

5646 Manotick Main Street

CONTENTS

Architecture

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22199 Manotick

RELEASE 1 - ISSUED FOR SPA
2023-05-24

Version 1 A

Project version note



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POUR CONSTRUCTION



ROSSMANN
ARCHITECTURE

88 Saint-Joseph Boulevard,
Gatineau QC J8Y 3W5
819-600-1555

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PROJECT TEAM / ÉQUIPE DU PROJET :

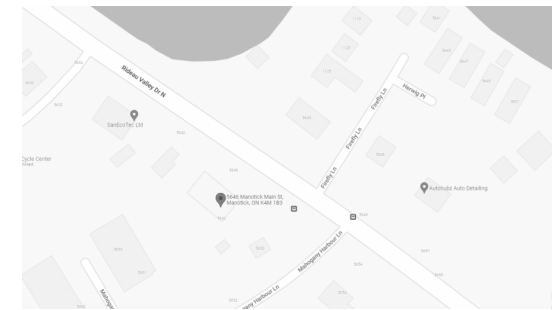
DRIVE-THRU RESTAURANT

CODE MATRIX									
Project Description	Change of Use			Part 11			Part 3		Part 9
	Existing	New	Alteration	Part 11	Part 3	Part 9	Part 3	Part 9	
Major Occupancy							3.1.2.1. (1)		9.10.2.
Building Area (m²)	Existing	New	232	Total			3.1.2.2.		1.1.3.2.
Gross Area (m²)	Existing	New		Total			1.1.3.2.		1.1.3.2.
Number of Storeys	Above Grade	1		Below Grade	x		3.2.1.1. & 1.1.3.2.		2.1.1.3.
Height of Building (m)	5						2.1.1.3.		
Number of Streets/Access Routes	1						3.2.2.10. & 3.2.5.5.		
Building Classification	GROUP E – 1 FLOOR						3.2.2.20 – 83		9.10.4.
Sprinkler System Proposed	<input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not Required						3.2.2.20-83		9.10.8
Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.9.		
Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.4.		9.10.7.2.
Water Service/Supply is Adequate	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6.		
High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6.		
Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible						3.2.2.20 - 83		9.10.6.
Actual Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible						3.2.1.1. 3)- 8)		9.10.4.1.
Mezzanine(s) Area							3.1.17.		9.9.1.3.
Occupant Load Based on	<input type="checkbox"/> m² <input checked="" type="checkbox"/> Design of building						3.1.17.		9.9.1.3.
Parking level – 02	Occupancy	Load							
Parking level – 01	Occupancy	Load							
Ground Floor	Occupancy	30		Load					
Level 2	Occupancy	Load							
Level 3	Occupancy	Load							
Level 4	Occupancy	Load							
Level 5	Occupancy	Load							
Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)						3.8.		9.5.2.
Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.1.2. (1) & 3.3.1.19. (1)		9.10.1.3.
Required Fire Resistance Rating	Horizontal Assemblies FRR(Hours) Floors - NA Based On Roof - Based On Mezzanine - Based On FRR of Supporting Members Floors - NA Based On Roof - Based On Mezzanine - Based On			Listed Design No. or Description (SG-2) 3.2.2.20-83 & 3.2.1.4.			9.10.8. & 9.10.9.		
Spatial Separation – Construction Of Exterior Walls									
Wall	Area (m²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Constr.	Non-comb. Constr.
North	-	-						<input type="checkbox"/>	<input type="checkbox"/>
South	-	-						<input type="checkbox"/>	<input type="checkbox"/>
East	-	-						<input type="checkbox"/>	<input type="checkbox"/>
West	-	-						<input type="checkbox"/>	<input type="checkbox"/>
Exigences Relatives Aux Issues									
Étage	Min. Number of Exits	Min. Width of Corridors	Min. Width of Ramps	Min. Width of Stairs	Min. Width of door openings	Max. Travel Distance	Max. Distance between Exits	Panic bars	
Sous-sol								<input type="checkbox"/>	
1 st Floor	2	1100						<input type="checkbox"/>	
2 nd Floor								<input type="checkbox"/>	
3 rd Floor								<input type="checkbox"/>	
4 th Floor								<input type="checkbox"/>	
5 th Floor								<input type="checkbox"/>	
6 th Floor								<input type="checkbox"/>	

