WATERIDGE APARTMENT BUILDING

ADDRESS: 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ISSUED FOR SPA 1st Review Reply - May11, 2023



CLIENT:

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ARCHITECTURAL

MATAJ ARCHITECTS INC. 418 Iroquois Shore Road, Unit 206.

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ELECTRICAL

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LANDSCAPE:

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Moses Norga, P.Eng., M.Eng



CIVIL ENGINEER:

WSP

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URBAN PLANNER

DEMARCO CONSTRUCTION
195 Menten Place, Unit 103

Rod Price

Ottawa, ON. email: rod@demarcoconstruction.ca K2H 9C1 phone: 613-829-2777







ì	ZONING	GM31			
		GENERAL N	AIXED US E ZONE		-
	COVERAGE CALCULATIONS	M ²	F ²	ACRES	
	TOTAL SITE AREA BUILDING AREA RESIDENTIAL AREA	5,193.6 24,113.0 16,634.3	55,903.4 259,549.9 179,049.4	1.283	
	GLAZING CALCULATIONS	sm	4,432.0 SF	%	
	TOTAL GROUND FLOOR FACE AREA - NOT INCLUDING RESIDENTAL TOTAL WINDOW AREA / TRANSPARENT GLAZING	368.5 223.4		61%	-
	SETBACKS	REQ'D (m)	PROVIDED		
`	MAXIMUM SETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT	2.0	2.00		1
	HEMLOCK ROAD MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE	7.5	20.41		1
	OR W HERE THE REAR YARD ABUTS A RESIDENTIAL ZONE MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND	5.0	5.175		-
	USE AT GRADE WHERE THE BUILDING CONTAINS MORE THAN FOUR STOREYS BUT LESS THAN 13 STOREYS, AT AND ABOVE THE FOURTH STOREY A BUILDING MUST BE FURTHER SETBACK (M)	2.0	2.00		-
	A JANUARIA WIDTH OF LANDS CADED ADEA	•	1	'	
	MINIMUM WIDTH OF LANDSCAPED AREA (i) ABUTTING A STREET	3m	5.175		
	(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0		-
	(iii) OTHER CASES	NO MIN.	0.0		
	MINIMUM W IDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LO CONTAINING MORE THAN 10 BUT FEWER THAN 100 S PACES				
	(a) ABUTTING A STREET (b) NOT ABUTTING A STREET	1.5	3.0		<u> </u>
_	***************************************		~~~		#
	CONSTRUCTION AREA WITHOUT BALCONIES	M ²	F ²])
	GROUND FLOOR 2ND FLOOR	2,183.0 2,173.0	23,498 23,390		$\downarrow \downarrow$
	3rd FLOOR	2,173.0	23,390		
	4th FLOOR 5TH FLOOR	2,173.0	23,390		-1 (
	6th FLOOR	1,967.0	21,173		$+$ \leftarrow
	7TH FLOOR BOTH TOWERS , 735 M² EACH	1,470.0	15,823] ⟨
	8TH FLOOR BOTH TOWERS , 735 M ² EACH	1,470.0	15,823		-
	9TH FLOOR BOTH TOWERS , 735 M ² EACH PARKING LEVEL 1	1,470.0 3,533.0	15,823 38,029		\perp
	PARKING LEVEL 2	3,534.0	38,040		1)
	TOTAL BUILDABLE AREA	24,113.0	259,550])
	GROSS FLOOR AREA -GFA.	M ² ~ /	F ²		1)
-	GROSS FIQOR AREA GEA	511.9	5,510.0		1
	2ND FLOOR	1,712.7	18,435.3		_
	3RD FLOOR	1,712.7	18,435.3]
	4TH FLOOR	1,712.7	18,435.3		4
	5TH FLOOR 6TH FLOOR	1,528.2	16,449.8	-	\dashv
	7th FLOOR	1,117.3	12,026.4		_
	8th FLOOR	1,131.4	12,178.7]
		1,130.4	12,167.6		-
	9th FLOOR	10,000 5	120 100 0		\dashv
	9th FLOOR TOTAL GFA	12,089.3	130,128.3		
		12,089.3 REQ'D	PROVIDED		
	TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT		PROVIDED		7
	TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED	REQ'D	PROVIDED 169 41 123		
	TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	REQ'D	PROVIDED 169 41		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED	REQ'D 108	PROVIDED 169 41 123 2		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA	REQ'D 108	PROVIDED 169 41 123 2 21 19 2 11		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING ACC STORE PARKING	REQ'D 108 20.4	PROVIDED 169 41 123 2 21 19 2 11 10 1		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M2 OVER 200 M2 OF GROSS FLOOR AREA TYPICAL STORE PARKING	REQ'D 108 20.4	PROVIDED 169 41 123 2 21 19 2 11		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M2 OVER 200 M2 OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT	REQ'D 108 20.4 10.59 138.99	PROVIDED 169 41 123 2 21 19 2 11 10 1 201		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS	REQ'D 108 20.4 10.59	PROVIDED 169 41 123 2 21 19 2 11 10 1 201		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES AMINITIES REQUIREMENTS	108 20.4 10.59 138.99	PROVIDED 169 41 123 2 21 19 2 11 10 1 201		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use	10.59 108 10.59 108 1.65 110 REQ'D M ²	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M ²		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES AMINITIES REQUIREMENTS	108 20.4 10.59 138.99	PROVIDED 169 41 123 2 21 19 2 11 10 1 201		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	10.59 108 10.59 108 1.65 110 REQ'D M ²	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M ² 2,055.8 1,300.0 755.8		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR	10.59 108 10.59 108 1.65 110 REQ'D M ² 1,296.0	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M ² 2,055.8 1,300.0 755.8 300.8		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	10.59 108 10.59 108 1.65 110 REQ'D M ² 1,296.0	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M ² 2,055.8 1,300.0 755.8		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE	10.59 108 10.59 108 1.65 110 REQ'D M ² 1,296.0	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M2 2,055.8 1,300.0 755.8 300.8 135.0		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D	REQ'D 108 20.4 10.59 138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M2 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED 5		
	PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	REQ'D 108 20.4 10.59 138.99 108 1.65 110 REQ'D M² 1,296.0 648.0 REQ'D 5 2 3	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M2 2,055.8 1,300.0 755.8 300.8 135.0 320.0		
	TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING / UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminifies REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS	REQ'D 108 20.4 10.59 138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0 REQ'D 5 2	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M2 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED 5 2		
	TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKERACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400	REQ'D 108 20.4 10.59 138.99 108 1.65 110 REQ'D M2 1,296.0 648.0 REQ'D 5 2 3 REQ'D 5	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M2 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED 5 2 3		
	TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UPTO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED WISITOR PARKING—0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN WIDTH=3400 TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND	REQ'D 108 20.4 10.59 138.99 108 1.65 110 REQ'D M² 1,296.0 648.0 REQ'D 5 2 3 REQ'D (MIN) 6.0	PROVIDED 169 41 123 2 21 19 2 11 10 1 201 116 2 120 PROVIDED M2 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED 5 2 3 PROVIDED		

	GM31	NIXED USE ZON	IE
	GENERAL IV	IIXED 02E ZON	IE.
COVERAGE CALCULATIONS	M ²	F ²	ACRES
TOTAL SITE AREA	3,737.6	40,231.2	0.924
BUILDING AREA	15,421.0	165,990.1	
RESIDENTIAL AREA	10,145.8	109,208.3	
COMMERCIAL AREA	196.2	2,112.0	
CHAZINIC CALCULATIONS CONTRACTOR	sM	\$F	%
TOTAL GORUND FLOOR ELEVATION AREA - TO CEILING (3.6m) EXCLUDING RESIDENTIAL	184.2	V V	
TOTAL WINDOW AREA / TRANSPARENT GLAZING	115.7		63%
SETBACKS	REQ'D (m)	PROVIDED (m)	
MAXMUMAETBACK FORTHOSE KOTS EAST OF CODD'AROADW HERVIHEY ARUT		2.00	
HEMLOCK ROAD MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR	2.0		
WHERE THE REAR YARD ABUTS A RESIDENTIAL ZONE	7.5	19.55	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.86	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A	3.0	3.00	
BUILDING HIGHER THAN 1.1 METRES IN HEIGHT		0,000	
MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ABUTTING A STREET	3m		
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii) OTHER CASES	NOMIN.		
MINIMUM WIDTH OF LANDS CAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING FEWER THAN 10			
(a) ABUTTING A STREET	3.0		
		2.0	
(b) NOT ABUTTING A STREET	NONE	3.0	
CONSTRUCTION AREA	<u>,</u>	,	\sim
WITHOUT BALCONIES	M ²	F ²	
GROUND FLOOR 2ND FLOOR	1,446.0	15,564.6	
3RD FLOOR	1,394.0	15,004.9	
4TH FLOOR	1,394.0	15,004.9	
5TH FLOOR 6TH FLOOR	1,232.0	13,261.1	
7TH FLOOR	750.0	8,072.9	
BTH FLOOR	750.0	8,072.9	
PTH FLOOR PARKING LEVEL 1	750.0 2.549.0	8,072.9	
PARKING LEVEL 1 PARKING LEVEL 2	2,549.0	27,437.2 27,232.7	
TOTAL BUILD ABLE AREA	15,421.0	165,990.1	
CDOSS FLOOR AREA CTA	AA2	- 2	
GROUND FLOOR GROUND FLOOR	M ² 448.8	F ² 4,831.0	
2ND FLOOR	1,118.3	12,038.0	
3RD FLOOR	1,118.3	12,038.0	
4TH FLOOR 5TH FLOOR	1,118.3 965.0	12,038.0	
SIN FLOOR	965.0	10,387.0	
6TH FLOOR	578.9	6,232.0	
6TH FLOOR 7th FLOOR	578 0	6,232.0	
6TH FLOOR	578.9 578.9	6,232.0	
6TH FLOOR 7TH FLOOR BTH FLOOR		6,232.0 80,415.0	
6TH FLOOR 7TH FLOOR BTH FLOOR PTH FLOOR TOTAL GFA	578.9		
6TH FLOOR 7TH FLOOR BTH FLOOR PTH FLOOR	578.9		
ATH FLOOR 7th FLOOR Bth FLOOR Pth FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT	578.9 7,470.4	80,415.0 PROVIDED	
ATH FLOOR 7TH FLOOR BITH FLOOR BITH FLOOR PITH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	578.9 7,470.4 REQ'D	80,415.0 PROVIDED	
ATH FLOOR 7th FLOOR Bth FLOOR Pth FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT	578.9 7,470.4 REQ'D	80,415.0 PROVIDED 120 26	
ATH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING / UNIT	578.9 7,470.4 REQ'D	80,415.0 PROVIDED 120 26 92 2 12	
ACC TYPICAL PARCKING STALLS PROVIDED 8th FLOOR 9th FL	578.9 7,470.4 REQ'D 65.5	80,415.0 PROVIDED 120 26 92 2	
ATH FLOOR 7TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING	578.9 7,470.4 REQ'D 65.5	80,415.0 PROVIDED 120 26 92 2 112	
ATH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING	578.9 7,470.4 REQ'D 65.5	80,415.0 PROVIDED 120 26 92 2 112 10 2	
ACT STORE PARKING ACT STORE PARKING ACC STORE PARKING	578.9 7,470.4 REQ'D 65.5	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A	
ATH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING	578.9 7,470.4 REQ'D 65.5	80,415.0 PROVIDED 120 26 92 2 112 10 2	
ATH FLOOR 7TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M2 OVER 200 M2 OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES	578.9 7,470.4 REQ'D 65.5 11.9 N/A	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A	
ATH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT	578.9 7,470.4 REQ'D 65.5 11.9 N/A	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A	
ATH FLOOR 7TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M2 OVER 200 M2 OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES	578.9 7,470.4 REQ'D 65.5 11.9 N/A	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A	
ACT TYPICAL PARKING STALLS PROVIDED WISITOR PARKING PARKING STALLS PROVIDED WISITOR PARKING-0.1 PARKING UNIT TYPICAL VISITORS PARKING RETAIL STORE 5 PER 100 M2 OVER 200 M2 OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M2 / 250 M2 TOTAL NO. OF SPACES	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A	
ATH FLOOR THE FLOOR SHE FLOOR	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A	
ACT TYPICAL PARKING STALLS PROVIDED WISITOR PARKING PARKING STALLS PROVIDED WISITOR PARKING-0.1 PARKING UNIT TYPICAL VISITORS PARKING RETAIL STORE 5 PER 100 M2 OVER 200 M2 OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M2 / 250 M2 TOTAL NO. OF SPACES	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1	12
ACC STORE PARKING RETAIL STORE PARKING ROTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES RESIDENTE REQUIREMENTS RESIDENTE RESIDENTE RESIDENTE RESIDENTE RESIDENTE REQUIREMENTS RESIDENTE RESIDENTE RE	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7	12
ACC STORE PARKING RETAIL NO. OF SPACES RETAIL STORE PARKING RETAIL NO. OF SPACES RETAIL NO. OF SPACES RETAIL STORE PARKING RETAIL NO. OF SPACES RETAIL NO. OF SPACES RETAIL STORE PARKING RETAIL NO. OF SPACES RETAIL NO. OF SPACES RETAIL STORE PARKING RETAIL NO. OF SPACES RETAIL STORE PARKING RET	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 1TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 1TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING / UNIT 1TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 1TYPICAL STORE PARKING 1TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR FOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 1YPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT 1YPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 1YPICAL STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES AMINITIES REQUIREMENTS Residential use 6 54 m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0 393.0	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR 9TH FLOOR 9TH FLOOR 10TAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 17YPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED WISITOR PARKING-0.1 PARKING /UNIT 17YPICAL VISITORS PARKING ACC VISITORS PARKING RETAILSTORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 17YPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKERACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² 10TAL NO. OF SPACES Aminifies REQUIREMENTS Residential use 6 5 qm /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 779-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0 393.0 REQ'D 4	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR 10TAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 17YPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED WISTOR PARKING-0.1 PARKING /UNIT 17YPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 17YPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKERACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sigm /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0 393.0	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2	12
STH FLOOR 7th FLOOR 8th FLOOR 9th FLOOR 9th FLOOR 9th FLOOR 10TAL GFA 10TAL MINIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 10TYPICAL PARCKING STALLS PROVIDED 10TACT YPICAL PARCKING STALLS PROVIDED 10TAL VISITORS PARKING 10TAL VISITORS PARKING 10TAL VISITORS PARKING 10TAL NO. OF SPACES 10TAL NO. OF SPACES REQ'D 10TYPE A (VAN), MIN W IDTH=3400 10TYPE B, MIN W IDTH=2400 10TYPE B, MIN W IDTH=2400 10TYPE B, MIN W IDTH=2400 10TYPEWAYS AND AISLE REQUIREMENTS	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M² 786.0 373.0 REQ'D 4 2 2 REQ'D (MIN)	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2	
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 9TH FLOOR 10TAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 17YPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED WISTOR PARKING-0.1 PARKING /UNIT 17YPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 17YPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKERACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sigm /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M ² 786.0 393.0 REQ'D M 2 2 2 REQ'D (MIN)	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2	12
STH FLOOR 7TH FLOOR 7TH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 8TH FLOOR 1TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING VINIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 1TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED WISTOR PARKING-0.1 PARKING / UNIT 1TYPICAL VISITORS PARKING ACC VISITORS PARKING RETALL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 1TYPICAL STORE PARKING ACC STORE PARKING 1TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² 1TOTAL NO. OF SPACES AMINITIES REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE ON GROUND HADOR ACCESSIBLE PARKING (CITY OF OTTA WA ACCESSIBILITY DESIGN STANDARDS) 179-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ/D 1TYPE A (VAN), MIN W IDTH=3400 1TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6,0 METRES WIDE (M)	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M² 786.0 373.0 REQ'D 4 2 2 REQ'D (MIN)	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2 2 PROVIDED	12
STH FLOOR 7TH FLOOR 8TH FLOOR 8TH FLOOR 9TH FLOOR 10TAL GFA PARKING REQUIREMENTS RESIdential use 9.0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES 10TPICAL PARCKING STALLS PROVIDED WISTTOR PARKING-0.1 PARKING (UNIT) 10TPICAL VISITORS PARKING ACC VISITORS PARKING ACC VISITORS PARKING ACC VISITORS PARKING ACC STORE PARKING 10TAL NO. OF SPACES 10TAL NO	578.9 7,470.4 REQ'D 65.5 11.9 N/A 77.40 65.5 0.78 66 REQ'D M² 786.0 373.0 REQ'D 4 2 2 REQ'D (MIN)	80,415.0 PROVIDED 120 26 92 2 12 10 2 N/A 132 67 3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2 2 PROVIDED	12

