

**NEW 6 STOREY APARTMENT BUILDING  
60 UNITS**

**LEGAL DESCRIPTION:**

PART 1 PLAN OF LOT 2 AND PART OF LOTS 1 AND 3 REGISTERED PLAN 183 CITY OF OTTAWA

**REFERENCE SURVEY:**

BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED AUGUST 25, 2022.

**MUNICIPAL ADDRESS:**

377 - 381 WINONA AVE. OTTAWA, ON

**DEVELOPMENT INFORMATION:**

SITE AREA	960 m <sup>2</sup>
BUILDING AREA	787 m <sup>2</sup>
GROSS FLOOR AREA	4,666 m <sup>2</sup>
BUILDING HEIGHT	19.5m
ZONE	
SCHEDULE 1:	AREA B INNER URBAN
SCHEDULE 1A:	AREA Y INNER URBAN MAINSTREET
SCHEDULE 2:	FULLY WITHIN 600 m RADIUS

**UNIT MIX:**

TWO BEDROOM	18
ONE BEDROOM	18
STUDIO	24
<b>TOTAL</b>	<b>60</b>

**ZONING PROVISION**

	REQUIRED	PROVIDED
MIN. LOT WIDTH	No Minimum	29.9 m <sup>2</sup>
MIN. LOT AREA	No Minimum	961 m <sup>2</sup>
MAX. FRONT YARD SETBACK	2 m	0 m
MIN. REAR YARD SETBACK	No Minimum	0 m
MIN. INTERIOR YARD SETBACK	No Minimum	0 m

MAX. HEIGHT	20 m / 6 storeys Additional setback of 2 meters where building greater than 4 storeys	19.00 m Additional 2 m setback provided above 4 <sup>th</sup> storey
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AMENITY AREA	360 m <sup>2</sup> (6 m <sup>2</sup> per dwelling unit)	360 m <sup>2</sup>
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**PARKING QUEING + LOADING**

	REQUIRED	PROVIDED
RESIDENTIAL SPACES	13	13
VISITOR SPACES	5	5
ACCESSIBLE PARKING	1 - Type A & B	1 - Type A & B
BICYCLE PARKING	32	60

**SITE PLAN GENERAL NOTES:**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**SITE PLAN KEYNOTES:**

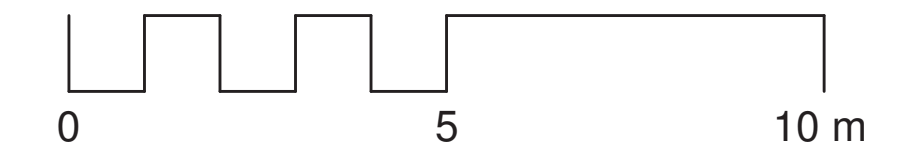
- EXTENT OF OVERHANG ABOVE
- BUILDING SETBACK FLOOR 2 - 6
- BUILDING SETBACK FLOOR 5 + 6
- EXTENT OF STRUCTURE BELOW GRADE
- MAXIMUM 2% SLOPE AT TOP OF RAMP
- FIRE DEPARTMENT STANDPIPE CONNECTION
- COMMERCIAL GARBAGE ENCLOSURE
- HYDRO TRANSFORMER PAD
- CONCRETE PAD FOR NATURAL GAS METER
- AREA WELL FOR GARAGE VENTILATION
- PRIVATE YARD
- WOOD FENCE
- DROP CURB FOR DRIVEWAY AND GARBAGE

**SITE PLAN LEGEND:**

- EXISTING BUILDING
- ASPHALT PAVING
- NEW GRASS, REFER TO LANDSCAPING PLAN
- NEW PLANTING, REFER TO LANDSCAPING PLAN
- CLEAR STONE, REFER TO LANDSCAPING PLAN
- CONCRETE SIDEWALK
- PAVERS
- PAVERS
- CONCRETE PAD
- VENTILATION GRILL
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- EMERGENCY EXIT
- PROPERTY LINE
- NEW FENCE
- OVERHEAD WIRES
- EDGE OF ASPHALT
- EXISTING EDGE OF ASPHALT TO BE REVISED
- ROAD CENTERLINE
- EXISTING DOMESTIC WATER
- EXISTING SANITARY
- EXISTING STORM
- EXISTING GAS
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- NEW TREE
- EXISTING TREE
- BICYCLE PARKING
- STANDPIPE CONNECTION

*Andrew McCreight*  
**ANDREW MCCREIGHT**  
 MANAGER (A), DEVELOPMENT REVIEW CENTRAL  
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
 DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
 By Andrew McCreight at 2:43 pm, Jun 19, 2023



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**STAMP**

REV DATE	ISSUE
4 2023.03.28	ISSUED FOR SPC RESUBMISSION
2 2023.02.14	ISSUED FOR SPC RESUBMISSION
1 2022.10.13	ISSUED FOR SPC

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**CLIENT**  
**AZURE**

OTTAWA  
 ONTARIO, CANADA

**PROJECT**  
**WINONA PH DEVELOPMENT**

377 -381 WINONA AVE. OTTAWA, ON

**TITLE**  
**SITE PLAN**

PROJECT NO: 2022-1290  
 DRAWN: DF  
 APPROVED: DH  
 SCALE: As indicated  
 DATE PRINTED: 3/28/2023 3:21:46 PM

REV 4 DRAWING NO. **A.100**



**1 WEST ELEVATION**  
A.301 | 1:100



**2 NORTH ELEVATION**  
A.301 | 1:100

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**EXTERIOR ELEVATION LEGEND:**

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
	M1	BRICK VENEER COLOUR: RED
	FC1	FIBERCEMENT CLADDING COLOUR: CHARCOAL
	FC2	FIBERCEMENT CLADDING COLOUR: MEDIUM GREY
	FC3	FIBERCEMENT SIDING COLOUR: LIGHT GREY

**EXTERIOR ELEVATIONS KEYNOTES:**

- 1 GLASS GUARD. TYPICAL
- 2 GARAGE DOOR
- 3 ROOFTOP TRELLIS
- 4 ROOFTOP MECHANICAL SCREEN
- 5 ELEVATOR OVERRUN
- 6 PRECAST WINDOW SILL. TYPICAL
- 7 STOREFRONT GLAZING. NO SPANDREL PANELS PROPOSED
- 8 PAINTED STEEL CANOPY. TYPICAL
- 9 GARBAGE ENCLOSURE
- 10 PRECAST WALL CAP
- 11 MASONRY CORNICE
- 12 BRICK SOLDIER COURSE. TYPICAL
- 13 METAL FLASHING



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**NORTH & WEST  
ELEVATIONS**

PROJECT NO:	2022-1290
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DATE PRINTED:	2/16/2023 12:40:16 PM

REV DRAWING NO.

**2 A.301**



**1 EAST ELEVATION**  
A.302 | 1:100



**2 SOUTH ELEVATION**  
A.302 | 1:100

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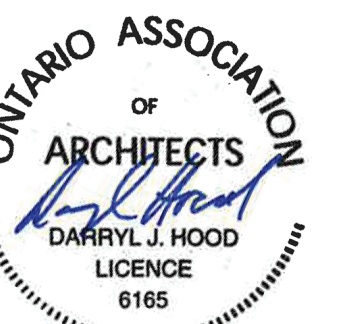
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