CAR WASH

CODE MATRIX									
Project Description	Change of Use			Part 11			Part 3		Part 9
	Existing	New	Alteration	Part 11	Part 3	Part 9	Part 3	Part 9	
Major Occupancy							3.1.2.1. (1)		9.10.2.
Building Area (m²)	Existing	New	288.7	Total			1.1.3.2.		1.1.3.2.
Gross Area (m²)	Existing	New		Total			1.1.3.2.		1.1.3.2.
Number of Storeys	Above Grade	1		Below Grade	x		3.2.1.1. & 1.1.3.2.		2.1.1.3.
Height of Building (m)	5						2.1.1.3.		
Number of Streets/Access Routes	1						3.2.2.10. & 3.2.5.5.		
Building Classification	GROUP F2 – 1 FLOOR						3.2.2.20 – 83		9.10.4.
Sprinkler System Proposed	<input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not Required						3.2.2.20-83		9.10.8
Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.9.		
Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.4.		9.10.7.2.
Water Service/Supply is Adequate	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6.		
High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6.		
Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible						3.2.2.20 - 83		9.10.6.
Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible						3.2.1.1. 3)- 8)		9.10.4.1.
Mezzanine(s) Area							3.1.17.		9.9.1.3.
Occupant Load Based on	<input type="checkbox"/> m² <input checked="" type="checkbox"/> Design of building						3.1.17.		9.9.1.3.
Parking level – 02	Occupancy	Load							
Parking level – 01	Occupancy	Load							
Ground Floor	Occupancy	5		Load					
Level 2	Occupancy	Load							
Level 3	Occupancy	Load							
Level 4	Occupancy	Load							
Level 5	Occupancy	Load							
Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)						3.8.		9.5.2.
Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.1.2. (1) & 3.3.1.19. (1)		9.10.1.3.
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Wall	Area (m²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Constr.	Non-comb. Constr.
North	-	-						<input type="checkbox"/>	<input type="checkbox"/>
South	-	-						<input type="checkbox"/>	<input type="checkbox"/>
East	-	-						<input type="checkbox"/>	<input type="checkbox"/>
West	-	-						<input type="checkbox"/>	<input type="checkbox"/>
Exigences Relatives Aux Issues									
Étage	Min. Number of Exits	Min. Width of Corridors	Min. Width of Ramps	Min. Width of Stairs	Min. Width of door openings	Max. Travel Distance	Max. Distance between Exits	Panic bars	
Sous-sol								<input type="checkbox"/>	
1 st Floor	1	1100						<input type="checkbox"/>	
2 nd Floor								<input type="checkbox"/>	
3 rd Floor								<input type="checkbox"/>	
4 th Floor								<input type="checkbox"/>	
5 th Floor								<input type="checkbox"/>	
6 th Floor								<input type="checkbox"/>	

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

5646 Manotick Main Street | www.WEBSITE.com
Tel : XXX-XXX-XXXX

1.0	ISSUED FOR SPA	23-05-24
revision	description	date

PROJECT NAME / NOM DU PROJET :

Manotick

DRAWING NAME / NOM DU DESSIN :

PROJECT DATA

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22199**
 DATE : **2018-07-12**
 DRAWN BY / DESSINÉ PAR : **Author**
 REVIEWED BY / VÉRIFIÉ PAR : **Checker**
 SCALE / ÉCHELLE :
 PROJECT PHASE / PHASE DU PROJET : **1**
 DWG NO. / NO. DESSIN :

A001

REVISION NO. / NO. DE RÉVISION : 1.0

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PROJECT TEAM / ÉQUIPE DU PROJET :