ZONING	GM31		
	GENERAL M	MIXED USE ZONE	
COVERAGE CALCULATIONS	M ²	F ²	AC
TOTAL SITE AREA	3,737.6	40,231.2	0.92
BUILDING AREA	10,353.0	111,438.7	
residential area	10,353.0	111,438.7	
COMMERCIAL AREA	0.0	0.0	
	· -		
GLAZING CALCULATIONS TOTAL GORUND FLOOR ELEVATION AREA	SM	SF	%
TOTAL WINDOW AREA			
		PROVIDED	
SETBACKS	REQ'D (m)	(m)	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A PARK	5.0	5.00	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL AND USE AT GRADE	5.0	5.00/11.95	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A BUILDING HIGHER THAN 11 METRES IN HEIGHT	3.0	3.00	
MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ABUTTING A STREET	3m	5.0	
ABILITALIC A DECIDENTAL CONSTRUCTION	2	2.0	
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii) OTHER CASES	NOMIN.		
 MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING			
CONTAINING FEWER THAN 10	3.0		
(a) ABUTTING A STREET	3.0		_
(b) NOT ABUTTING A STREET	NONE		
CONSTRUCTION AREA	M ²	F ²	
WITHOUT BALCONIES GROUND FLOOR	1000	T.	
END FLOOR	1,408.0	15,155.6	<u> </u>
RD FLOOR	1,330.0	14,316.0	
ATH FLOOR	1,330.0	14,316.0	
5TH FLOOR	1,222.0	13,153.5	
STH FLOOR	1,222.0	13,153.5	
PARKING LEVEL 1	2,511.0	27,028.2	
TOTAL CONSTRUCTION AREA	10,353.0	111,438.7	
GROSS FLOOR AREA -GFA	M ²	F ²	
GROUND FLOOR	751.8	7943.0	
2ND FLOOR	1061.8	11761.0	
3RD FLOOR	1061.8	11761.0	
SKE TEOCK		11761.0	
	1061.8		
4TH FLOOR	958.1	10313.0	
ATH FLOOR 5TH FLOOR STH FLOOR	958.1 958.1	10313.0	
4TH FLOOR 5TH FLOOR 6TH FLOOR	958.1		
4TH FLOOR STH FLOOR 6TH FLOOR TOTAL GFA	958.1 958.1 5853.4	10313.0 63852.0	
4TH FLOOR 5TH FLOOR 6TH FLOOR TOTAL GFA PARKING REQUIREMENTS	958.1 958.1	10313.0	
ATH FLOOR STH FLOOR STH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT	958.1 958.1 5853.4	10313.0 63852.0 PROVIDED	
ATH FLOOR STH FLOOR STH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	958.1 958.1 5853.4 REQ'D	10313.0 63852.0 PROVIDED 57	
4TH FLOOR 5TH FLOOR 5TH FLOOR 1OTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED	958.1 958.1 5853.4 REQ'D	10313.0 63852.0 PROVIDED 57 8	
ATH FLOOR STH FLOOR STH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED	958.1 958.1 5853.4 REQ'D	10313.0 63852.0 PROVIDED 57 8 46	
ATH FLOOR STH FLOOR STH FLOOR FOTAL GFA PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARKING-0.1 PARKING /UNIT	958.1 958.1 5853.4 REQ'D	10313.0 63852.0 PROVIDED 57 8	
4TH FLOOR 5TH FLOOR 5TH FLOOR 5TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING / UNIT TYPICAL VISITORS PARKING	958.1 958.1 5853.4 REQ'D	10313.0 63852.0 PROVIDED 57 8 46 3	
ATH FLOOR STH FLOOR STAKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING	958.1 958.1 5853.4 REQ'D	10313.0 63852.0 PROVIDED 57 8 46 3	
ATH FLOOR STH FLOOR STH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	958.1 958.1 5853.4 REQ'D 53	10313.0 63852.0 PROVIDED 57 8 46 3 10	
ATTH FLOOR STH FLOOR	958.1 958.1 5853.4 REQ'D 53	10313.0 63852.0 PROVIDED 57 8 46 3 10	
ATTH FLOOR STH FLOOR STALL GFA PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING TOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT	958.1 958.1 5853.4 REQ'D 53	10313.0 63852.0 PROVIDED 57 8 46 3 10	
ATTH FLOOR STH FLOOR FOR ALL GFA PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING TOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use	958.1 958.1 5853.4 REQ'D 53	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67	
ATTH FLOOR STH FLOOR STAL GFA PARKING REQUIREMENTS Residential use 1.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING STOTAL NO. OF SPACES SIKE RACKS 1.5 PARKING/UNIT Aminities REQUIREMENTS Residential use 25 Sq m /UNIT	958.1 958.1 5853.4 REQ'D 53	10313.0 63852.0 PROVIDED 57 8 46 3 10	
ATH FLOOR STH FLOOR STALLS FA STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED WISITOR PARKING-0.1 PARKING /UNIT STYPICAL VISITORS PARKING STOTAL NO. OF SPACES SIKE RACKS D.5 PARKING/UNIT Aminifies REQUIREMENTS Residential use S sq m /UNIT SALCONIES	958.1 958.1 5853.4 REQ'D 53	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 FROVIDED M ² 903.1	
ATH FLOOR STH FLOOR STALLS FRACKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES STYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING / UNIT STYPICAL VISITORS PARKING ACC VISITORS PARKING STOTAL NO. OF SPACES SIKE RACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	958.1 958.1 5853.4 REQ'D 53 9.4 62 FEQ'D M ² 636.0	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M ² 903.1 583.1	
ATH FLOOR STH FLOOR STH FLOOR STH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING TOTAL NO. OF SPACES	958.1 958.1 5853.4 REQ'D 53 9.4 62 FEQ'D M ² 636.0	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M ² 903.1 583.1 320.0	
STH FLOOR STAL GFA PARKING REQUIREMENTS Residential use 10.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES PYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARKING-0.1 PARKING /UNIT PYPICAL VISITORS PARKING ACC VISITORS PARKING STALL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use SIGN JUNIT STALL STALL SPROVIDED AMENITY SPACE ON GROUND FLOOR	958.1 958.1 5853.4 REQ'D 53 9.4 62 FEQ'D M ² 636.0	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M ² 903.1 583.1 320.0 100.0	
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	958.1 958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0	10313.0 63852.0	
ATH FLOOR STH FLOOR PARKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED WISTOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING STAL NO. OF SPACES SIKERACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use S S MI /UNIT SALCONIES WIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) ACCESSIBLE PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0	10313.0 63852.0	
ATH FLOOR STH FLOOR STAKING REQUIREMENTS Residential use D.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES YPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED JISTOR PARKING-0.1 PARKING / UNIT YPICAL VISITORS PARKING TOTAL NO. OF SPACES SIKERACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use S S M / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (YAN), MIN W IDTH=3400	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0 318.0	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M ² 903.1 583.1 320.0 100.0 220.0 PROVIDED M 3 1	
ATH FLOOR STH FLOOR STALL SFA STAKING REQUIREMENTS RESIDENCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES STYPICAL PARCKING STALLS PROVIDED WISTOR PARKING-0.1 PARKING /UNIT STYPICAL VISITORS PARKING ACC VISITORS PARKING STOTAL NO. OF SPACES BIKERACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use 6 54 mg /UNIT BALCONIES WIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTD OOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=3400 TYPE B, MIN W IDTH=3400	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0	10313.0 63852.0	
ATH FLOOR STH FLOOR STALLS FROVIDED ACC TYPICAL PARKING STALLS PROVIDED ACC TYPICAL PARKING STALLS PROVIDED ACC TYPICAL PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING STOTAL NO. OF SPACES SIKE RACKS D.5 PARKING/UNIT Aminities REQUIREMENTS Residential use Sigm / UNIT STALLONIES WIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0 318.0 REQ'D 3 1 2 REQ'D (MIN)	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M ² 903.1 583.1 320.0 100.0 220.0 PROVIDED 3 1 2 PROVIDED	
ATH FLOOR STH FLOOR STAKING REQUIREMENTS Residential use D.5 PARKING SUBJECT STAKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES STYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT STYPICAL VISITORS PARKING STOTAL NO. OF SPACES SIKERACKS D.5 PARKING/UNIT SALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0 318.0 REQ'D 3 1 2 REQ'D	10313.0 63852.0	
ATH FLOOR STH FLOOR STARKING REQUIREMENTS RESIDED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES STYPICAL PARCKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES STYPICAL PARCKING STALLS PROVIDED WISTIOR PARKING-0.1 PARKING JUNIT STYPICAL VISITORS PARKING STOTAL NO. OF SPACES SIKE RACKS D.5 PARKING/UNIT AMINITIES REQUIREMENTS RESIDENTIAL UNIT SALCONIES WIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS LO7(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0 318.0 REQ'D 3 1 2 REQ'D (MIN)	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M2 903.1 583.1 320.0 100.0 220.0 PROVIDED 3 1 2 PROVIDED	
ATH FLOOR 5TH FLOOR 5TH FLOOR 5TH FLOOR 5TH FLOOR TOTAL GFA PARKING REQUIREMENTS Residential use 0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING ACC VISITORS PARKING TOTAL NO. OF SPACES BIKERACKS 0.5 PARKING/UNIT Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400	958.1 958.1 5853.4 REQ'D 53 9.4 62 53 REQ'D M ² 636.0 318.0 REQ'D 3 1 2 REQ'D (MIN) 6.0	10313.0 63852.0 PROVIDED 57 8 46 3 10 10 67 56 PROVIDED M ² 903.1 583.1 320.0 100.0 220.0 PROVIDED 3 1 2 PROVIDED 6.0	



3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EΛ
2	22/06/30	Issued for CLC- Reply	EΛ
1	22/05/20	Issued for CLC	EΛ
No.	Date:	Issue/Revision	Ву
Drav	ving Issues/Re	visions:	•

Key Plan:

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MATA J ARCHITECTS INC

Architect's Stamp

WATERIDGE **APARTMENT BUILDING**

SITE STATS & ROOM MIX ALL BUILDINGS

Design By:	Drawn By: SF	Approved By: EM
Scale: N.T.S	Date: 22-06-29	Project No.: 22-004

Drawing No:

ASP-1

	BUILDING 1 - ROOM MIX														
	1ST FLOOR	2ND FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	7th FLOOR	8th FLOOR	9th FLOOR	MIX	MIX	MIX Total	TOTAL		
STUDIO	2	0	0	0	0	0	0	0	0	1%	1%	2	2		
1 BDRM	4	19	19	19	15	15	6	4	4	49%			105		
1 BDRM+DEN	2	5	5	5	2	2	0	0	0	10%	71%	154	21		
1 BDRM-ACC	2	5	5	5	4	4	1	1	1	13%			28		
2 BDRM	0	3	3	3	7	7	9	11	11	25%	200/	60	54		
2BDRM - ACC	0	0	0	0	0	0	2	2	2	3%	28%	60	6		
SUBTOTAL	10	32	32	32	28	28	18	18	18	100%	100%	216	216		
ACC TOTALS	2	5	5	5	4	4	3	3	3	15.74%			34		

(4)	ROOM MIX - BUILING 1
ASP-1	N.T.S.

