANNER**  
 PLANNING, REAL-ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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**PROJECT TITLE**  
 JABULANI WINERY

**DRAWING TITLE**  
 STORMWATER MANAGEMENT DETAILS PLAN

**DRAWING NO.**  
 2 OF 2

CITY DEVELOPMENT APPLICATION NO. 2023-12-22-013 PLAN NUMBER 1892