CLIENT: HAWKINS PROPERTIES

DATE: 23-05-24

DRAWN BY / DESSINÉ PAR: Author

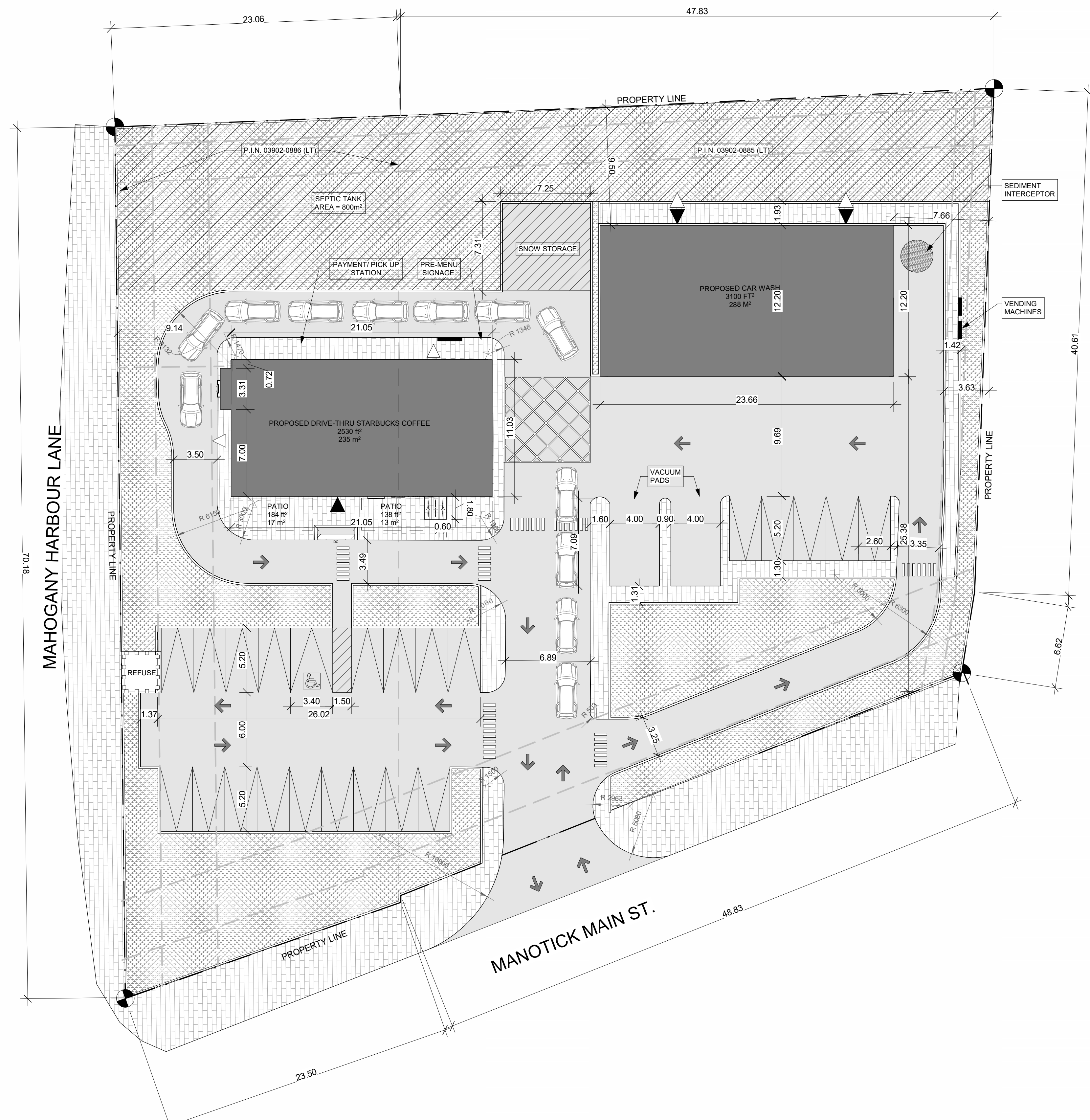
REVIEWED BY / VÉRIFIÉ PAR: Checker

SCALE / ÉCHELLE: As indicated

PROJECT PHASE / PHASE DU PROJET: 1

DWG NO. / NO. DESSIN: A050

REVISION NO. / NO. DE RÉVISION: 1.0



1 SITE PLAN
A050 1:200

SITE CONTEXT

LEGEND

SURFACES

- GRASS
- RIVERSTONE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED

LINES

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES

VEGETATION

- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED
- SHRUB: NEW PROPOSED

SYMBOLS

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- WALL MOUNTED LIGHT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS

PARKING

- BIKE PARKING
- CAR PARKING
- BF PARKING
- BF PARKING (TYPE A)
- BF PARKING (TYPE B)

GENERAL NOTES

- NOTE A:** ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE B:** ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE C:** CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE D:** REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE E:** DO NOT SCALE DRAWINGS.
- NOTE F:** ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

BOUNDARY INFO

TOPOGRAPHIC BOUNDARY INFORMATION OF: LOT 4, CONCESSION A (BROKEN FRONT), GEOGRAPHIC TOWNSHIP OF NORTH GOWER PREPARED BY MCINTOSH PERRY SURVEYING INC.



PROJECT INFORMATION

SITE SUMMARY
ADDRESS: 5646 Manotick Main Street
CURRENT ZONING: RC1
SITE AREA: 4078.48 m²
PROPOSED USE: RC1
BUILDING AREA: 482 m² / 5188.2 sqft

ZONING SUMMARY		
	REQUIRED	PROPOSED
LOT AREA	4078.48 m²	4078.48 m²
LOT WIDTH	20.00 m	n/a
MIN. LOT WIDTH	n/a	n/a
MAX. BUILDING HEIGHT	11.00 m	6.00 m
MAX. PARAPET HEIGHT	0.00 m	0.50 m
<i>Above max. building</i>		