ROOM MIX														
	BLDG 1	BLDG 2	BLDG 3	TOTAL ALL BLDGS	MIX Total	MIX	MIX							
STUDIO	2	0	0	2	2	0.44%	0.4%							
1 BDRM	105	69	63	237		51.97%								
1 BDRM+DEN	21	11	14	46	340	10.09%	74.6%							
1 BDRM-ACC	28	16	13	57		12.50%								
2 BDRM	54	31	15	100	114	21.93%	25.0%							
2BDRM - ACC	6	4	4	14	114	3.07%								
SUBTOTAL	216	131	109	456	456	100.00%	100%							

300101	L	210	131	105	450
7	RO	OM MI	X - ALL	BUILDIN	IGS
ASP-1	N.T.S.				

											\Z	37-1			
	BUILDING 2 - ROOM MIX														
	1ST	2ND	3rd	4th	5th	6th	7th	8th	9th	MIX	MIX	MIX	TOTAL		
	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	IVIIA	IVIIX	TOTAL	TOTAL		
STUDIO	0	0	0	0	0	0	0	0	0	0%	0%	0	0		
1 BDRM	3	12	12	12	12	12	2	2	2	53%	ø		69		
1 BDRM+DEN	0	3	3	3	1	1	0	0	0	8%	73%	96	96	11	
1 BDRM-ACC	3	2	2	2	2	2	1	1	1	12%	*		16		
2 BDRM	1	2	2	2	3	3	6	6	6	24%	070/		31		
2BDRM - ACC	1	1	1	1	0	0	0	0	0	3%	27%	35	4		
SUBTOTAL	8	20	20	20	18	18	9	9	9	100%	100%	131	131		
ACC TOTALS	1	2	3	2	2	2	1	1	1	15 27%			20		

5 ROOM MIX - BUILING 2

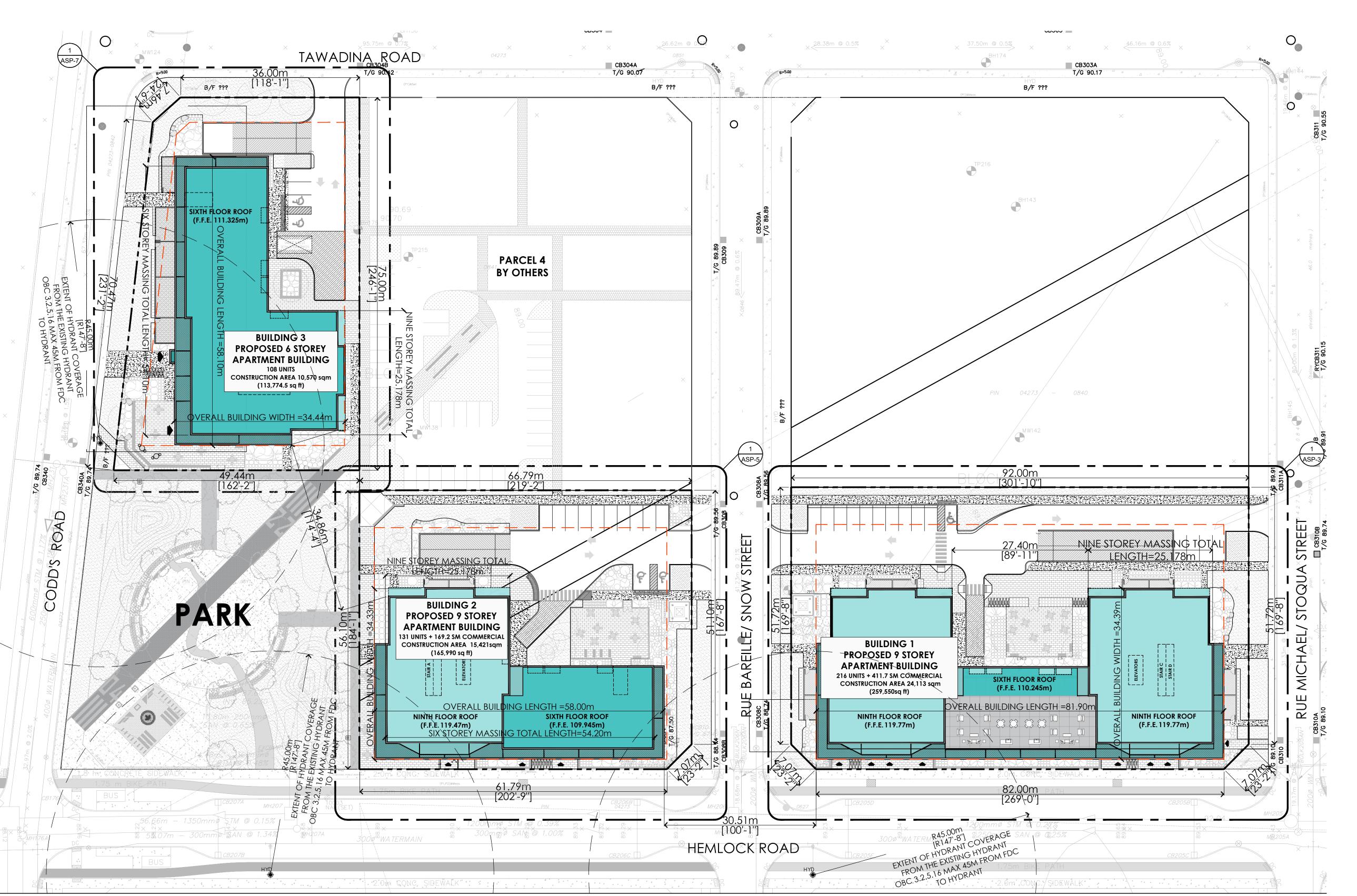
			BUIL	DING 3 -	ROOM N	ΛIX				
	1ST FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	MIX	MIX	MIX TOTAL	TOTAL
STUDIO	0	0	0	0	0	0	0%	0%	0	0
1 BDRM	6	10	10	10	11	11	55%			58
1 BDRM+DEN	3	2	2	2	1	1	10%	76%	81	11
1 BDRM+DEN ACC	0	1	1	1	1	1	5%	70%	01	5
1 BDRM-ACC	2	1	1	1	1	1	7%			7
2 BDRM	1	4	4	4	4	4	20%	24%	25	21
2BDRM - ACC	1	1	1	1	0	0	4%	2470	23	4
SUBTOTAL	13	19	19	19	18	18	100%	100%	106	106
ACC TOTALS	3	3	3	3	2	2	15%			16

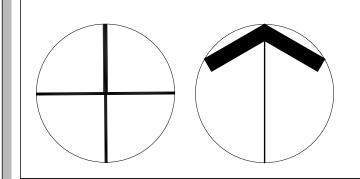
ROOM MIX - BUILING 3

ASP-1 N.T.S.

			SITE PLA	N LEGEND				CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
	PROPERTY LINE	^ ±	FIRE DEPARTMENT CONNECTION	ů	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WITH	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	5 THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROU AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN
	BUILDING SETBACK LINE	*	HOSE DID VIDENTE TO LIFERIA NICH DIVIDEN		RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE	(x)	PARKING COUNT	THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO	ONTARIO LAND SURVERYORS ANNIS, O'SULLIVAN, VOLLEBEKK LTD	CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION OF THE TOWN	BY-LAWS AND DESIGN CRITERIA
		₩	HOSE BIB (REFER TO MECHANICAL DWGS)	#	-REFER TO ELECTRICAL DWGS			RESPONSIBILITY FOR THE ACCURACY,	14 CONCOURSE GATE, SUITE 500		6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWAI
	LANDSCAPE BUFFER			///:///	. NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT	NEPEAN, ONTARIO K2E 7S6 (613) 727-0850	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
CD	CURB DEPRESSION		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	1//////	LIGHT DUTY ASPHALT PAVING)	×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.	EMAIL: Nepean@aovltd.com	MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK	
	AND DEL NESSION			1:///:	<u> </u>	104.04	PROPOSED GRADING (REFER TO CIVIL DWGS)		<u>-</u>	OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS THE	7 ALL DOWNSPOUTS TO BE CONNECTED TO THE STOR
	ENTRY/ EXIT ACCESS POINTS		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LEGAL LAND DESCRIPTION:		RESPONSIBILITY OF THE DEVELOPER/ OWNER	DRAINAGE SYSTEM		
~		-KEI EK TO ELEGINIONE		(REFER TO LANDSCAPE DWGS)		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/		BLOCKS 11, 12 and		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL	8 ALL CONDENSING UNITS TO BE SCREENED ON THE
Ω	EXISTING TOWN HYDRANT		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE	F-7-		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	REGISTERED PLAN 4M -1651		UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING CONSTRUCTION.	GROUND FLOOR	
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS	₽	-NEFER TO ELECTRICAL DWGS				1	CITY OF OTTAWA			9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAC
#Ot	-REFER TO CIVIL DWGS				LANDSCAPED AREA	Kalada da	44			4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	ON THE PROPERY
* *		□->	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL	Day Exp. 2010						OF IRAVEL MUSI COMPLY WITH O.B.C. 3.8.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM
		ь	-REFER TO ELECTRICAL DWGS	100 to 100 to 100					L		CONSTRUCTION
			-KEI EK TO EEEGIKIGAE BWGS	- 4 4 4	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION						

CB5 3 87.50





Kev Plan

3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM	
2	22/06/30	Issued for CLC- Reply	EM	
1	22/05/20	Issued for CLC	EM	
No.	Date:	Issue/Revision	Ву:	
Draw	Drawing Issues/Revisions:			

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Architect's Stamp



APARTMENT BUILDING

WATERIDGE

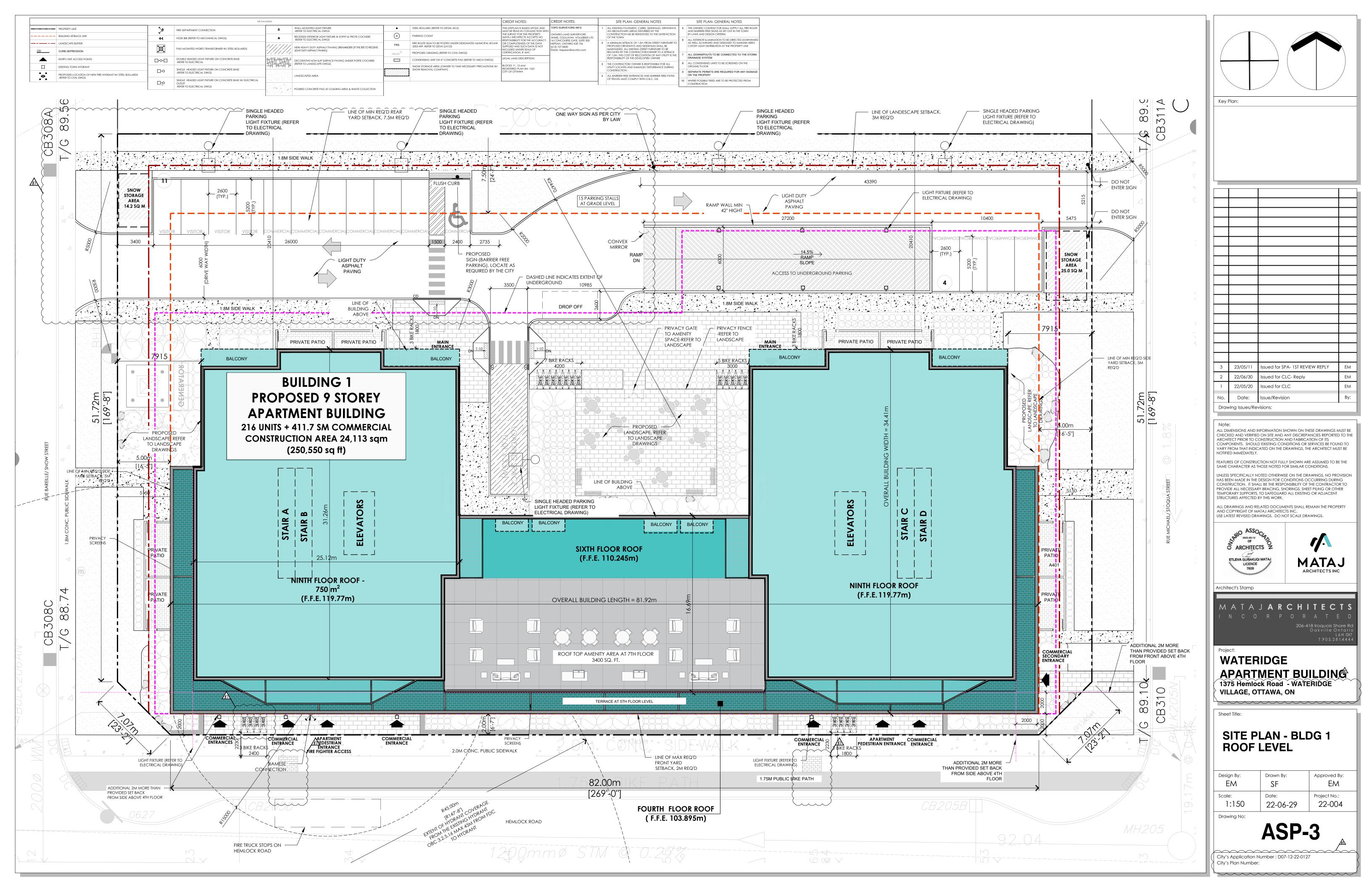
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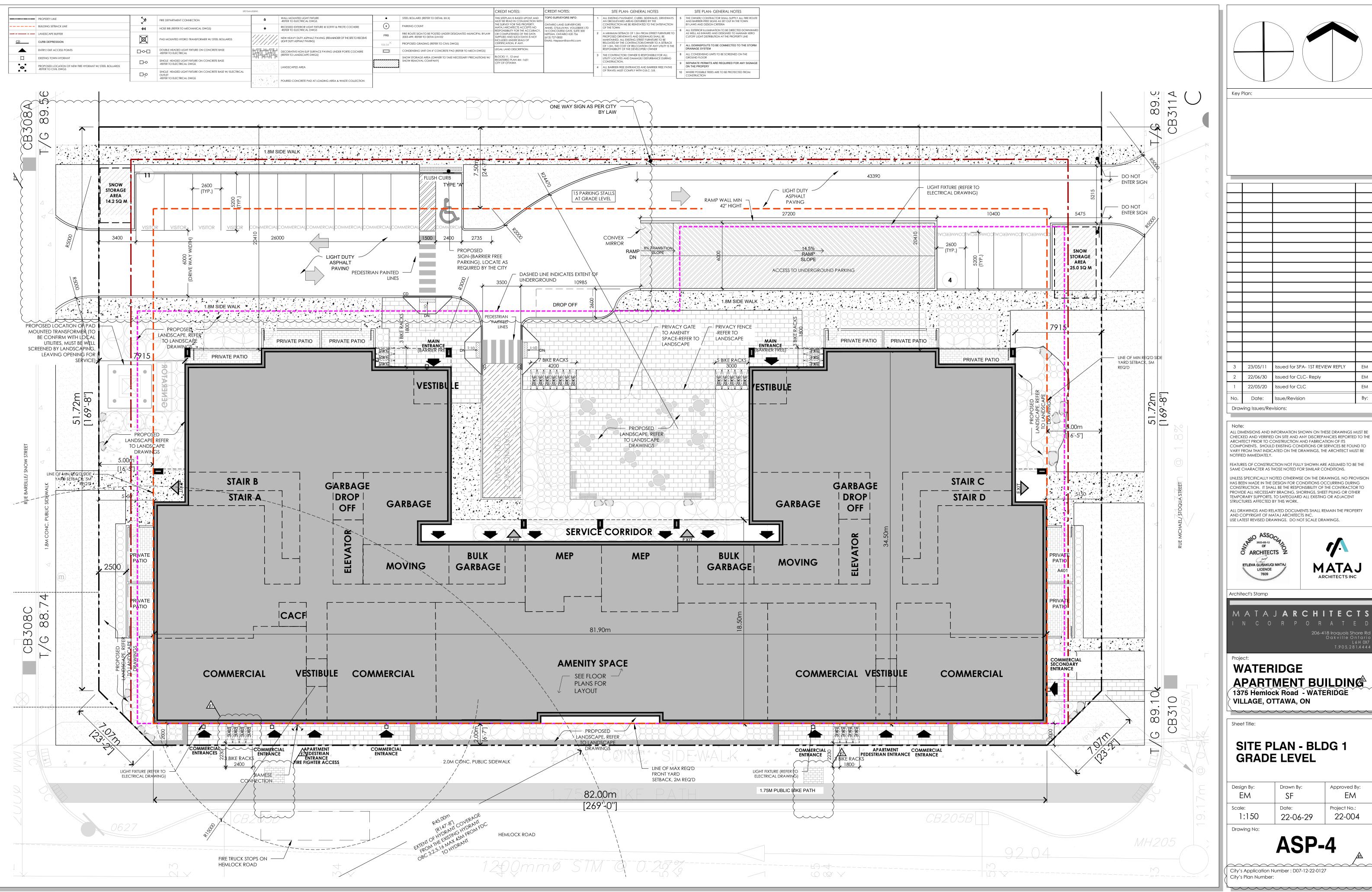
SITE PLAN -OVERALL SITE PLAN