SET BACKS		
	REQUIRED	PROPOSED
- FRONT YARD	7.50 m (min.) n/a (max.)	7.50 m (min.) n/a (max.)
- CORNER SIDE YARD	7.50 m (min.) n/a (max.)	7.50 m (min.) n/a (max.)
- INTERIOR SIDE YARD	3.00 m (min.) 4.50 m (max.)	3.00 m (min.) 4.50 m (max.)
- REAR YARD	7.50 m (min.) n/a (max.)	7.50 m (min.) n/a (max.)
- ADDITIONAL REQ	0.00 m	0.00 m
MIN LANDSCAPED AREA	n/a	n/a
LAND COVERAGE	30% Max.	11.81%

VEHICULAR PARKING		
	REQUIRED	PROPOSED
MIN PARKING SPACES	10 per 100m² - 20%	23
MIN VISITOR PARKING SPACES	n/a	n/a
MIN ACCESSIBLE PRKG SPACES	1	1

BICYCLE PARKING		
	REQUIRED	PROPOSED
MIN PARKING SPACES	n/a	3

WASTE CONTAINERS		
	REQUIRED	PROPOSED
GARBAGE (0.11 y³ / unit)	TBH	TBH
RECYCLING (0.038 y³ / unit)	TBH	TBH
ORGANICS	TBH	TBH

AMENITY AREA		
	REQUIRED	PROPOSED
PRIVATE COMMUNAL	TBH	TBH
COMMUNAL	TBH	TBH

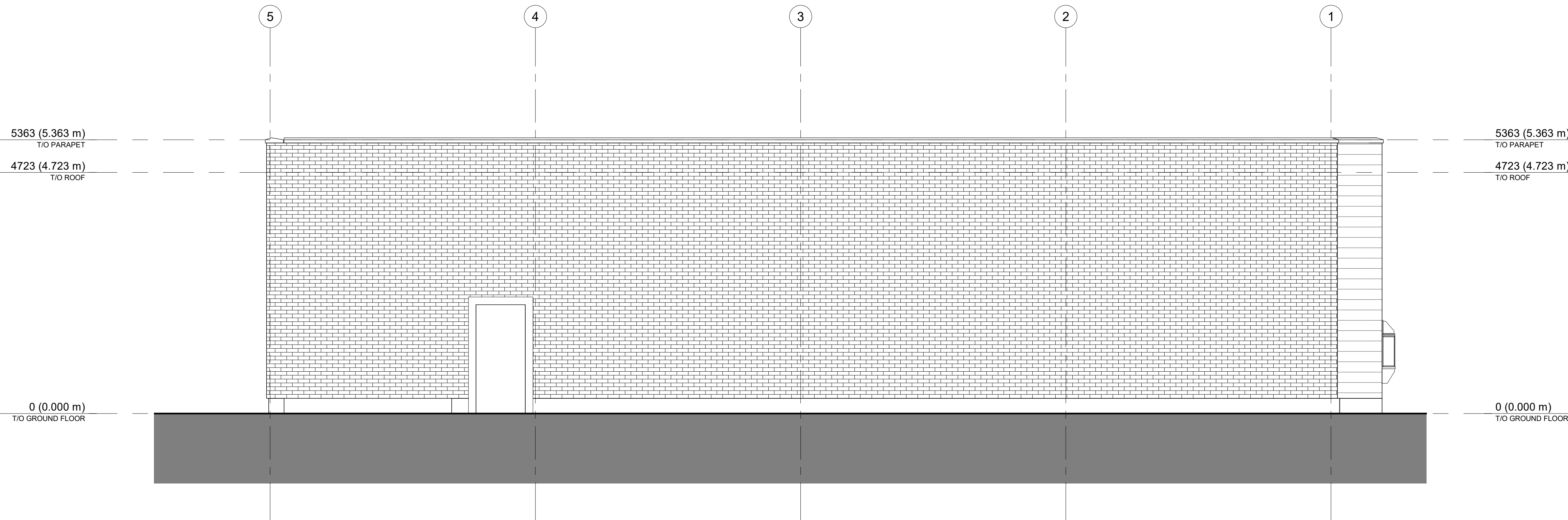
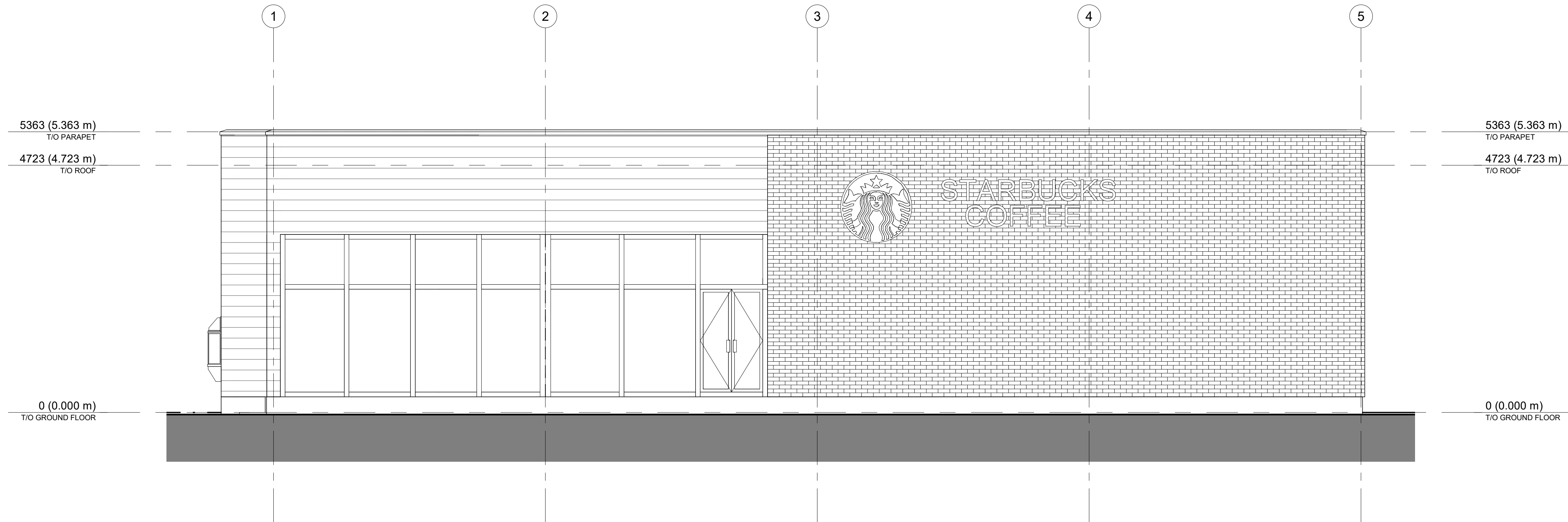
BUILDING SUMMARY		
UNITS	GFA - OBC	GFA - CITY
n/a	482.00 m²	482.00 m²

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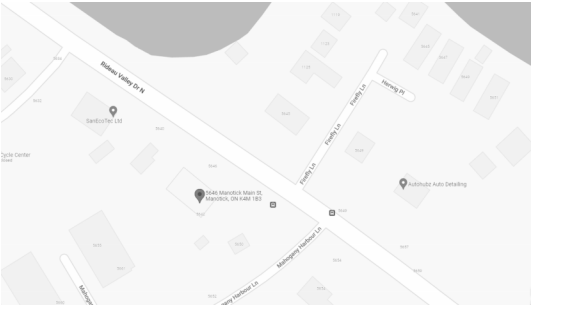
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PROJECT TEAM / ÉQUIPE DU PROJET :



2 STARBUCKS-REAR ELEVATION
A200 1:50

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

5646 Manotick Main Street
Tel : XXX-XXX-XXXX | www.WEBSITE.com

1.0	ISSUED FOR SPA	23-05-24
revision	description	date

PROJECT NAME / NOM DU PROJET :

Manotick

DRAWING NAME / NOM DU DESSIN :

**STARBUCKS ELEVATION
-FRONT & REAR**

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **10/23/19**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

EXTERIOR FINISHES

MASONRY

Architectural Block 1 - Brick
Colour: Dark Red

HOLLOW MORTAR JOINT

METAL CLADDING

Horizontal Metall Siding
Color: Black

NOTES

A200

REVISION NO. / NO. DE RÉVISION :