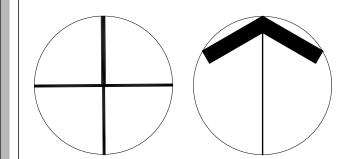
	Design By:	Drawn By:	Approved By:
	EM	SF	EM
	Scale:	Date:	Project No.:
	1:400	22-06-29	22-004

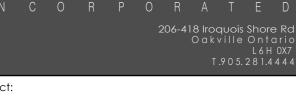
Drawing No:

ASP-2









LIST OF DRAWINGS

COVER SHEET

COVER SHEET A000

ARCHITECTURAL				
ASP-1	SITE PLAN			
ASP-2	SITE DETAILS			
A200	PARKING LEVEL P2			
A201	PARKING LEVEL P1			
A202	GROUND FLOOR PLAN			
A203	TYPICAL FLOOR (2nd-4th)			
A204	FIFTH FLOOR PLAN (5th)			
A205	SIXTH FLOOR PLAN (6th)			
A206	SEVENTH FLOOR PLAN (7th)			
A207	EIGHT & NINE FLOOR PLAN (8th-9th)			
A209	ROOF PLAN			
A300	BLD 1 - RENDER			
A301	SOUTH (FRONT) ELEVATION			
A302	EAST & WEST ELEVATIONS			
A303	NORTH (REAR) ELEVATION			
A305	3D VIEWS			
A401	BUILDING 1 - SITE SECTIONS			



WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ISSUED FOR SPA - 1ST REVIEW REPLY

CLIENT:

BAYVIEW GROUP

108 CHESTNUT ST TORONTO, ON M5G 1R3 T: 416-597-6368



ARCHITECT:

MATAJ ARCHITECTS INC.

206-418 IROQUOIS SHORE RD OAKVILLE, ON L6H 0X7 T: 905.281.4444



CIVIL:

WSP

1600 BOULEVARD RENE LEVESQUE WEST 11th FLOOR MONTREAL, QUEBEC H3H 1P9 T: 1.514.340.0046



LANDSCAPE:

WSP

1600 BOULEVARD RENE LEVESQUE WEST 11th FLOOR MONTREAL, QUEBEC H3H 1P9 T: 1.514.340.0046



ELECTRICAL

DESIGN WORKS ENGINEERING

826 KING ST. N., UNIT 15 WATERLOO, ON N2J 4G8 T: 1.780.814.5533



URBAN PLANNER

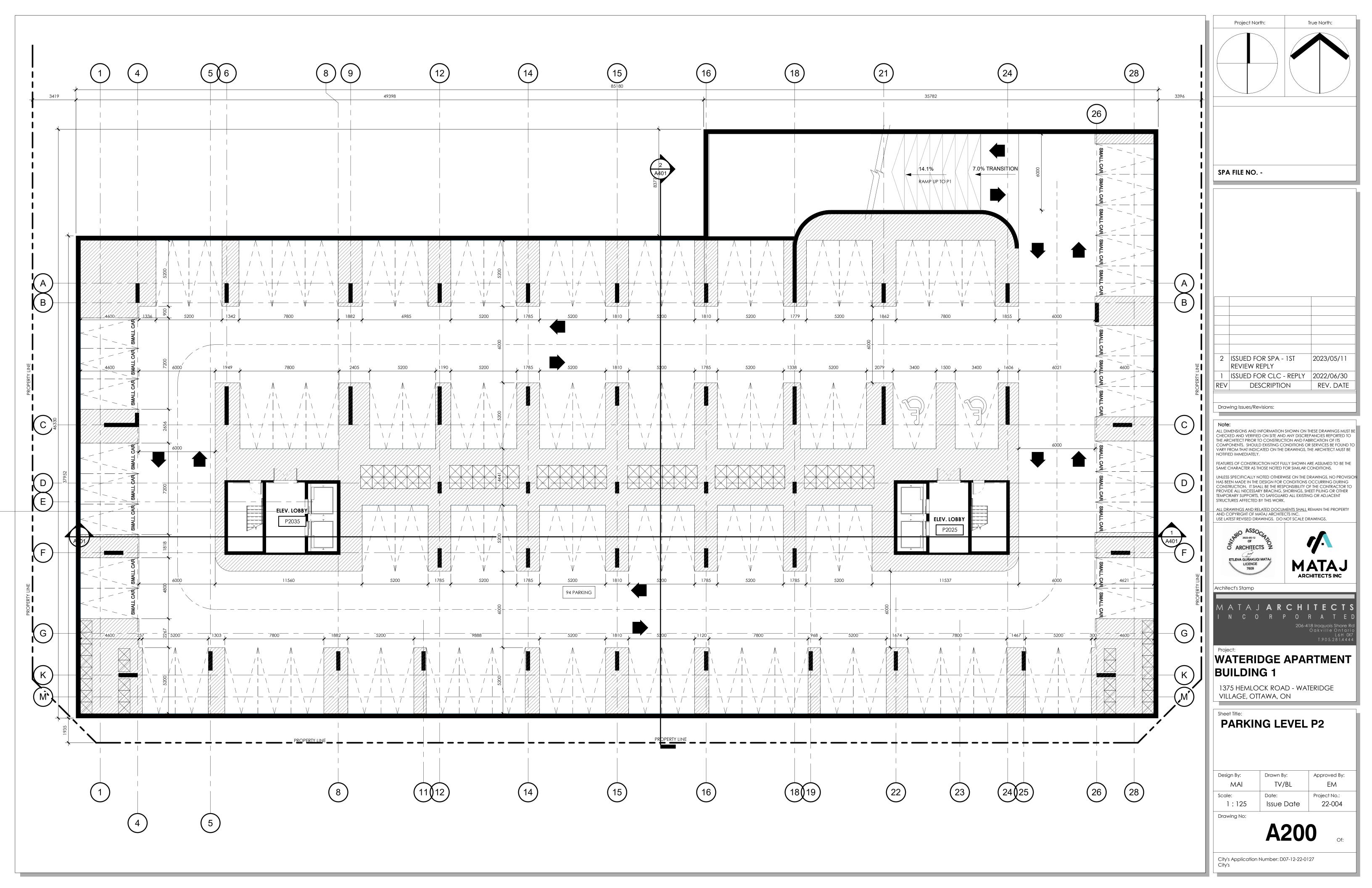
DEMARCO CONSTRUCTION

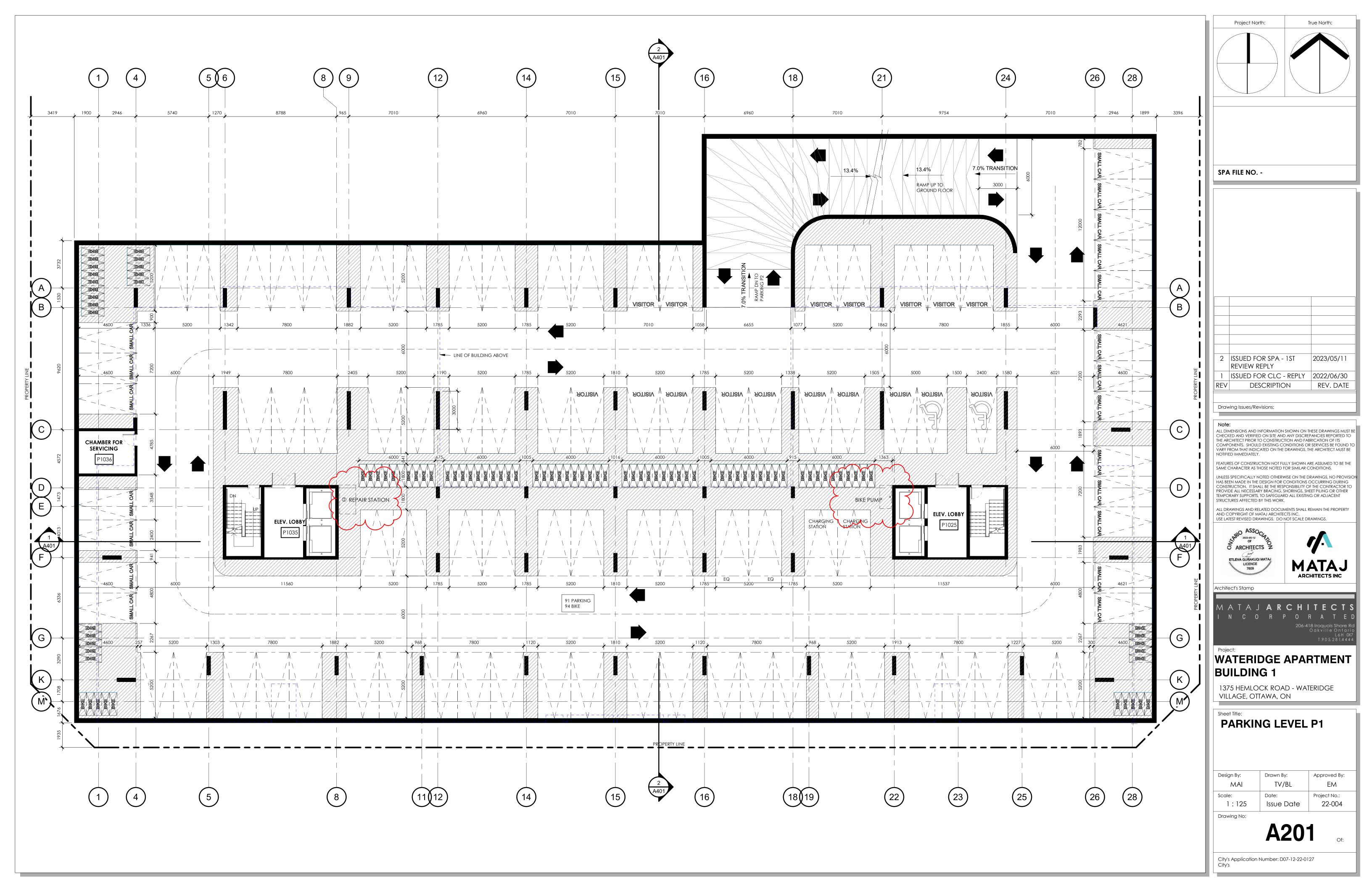
195 MENTEN PLACE, UNIT 103 OTTAWA, ON K2H 9C1 T: 1.613.829.2777