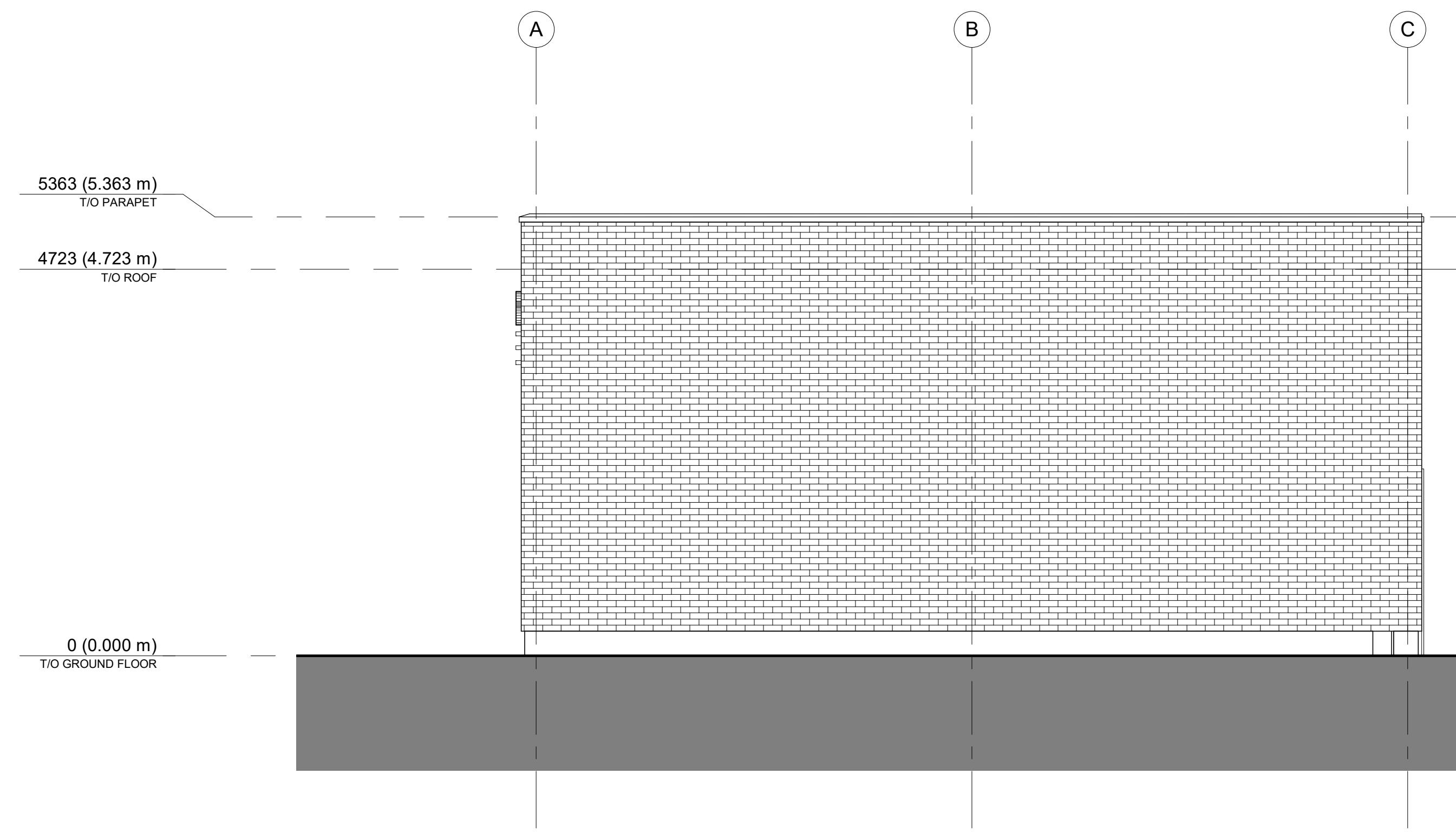
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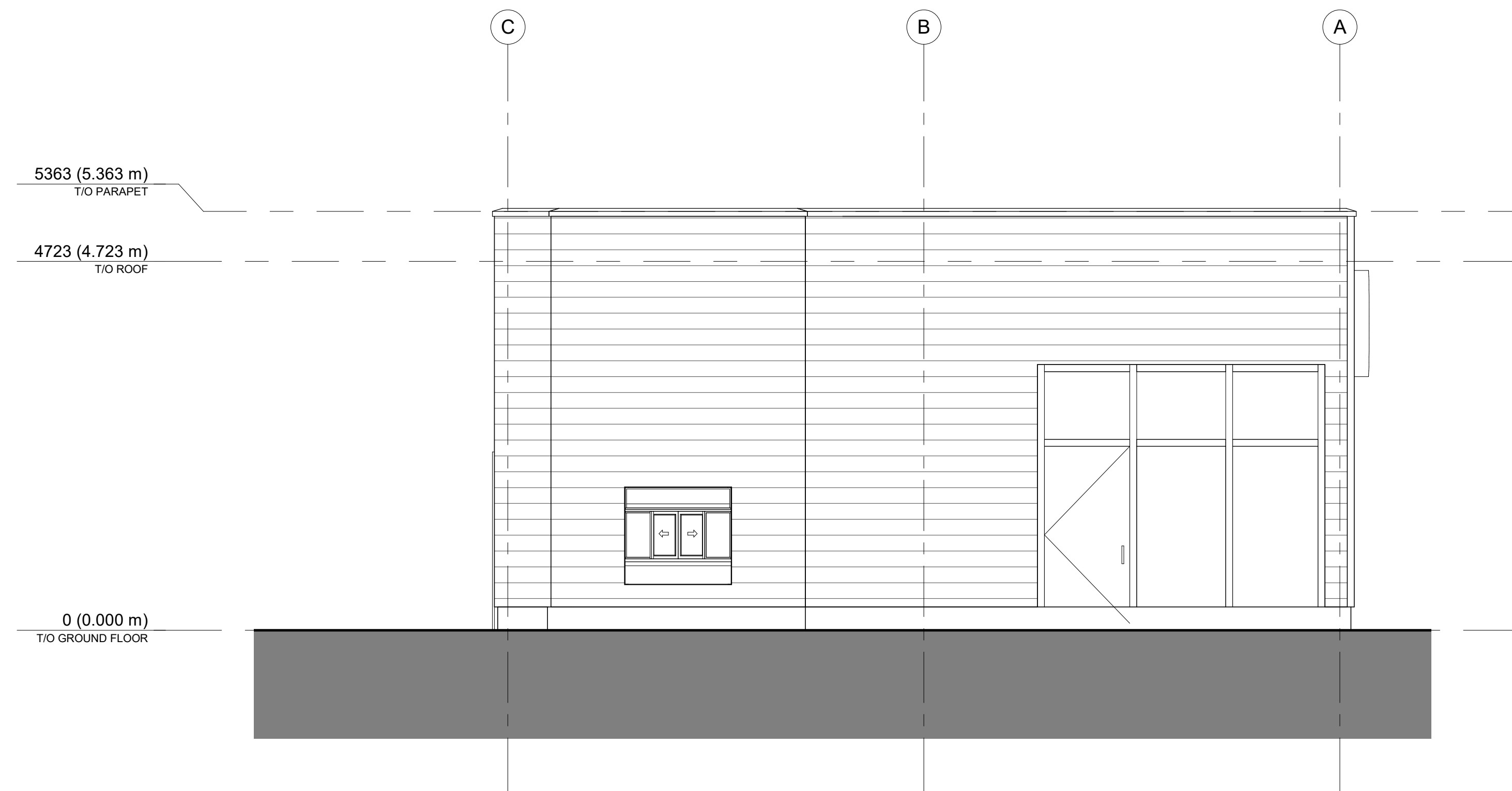
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PROJECT TEAM / ÉQUIPE DU PROJET :