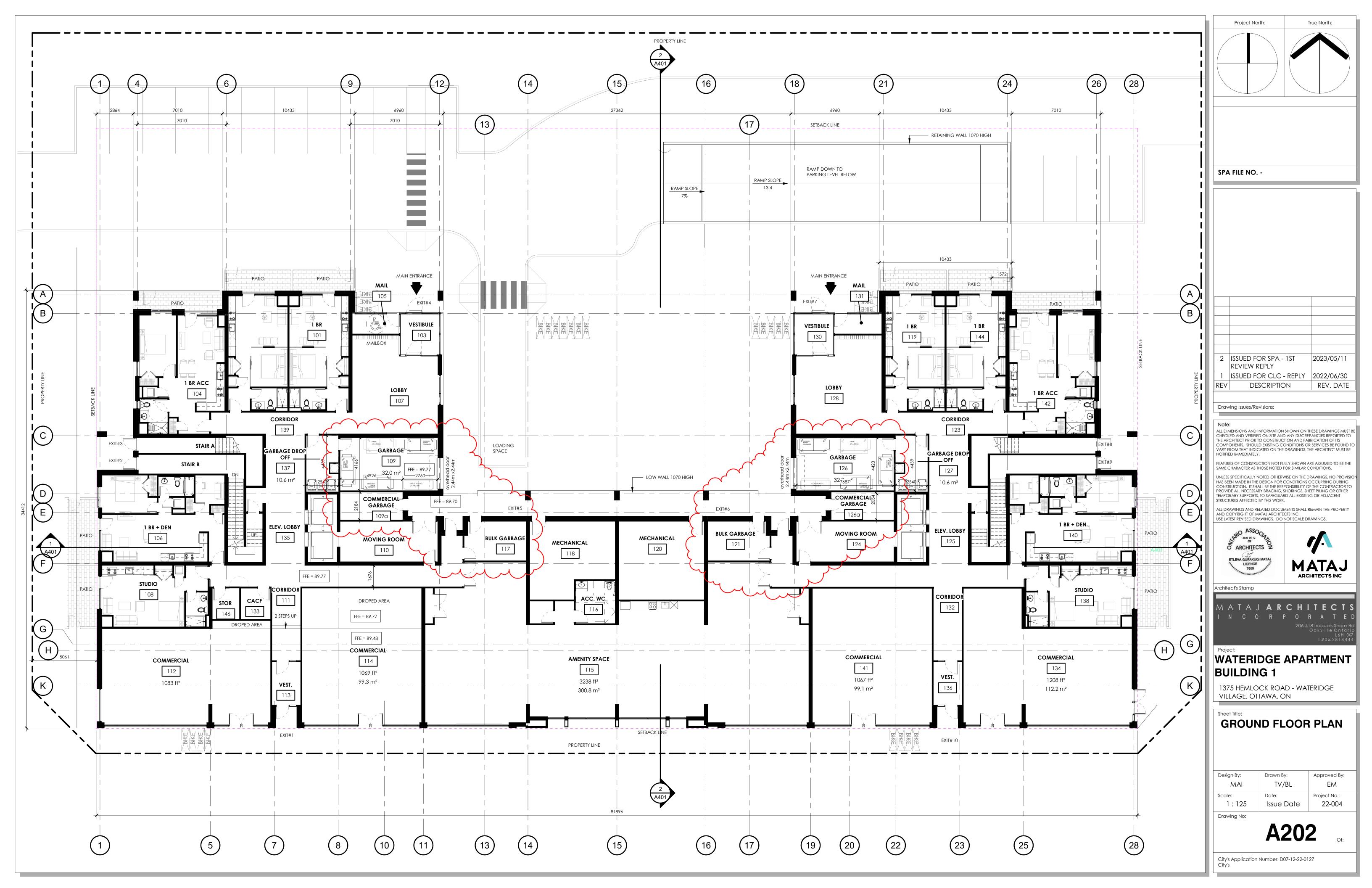


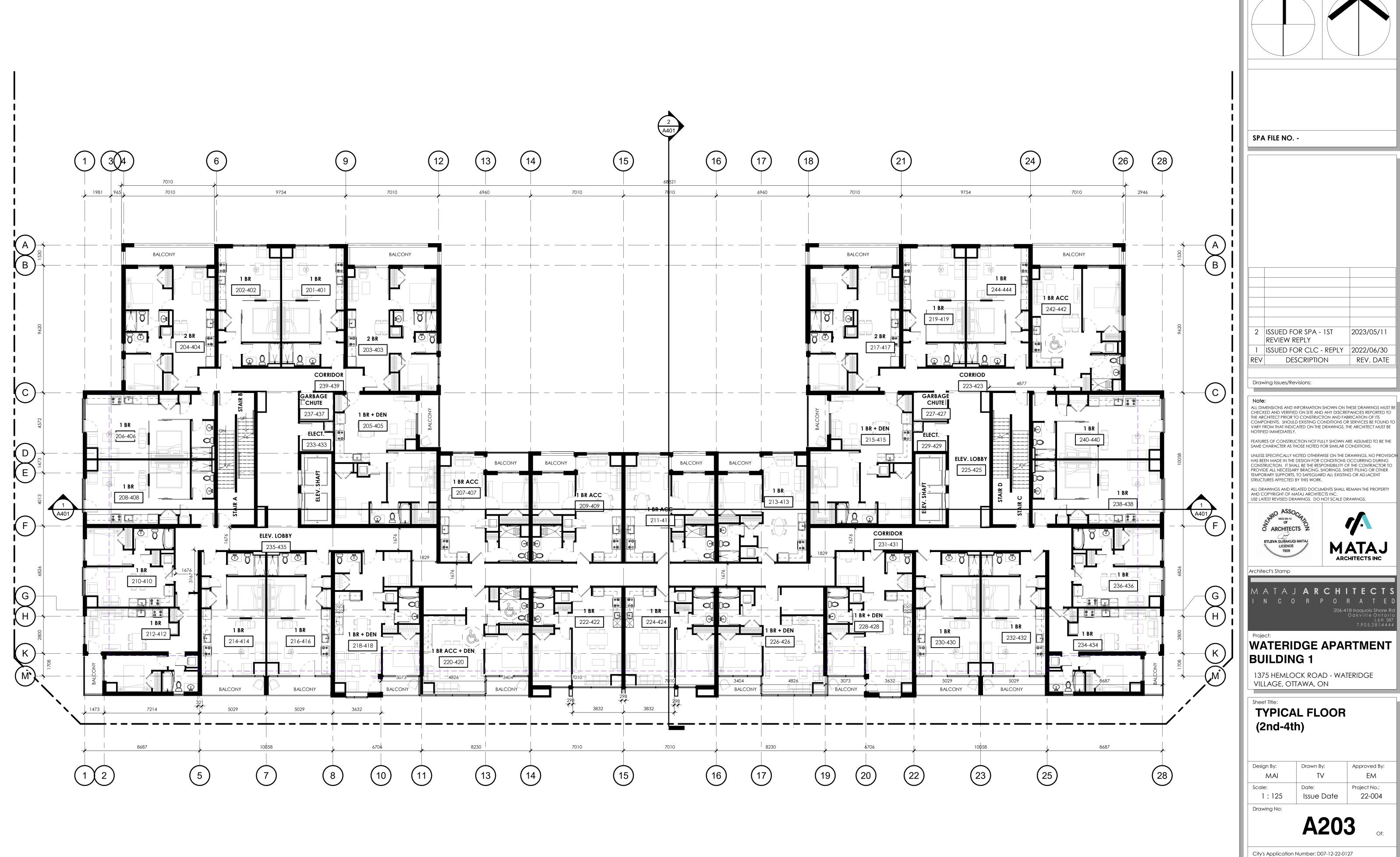






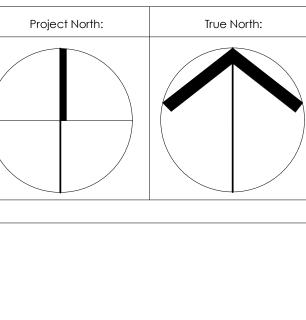






Project North: True North:





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FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

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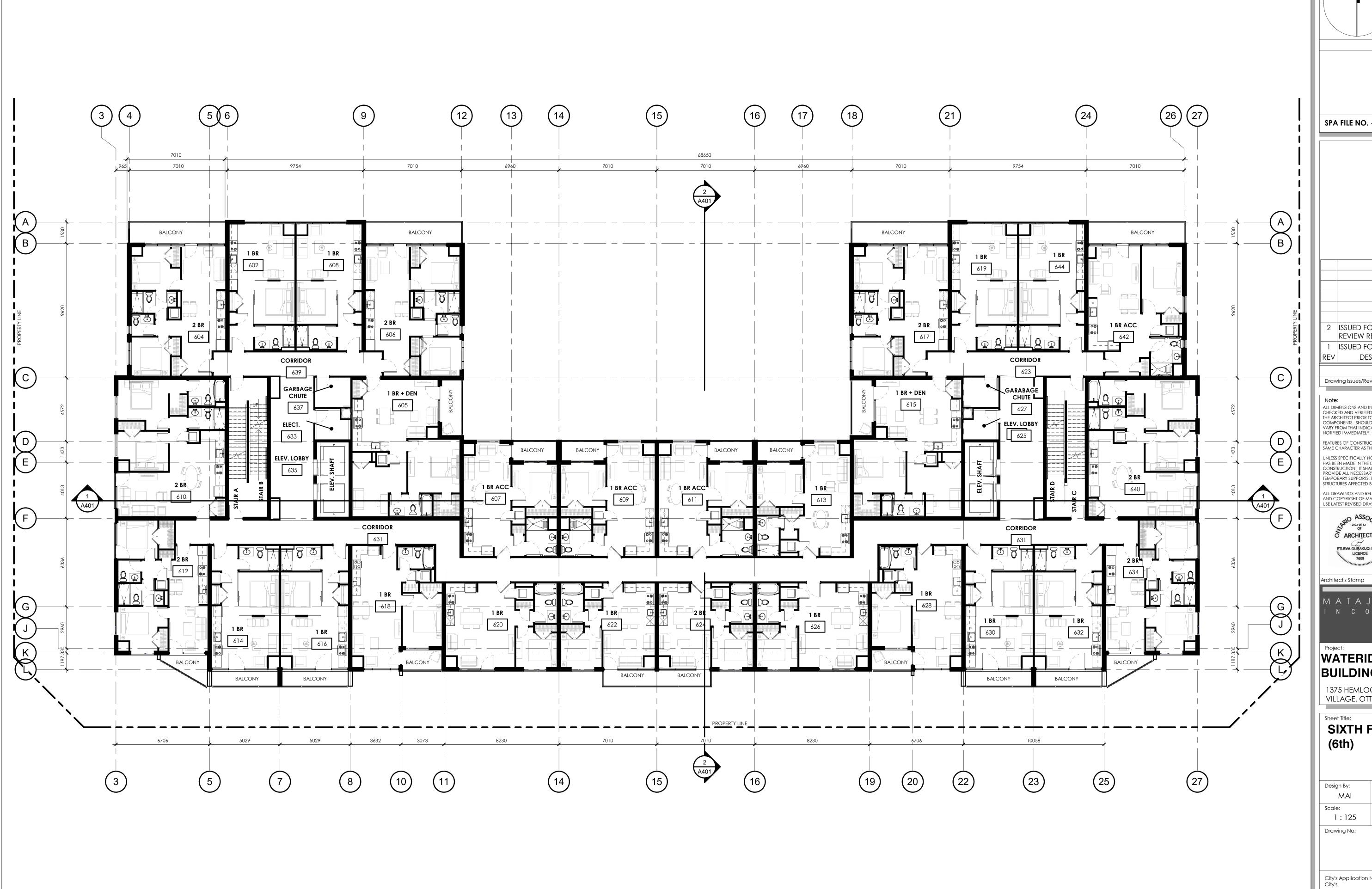
REV. DATE

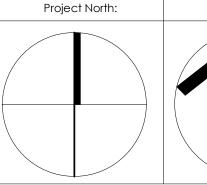
WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

FIFTH FLOOR PLAN

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale:	Date:	Project No.:
1 · 125	Issue Date	22-004





True North:

SPA FILE NO. -

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DESCRIPTION

Drawing Issues/Revisions:

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REV. DATE

Architect's Stamp

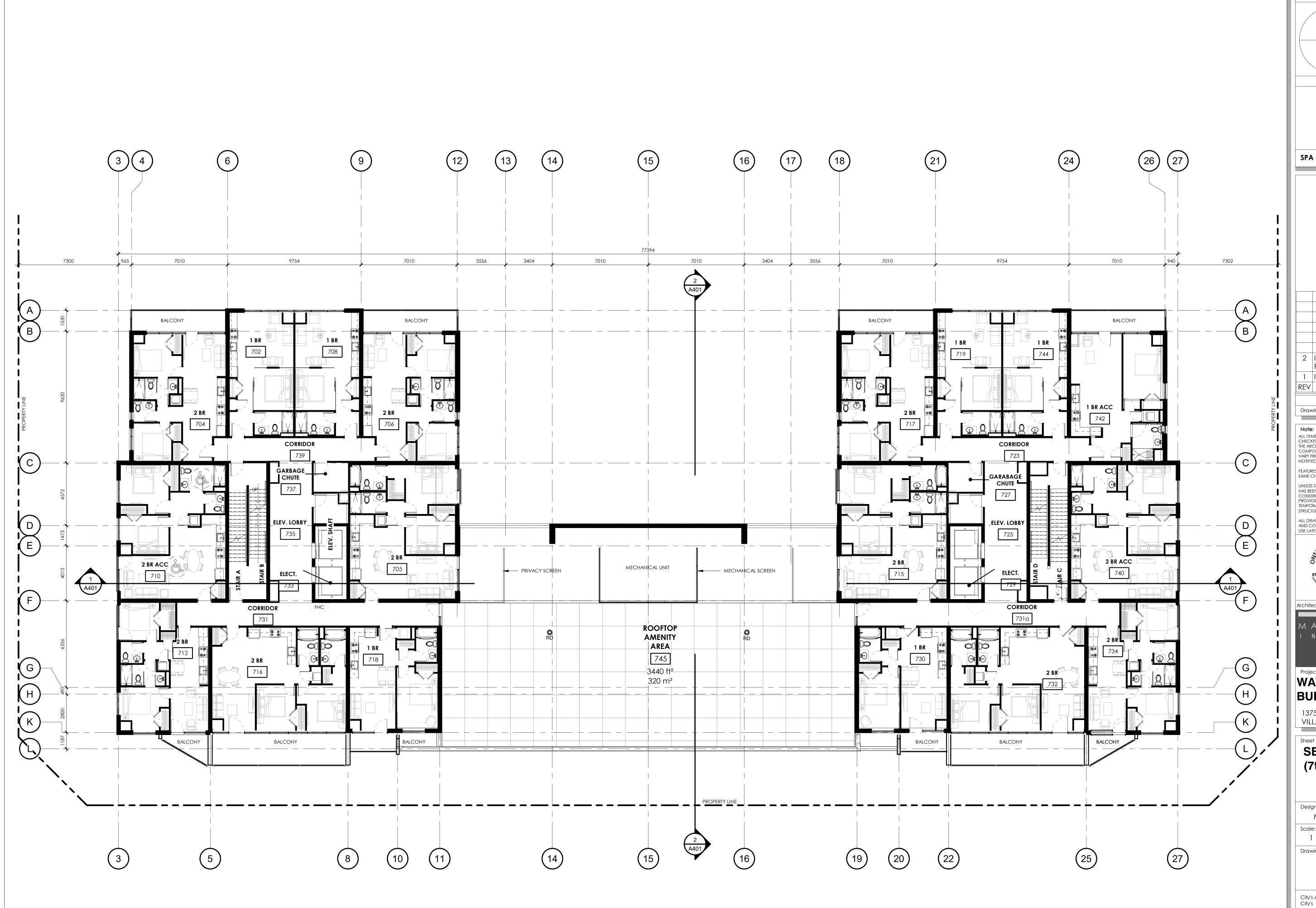
WATERIDGE APARTMENT **BUILDING 1**

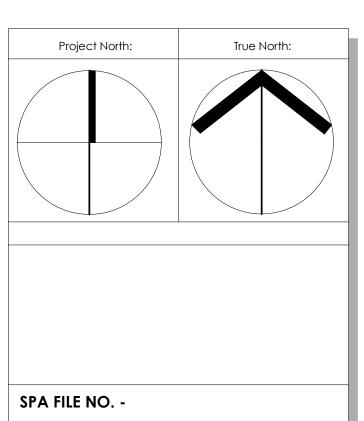
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

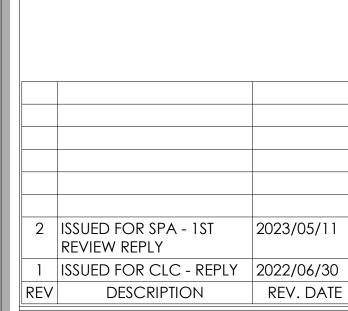
SIXTH FLOOR PLAN

- 1					
	Design By:	Drawn By:	Approved By:		
ı	MAI	TV	EM		
	Scale:	Date:	Project No.:		
	1:125	Issue Date	22-004		
- 1					

Drawing No:







Drawing Issues/Revisions:

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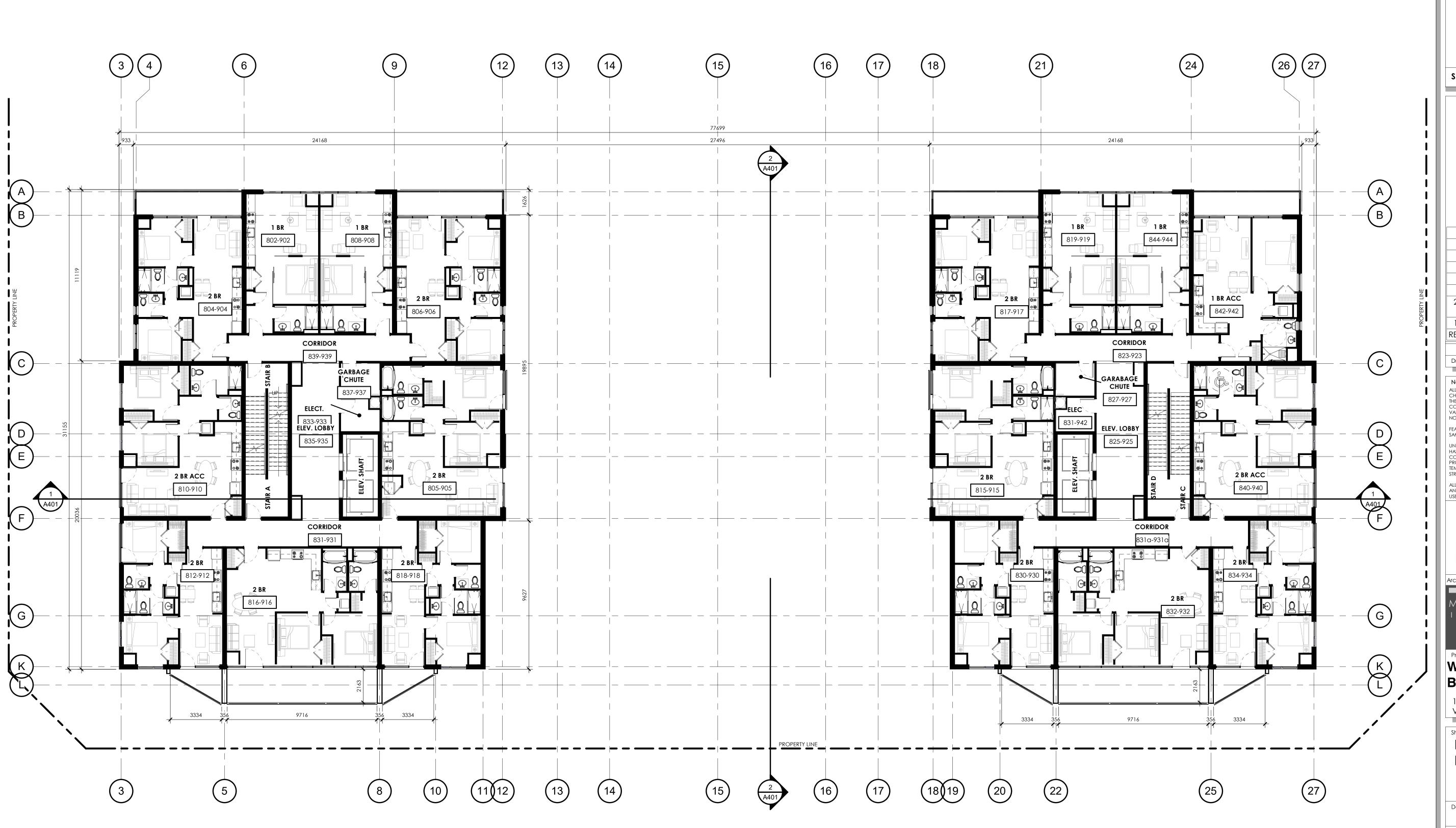
WATERIDGE APARTMENT **BUILDING 1**

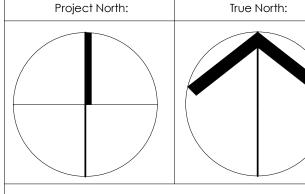
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

SEVENTH FLOOR PLAN (7th)

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale: 1:125	Date: Issue Date	Project No.: 22-004
Drawing No:	issue Dale	22-004

A206





2 ISSUED FOR SPA - 1ST REVIEW REPLY 1 ISSUED FOR CLC - REPLY 2022/06/30

DESCRIPTION

Drawing Issues/Revisions:

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MATAJ ARCHITECTS INC

REV. DATE

Architect's Stamp

T A J A R C H I T E C T
C O R P O R A T E

206-418 Iroquois Shore Rd
O akville Ontario
L6H 0X7
T.905,281.4444

Project:

WATERIDGE APARTMENT BUILDING 1

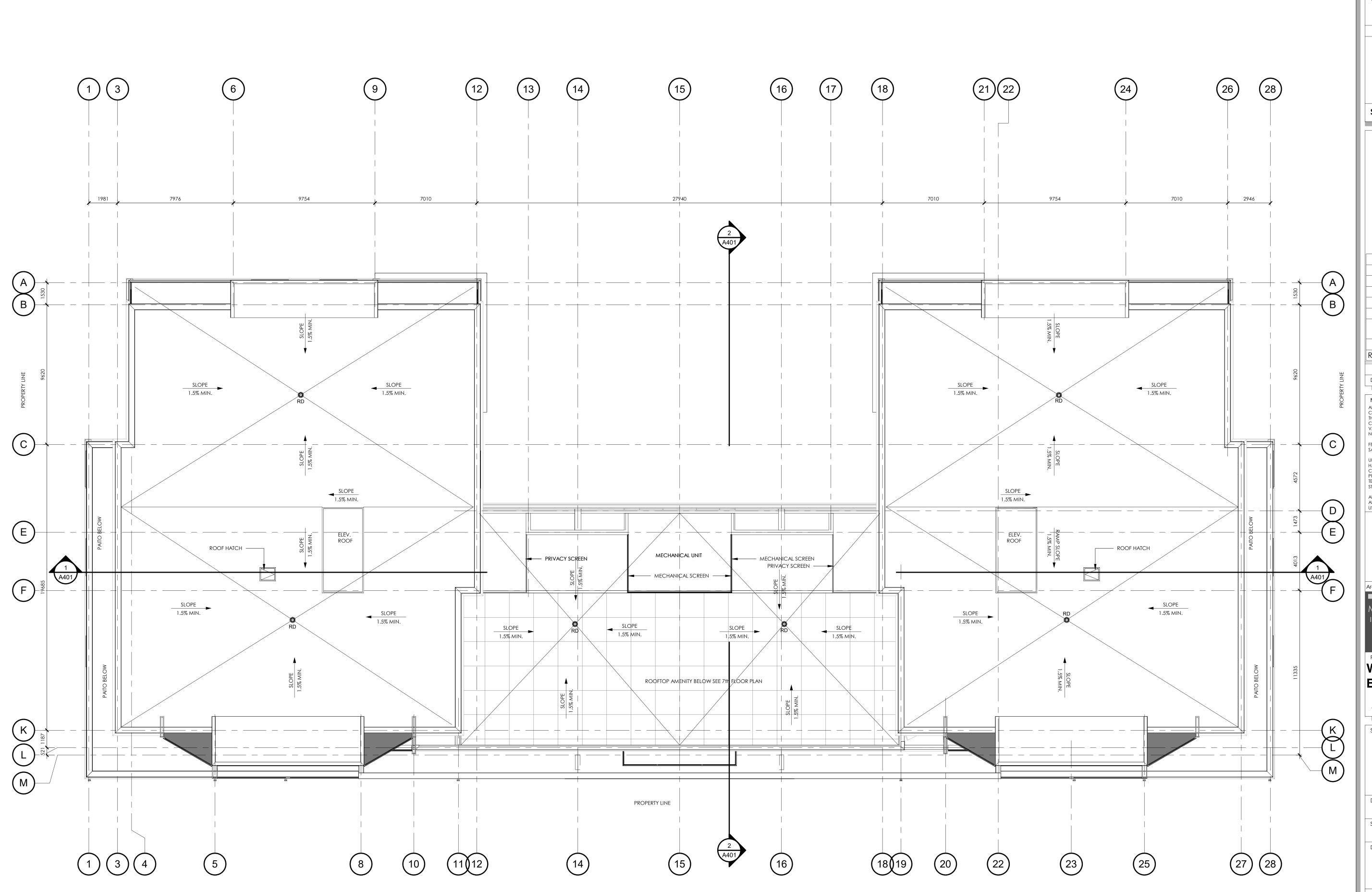
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

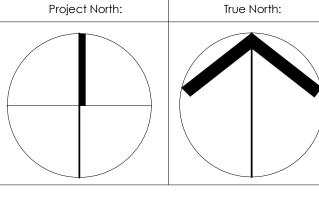
EIGHT & NINE FLOOR PLAN (8th-9th)

	Design By:	Drawn By:	Approved By
	MAI	TV	EM
	Scale:	Date:	Project No.:
	1:125	Issue Date	22-004
		•	•

Drawing No:

A207





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

DESCRIPTION

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Project:

WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ROOF PLAN

-1				
	ı	Design By:	Drawn By:	Approved By:
	ı	MAI	-	EM
	ı	Scale:	Date:	Project No.:
	ı	1:125	Issue Date	22-004
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Drawing No:

A209



Project North: True North:

SPA FILE NO. -

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	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
	1	ISSUED FOR CLC - REPLY	2022/06/30
	REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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MATAJ ARCHITECTS INC

Architect's Stamp

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206-418 Iroquois Shore Rd
Oakville Ontario
L6H 0X7
T.905.281.4444

Projec

WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

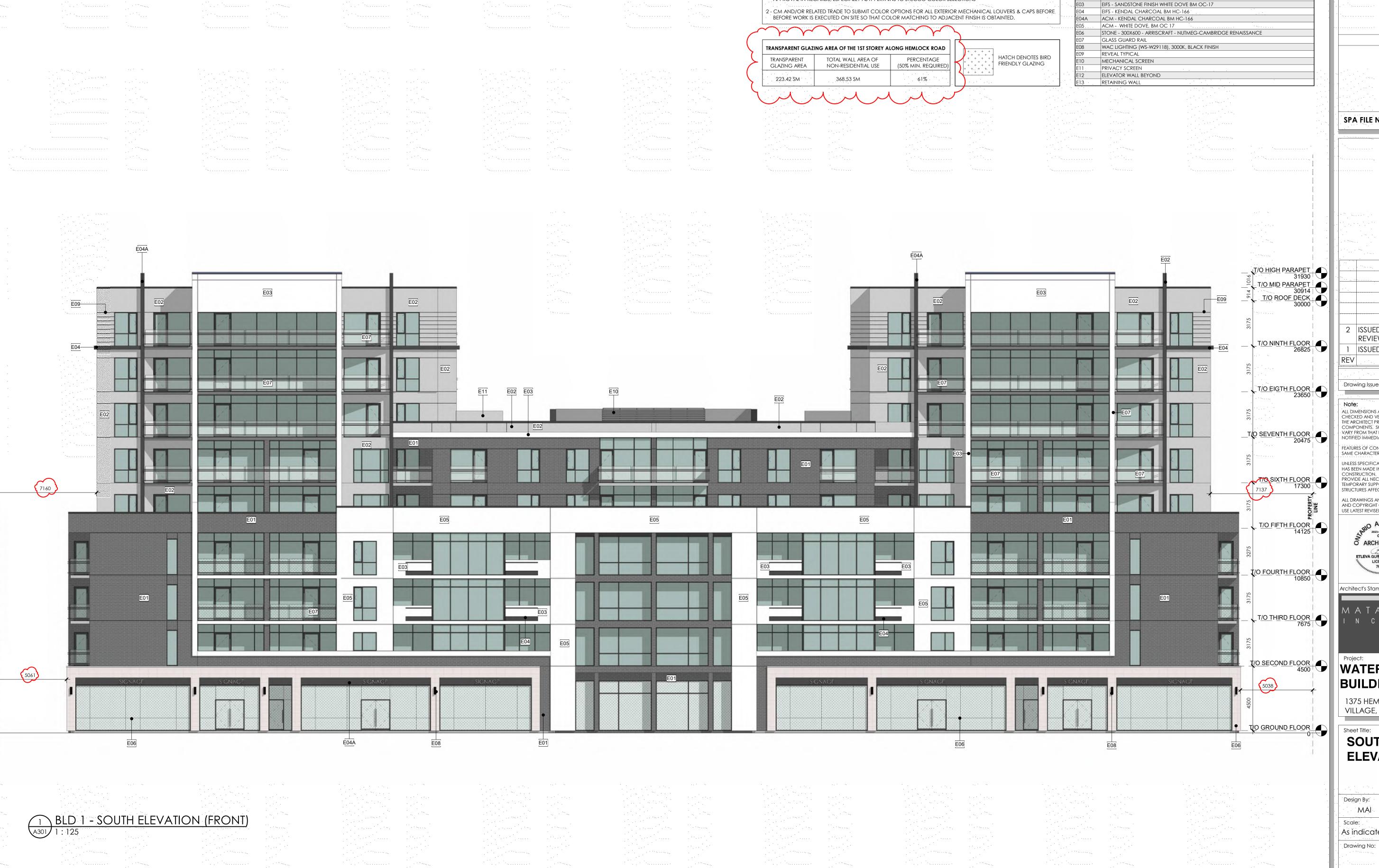
Sheet Title: **BLD 1 - RENDER**

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
	Issue Date	22-004

Drawing No:

A300

City's Application Number: D07-12-22-0127 City's



NOTES:

- CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE

APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE

Project North: True North:

SPA FILE NO. -

EXTERIOR ELEVATION LEGEND

EIFS - BRICK PATTERN-KENDALL CHARCOAL

EIFS - GREY

2 ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY ISSUED FOR CLC - REPLY | 2022/06/30 DESCRIPTION REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

SOUTH (FRONT) **ELEVATION**

Design By:	Drawn By:	Approved By:
MAI	TV/BL	EM
Scale:	Date:	Project No.:
As indicated	Issue Date	22-004



BLD 1 - EAST ELEVATION

1: 125

BLD 1 - WEST ELEVATION

A302 1: 125

Project North: True North:

SPA FILE NO. -

EXTERIOR ELEVATION LEGEND

STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE

EIFS - BRICK PATTERN-KENDALL CHARCOAL

EIFS - KENDAL CHARCOAL BM HC-166

ACM - KENDAL CHARCOAL BM HC-166 ACM - WHITE DOVE, BM OC 17

GLASS GUARD RAIL

MECHANICAL SCREEN

REVEAL TYPICAL

PRIVACY SCREEN

ELEVATOR WALL BEYON

RETAINING WALL

HATCH DENOTES BIRD

FRIENDLY GLAZING

EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17

WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH

-- CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE

APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE

2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE

BÉFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.

2 ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY
1 ISSUED FOR CLC - REPLY 2022/06/30 EV DESCRIPTION REV. DATE

Drawing Issues/Revisions:

Note:

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MATAJ ARCHITECTS INC

Architect's Stamp

TAJARCHITECT
CORPORATE

206-418 Iroquois Shore F

Project:

WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

EAST & WEST ELEVATIONS

Design By: Drawn By: Approved By:

MAI TV/BL EM

Scale: Date: Project No.:

As indicated Issue Date 22-004

Drawing No:

Λ3U



NOTES:

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE

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BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.