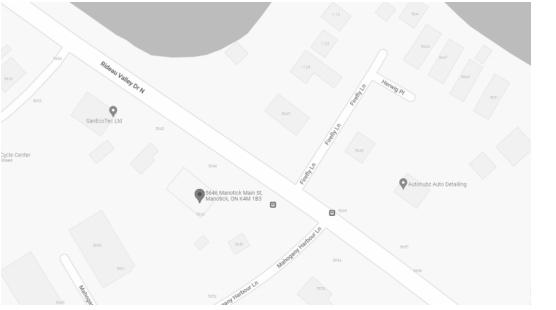


1 STARBUCKS-EAST ELEVATION
A201 1:50



2 STARBUCKS-WEST ELEVATION
A201 1:50

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

5646 Manotick Main Street
Tel : XXX-XXX-XXXX | www.WEBSITE.com

revision	description	date
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PROJECT NAME / NOM DU PROJET :

Manotick

DRAWING NAME / NOM DU DESSIN :

STARBUCKS ELEVATION -
EAST & WEST

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **10/23/19**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A201

REVISION NO. / NO. DE RÉVISION : 1.0

EXTERIOR FINISHES

MASONRY

Architectural Block 1 - Brick
Colour: Dark Red

HOLLOW MORTAR JOINT

METAL CLADDING

Horizontal Metall Siding
Color: Black

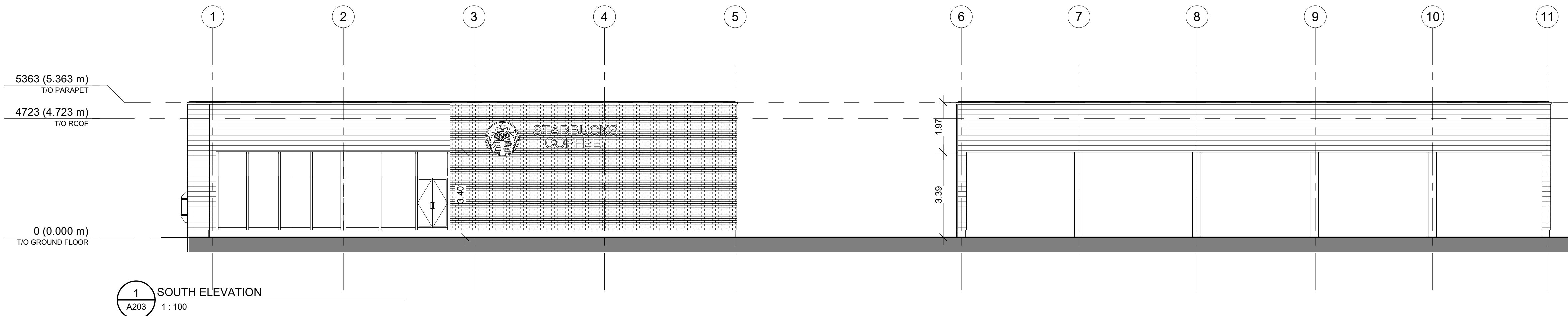
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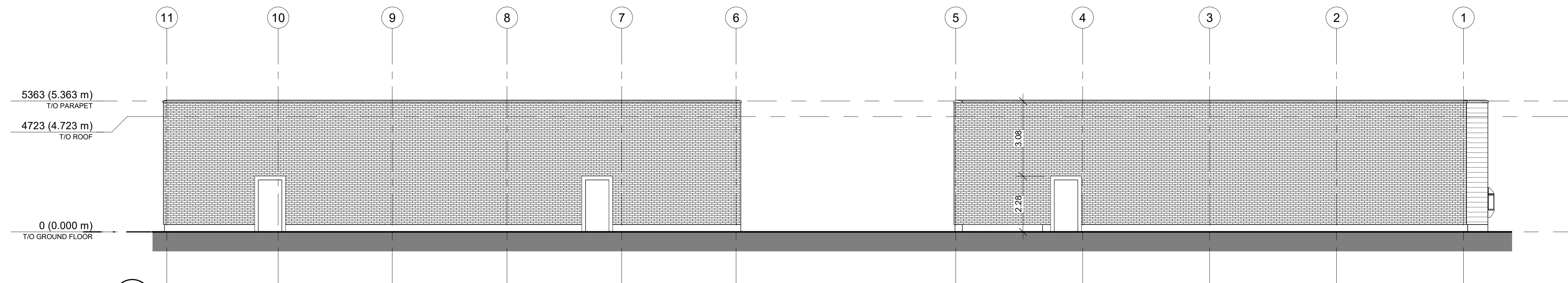
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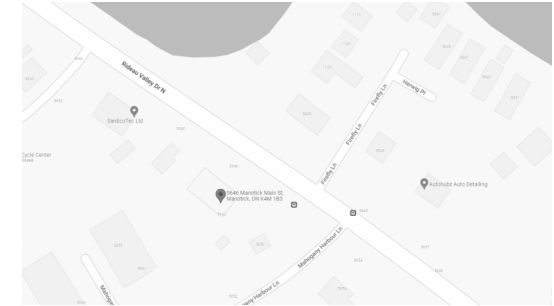


1 SOUTH ELEVATION
A203 1 : 100



2 ÉLÉVATION NORD BÂTIMENT A
A203 1 : 100

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

5646 Manotick Main Street
Tel : XXX-XXX-XXXX | www.WEBSITE.com

1.0	ISSUED FOR SPA	23-05-24
revision	description	date

PROJECT NAME / NOM DU PROJET :

Manotick

DRAWING NAME / NOM DU DESSIN :

SITE ELEVATION - FRONT & REAR

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **10/23/19**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A203

REVISION NO. / NO. DE RÉVISION : **1.0**

EXTERIOR FINISHES

MASONRY

Architectural Block 1 - Brick
Colour: Dark Red

HOLLOW MORTAR JOINT

METAL CLADDING

Horizontal Metall Siding
Color: Black

NOTES

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

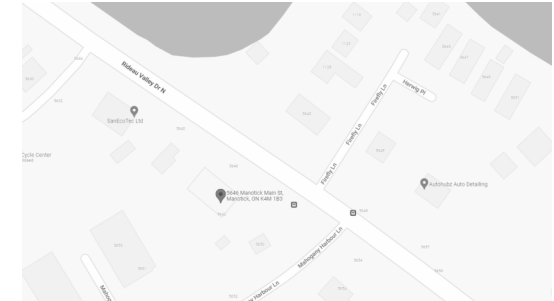
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PROJECT TEAM / ÉQUIPE DU PROJET :



KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

5646 Manotick Main Street
Tel : XXX-XXX-XXXX | www.WEBSITE.com

revision	description	date
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Manotick

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