Project North: True North:

SPA FILE NO. -

EXTERIOR ELEVATION LEGEND

STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE

EIFS - BRICK PATTERN-KENDALL CHARCOAL

EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17

WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH

EIFS - KENDAL CHARCOAL BM HC-166

ACM - KENDAL CHARCOAL BM HC-166
ACM - WHITE DOVE, BM OC 17

GLASS GUARD RAIL

MECHANICAL SCREEN

REVEAL TYPICAL

PRIVACY SCREEN

HATCH DENOTES BIRD

FRIENDLY GLAZING

2 ISSUED FOR SPA - 1ST
REVIEW REPLY
1 ISSUED FOR CLC - REPLY 2022/06/30
REV DESCRIPTION REV. DATE

Drawing Issues/Revisions:

lote:

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Architect's Stamp

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C O R P O R A T E

206-418 Iroquois Shore
0 akville Onta
1.64 (
1.905.281.44

Project:

WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

NORTH (REAR) ELEVATION

١.,	Design By:	Drawn By:	Approved By
ŀ	MAI	TV/BL	EM
ŀ	Scale:	Date:	Project No.:
ŀ	As indicated	Issue Date	22-004
ı.			

Drawing No:

A303

T/O NINTH FLOOR 26825

T/O EIGTH FLOOR 23650

_ T<u>/O FOURTH FLOOR</u> 10850

E02

- CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
- 2 CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.

HATCH DENOTES BIRD FRIENDLY GLAZING

		EXTERIOR ELEVATION LEGEND				
	E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL				
	E02	EIFS - GREY				
٠	E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17				
	E04	EIFS - KENDAL CHARCOAL BM HC-166				
	E04A	ACM - KENDAL CHARCOAL BM HC-166				
	E0.5	ACM - WHITE DOVE, BM OC 17				
	E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE				
	E07	GLASS GUARD RAIL				
	E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH				
	E09	REVEAL TYPICAL				
	E10	MECHANICAL SCREEN				
	E11 .	PRIVACY SCREEN				
٠.	E12	ELEVATOR WALL BEYOND				

E13 RETAINING WALL

True North:

Project North:

SPA FILE NO. -





E02

E02



ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY DESCRIPTION REV. DATE

Drawing Issues/Revisions:

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Architect's Stamp

Drawing No:

WATERIDGE APARTMENT

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

PARTIAL EAST & WEST **ELEVATIONS**

Design By: Approved By: MAI EM Project No.: 22-004 As indicated | Issue Date





PERSPECTIVE VIEW SE

A305





3 PERSPECTIVE VIEW NW

Project North:

True North:

SPA FILE NO. -

2 ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY ISSUED FOR CLC - REPLY | 2022/06/30 DESCRIPTION REV. DATE

Drawing Issues/Revisions:

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

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Architect's Stamp

WATERIDGE APARTMENT **BUILDING 1**

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title: 3D VIEWS

	10 m	
n By:	Drawn By:	

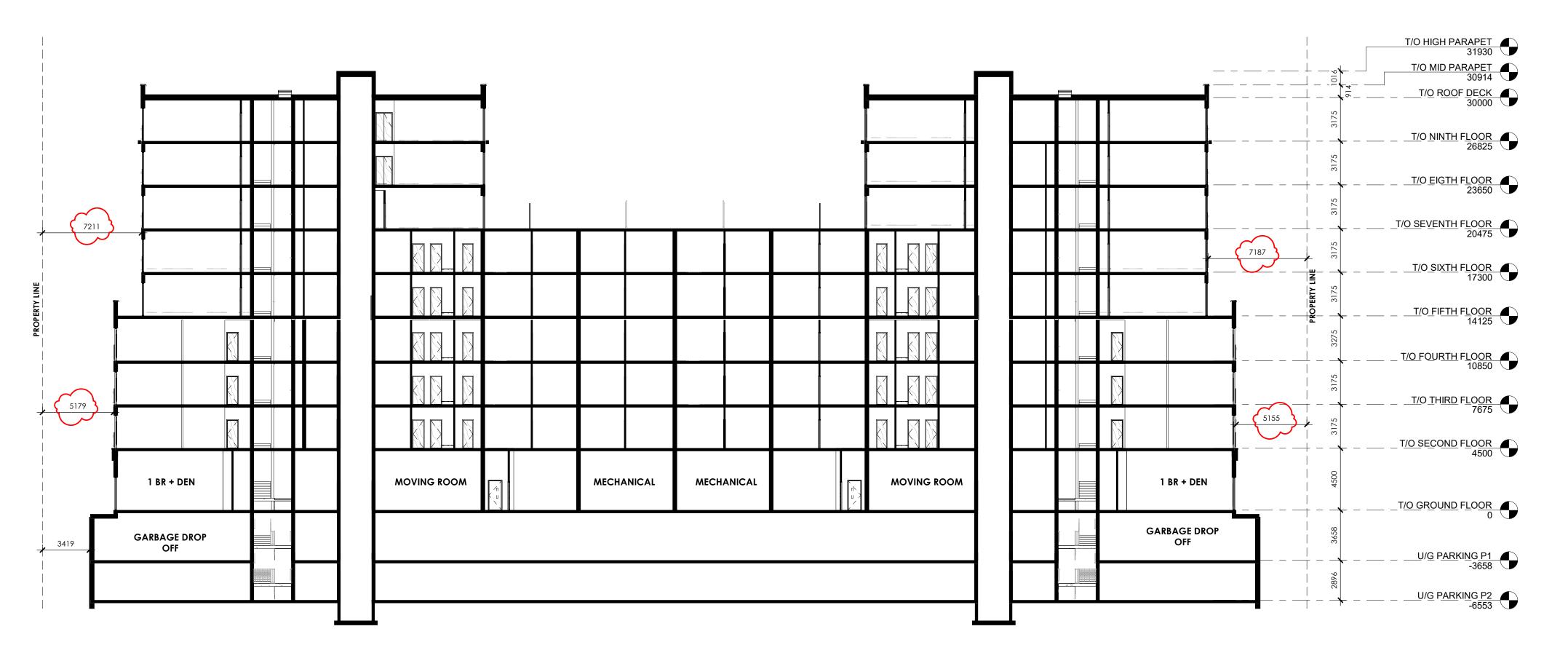
Drawing No:

Scale:

Issue Date

Approved By: EM

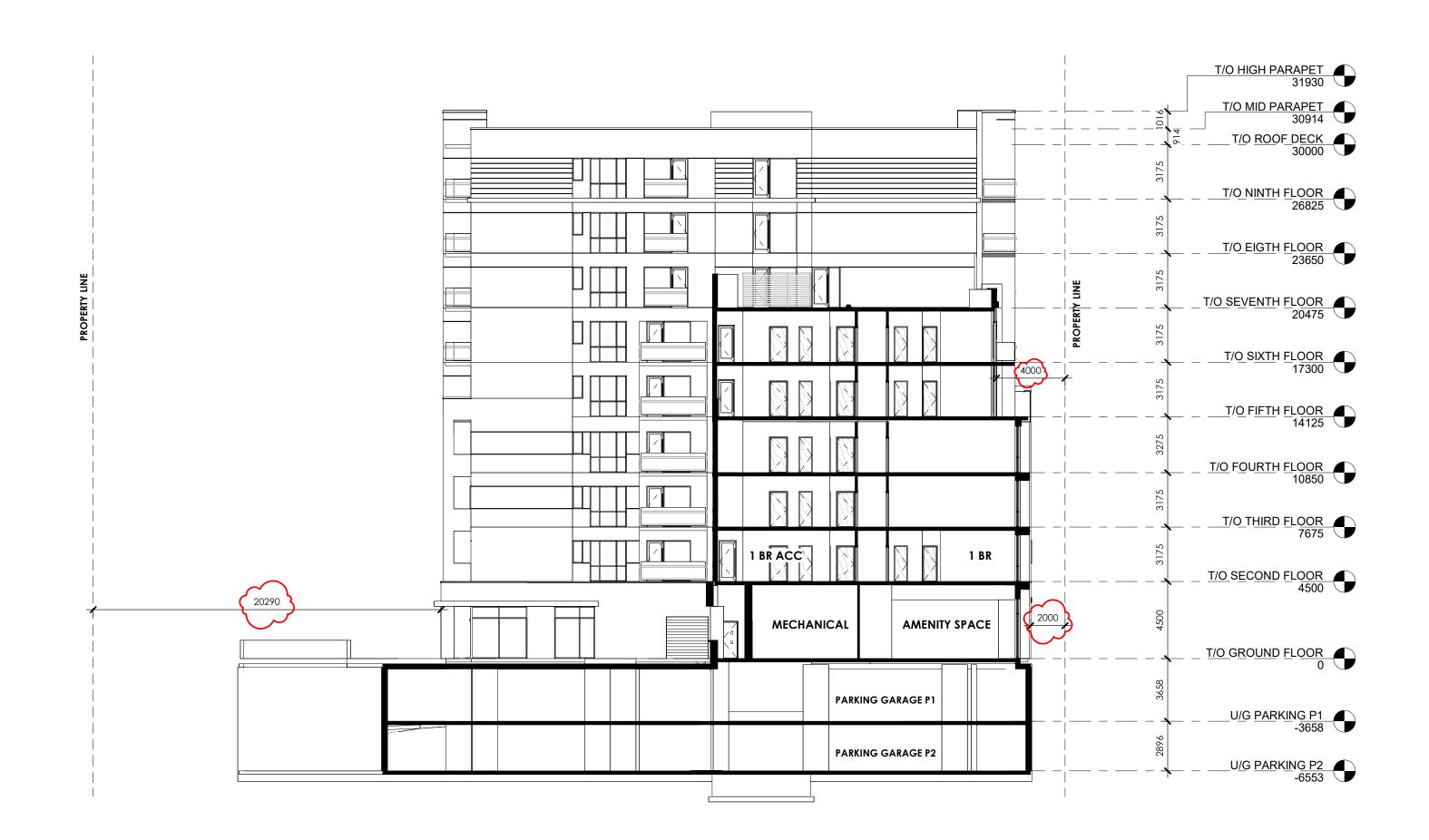
Project No.: 22-004



BLD 1 - SITE SECTION I

BLD 1 - SITE SECTION II

A401 1:200



SPA FILE NO. -2 ISSUED FOR SPA - 1ST REVIEW REPLY ISSUED FOR CLC - REPLY 2022/06/30 DESCRIPTION Drawing Issues/Revisions: ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK. ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC.
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Project North:

True North:

2023/05/11

REV. DATE

MATAJ ARCHITECTS INC

WATERIDGE APARTMENT 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON **BUILDING 1 - SITE SECTIONS**

	Design By:	Drawn By:	Approved By
	MAI	-	EM
	Scalo:	Date:	Project No:

1:200 Issue Date 22-004 Drawing No:

LIST OF DRAWINGS

COVER SHEET

A000 COVER SHEET

ARCHI.	TECTURAL
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ARCHITECTURAL	
ASP-1	SITE PLAN
ASP-2	SITE DETAILS
A201	PARKING LEVEL P2
A202	PARKING LEVEL P1
A203	GROUND FLOOR PLAN
A204	TYPICAL FLOOR (2nd-4th)
A205	FIFTH FLOOR PLAN (5th)
A206	SIXTH FLOOR PLAN (6th)
A207	SEVENTH FLOOR PLAN (7th)
A208	EIGHT & NINE FLOOR PLAN (8th-9th)
A209	ROOF PLAN
A301	South (front) elevation
A302	WEST ELEVATION
A303	NORTH ELEVATION
A304	EAST ELEVATION
A305	3D VIEWS
A401	BUILDING 2 - SITE SECTIONS

WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON ISSUED FOR SPA - 1ST REVIEW REPLY

CLIENT:

BAYVIEW GROUP

108 CHESTNUT ST TORONTO, ON M5G 1R3 T: 416-597-6368



ARCHITECT:

MATAJ ARCHITECTS INC.

206-418 IROQUOIS SHORE RD OAKVILLE, ON L6H 0X7 T: 905.281.4444



CIVIL:

WSP

1600 BOULEVARD RENE LEVESQUE WEST 11th FLOOR MONTREAL, QUEBEC H3H 1P9 T: 1.514.340.0046



LANDSCAPE:

WSP

1600 BOULEVARD RENE LEVESQUE WEST 11th FLOOR MONTREAL, QUEBEC H3H 1P9 T: 1.514.340.0046



ELECTRICAL

DESIGN WORKS ENGINEERING

826 KING ST. N., UNIT 15 WATERLOO, ON N2J 4G8 T: 1.780.814.5533



URBAN PLANNER

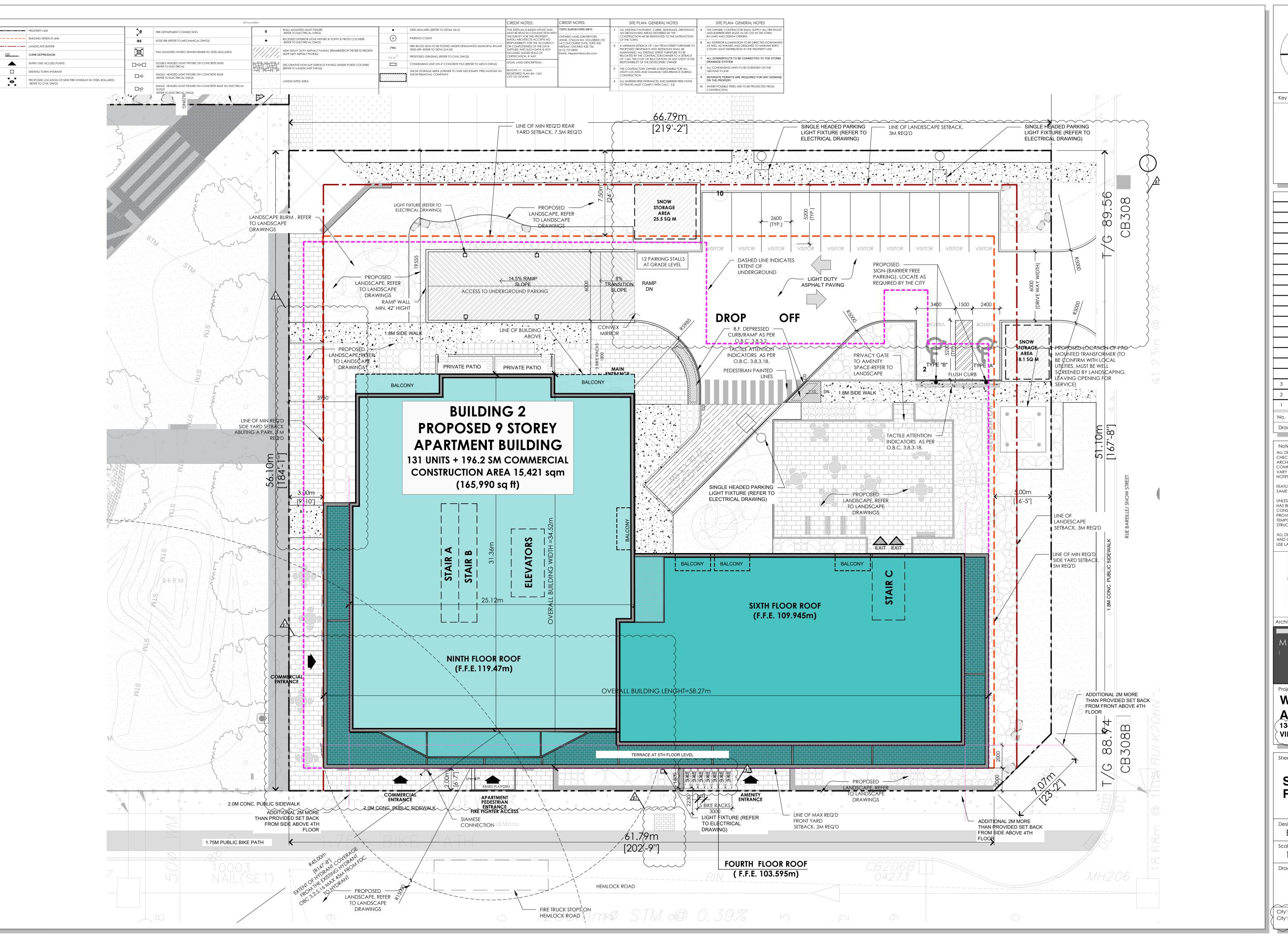
DEMARCO CONSTRUCTION

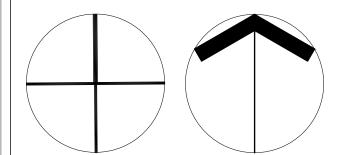
195 MENTEN PLACE, UNIT 103 OTTAWA, ON K2H 9C1 T: 1.613.829.2777











Key Plan:

Issued for SPA- 1ST REVIEW REPLY 22/06/30 22/05/20 Issued for CLC Date: Drawing Issues/Revisions:

CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

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Architect's Stamp



WATERIDGE APARTMENT BUILDING 1345 Hemlock Road - WATERIDGE

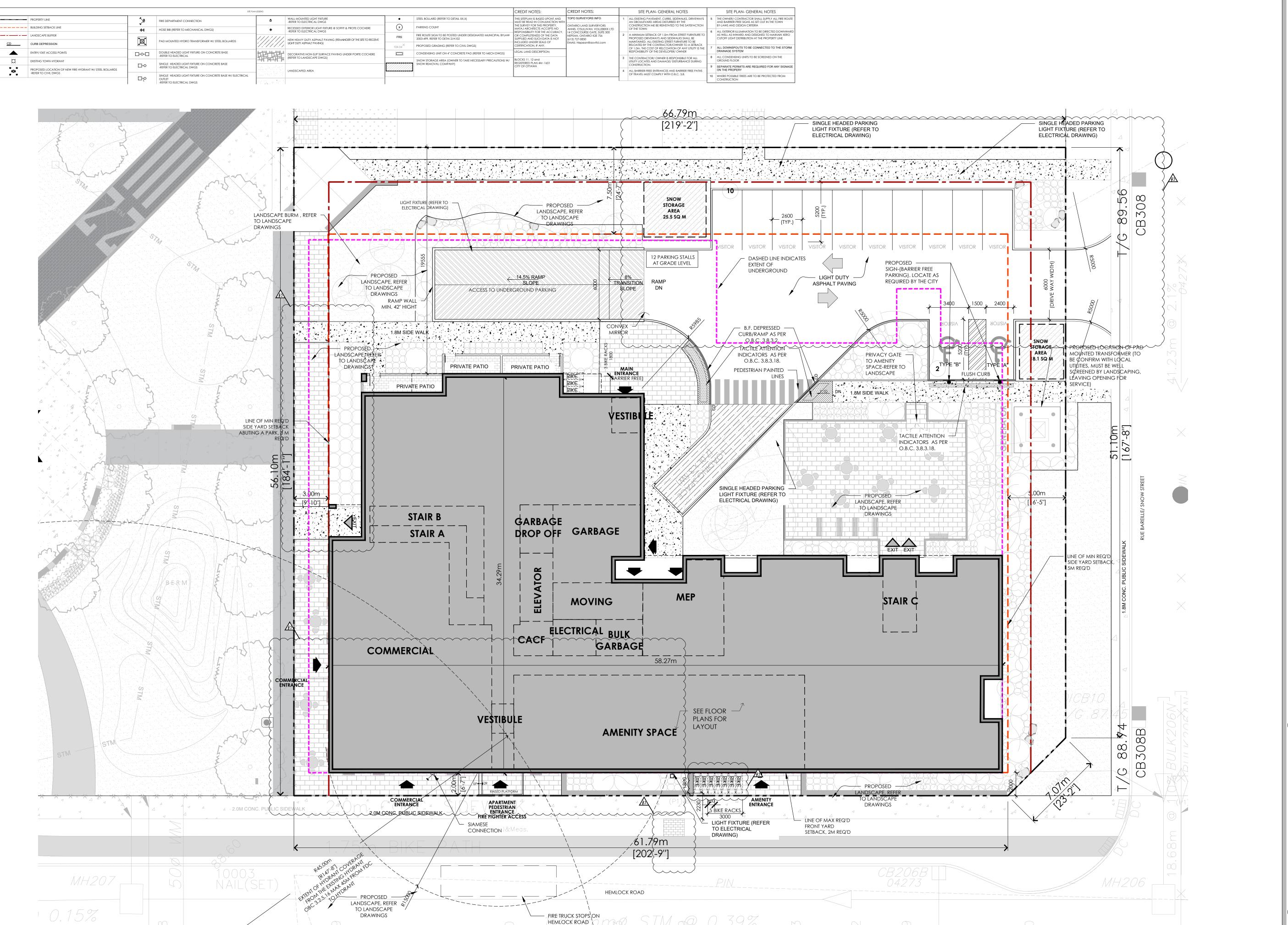
VILLAGE, OTTAWA, ON

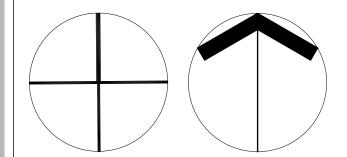
SITE PLAN - BLDG 2 **ROOF LEVEL**

Design By:	Drawn By: SF	Approved By:
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No:

ASP-5





Key Plan:

23/05/11 Issued for SPA- 1ST REVIEW REPLY 22/06/30 Issued for CLC-Reply 22/05/20 Issued for CLC Date: Issue/Revision Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

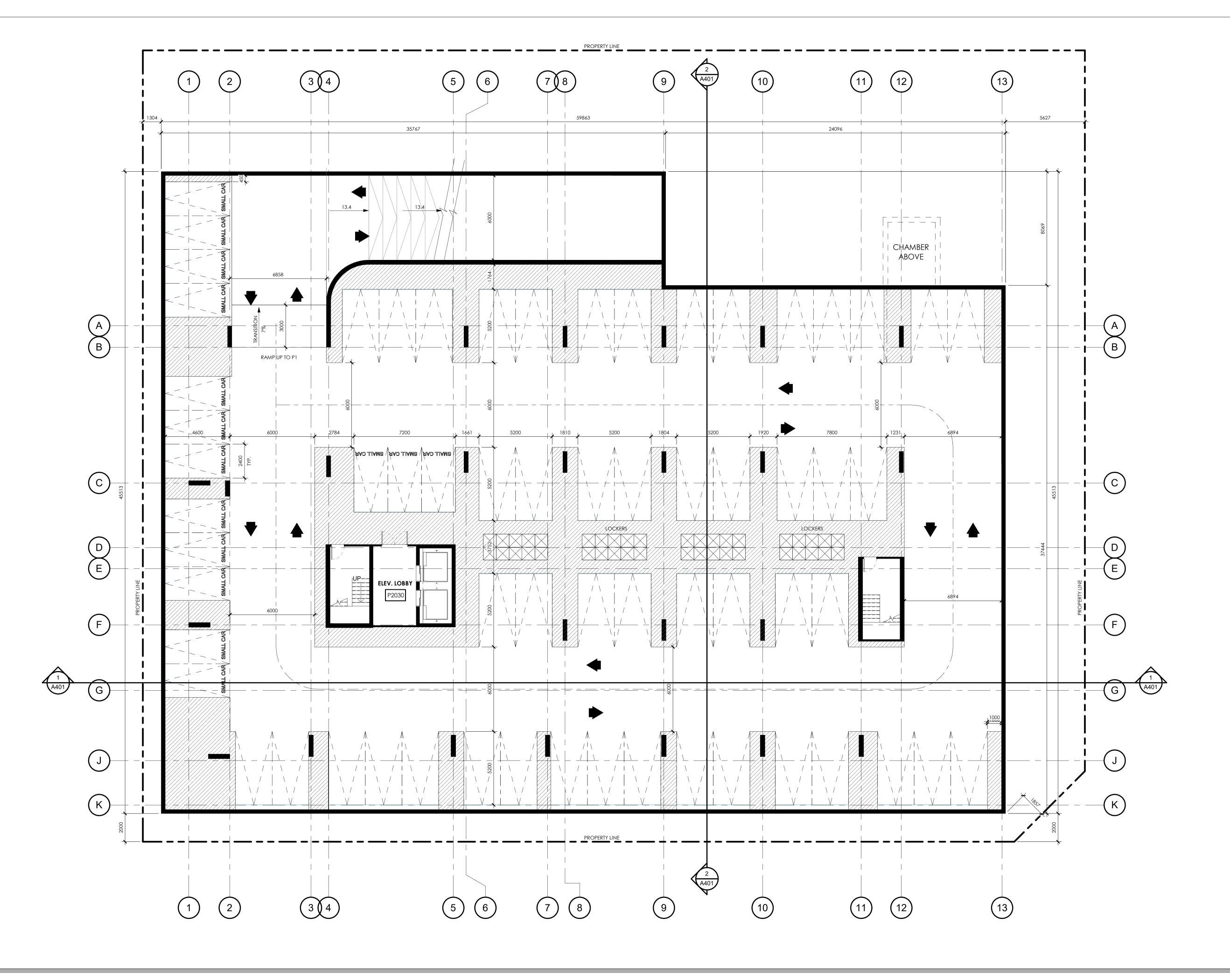
1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

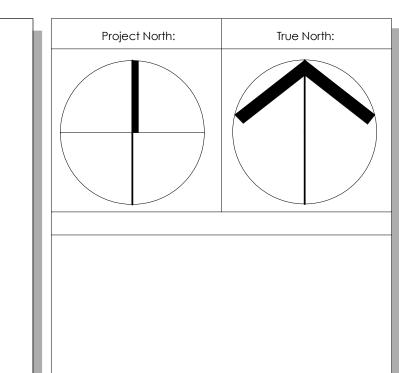
SITE PLAN - BLDG 2 **GRADE LEVEL**

	Design By:	Drawn By:	Approved By:
	EM	SF	EM
	Scale:	Date:	Project No.:
	1:150	22-06-29	22-004
-	Draw dia a Na		

City's Plan Number:

ASP-6





2 ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY 1 ISSUED FOR CLC-Reply 2022/06/30 DESCRIPTION REV. DATE

Drawing Issues/Revisions:

SPA FILE NO. -

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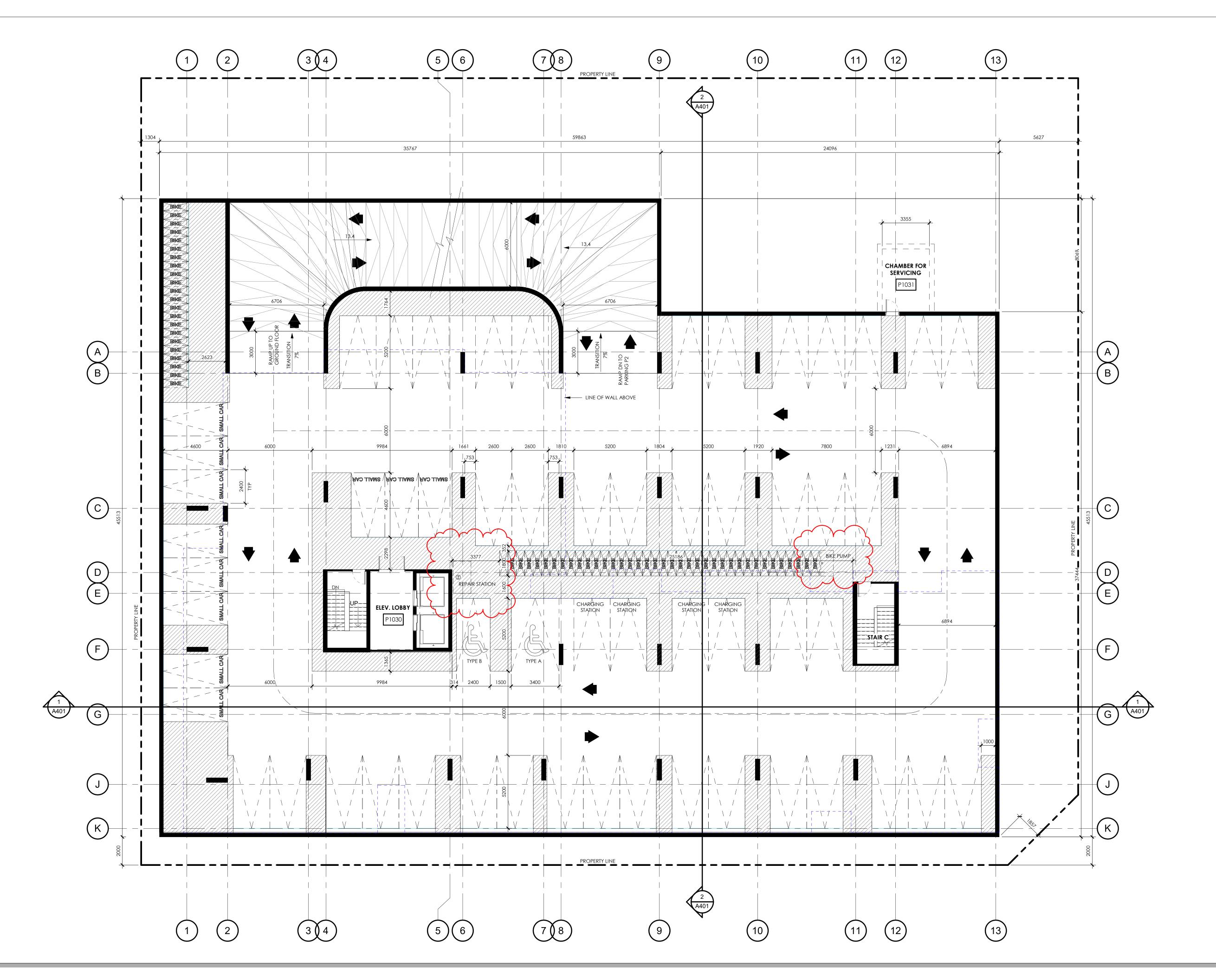
WATERIDGE APARTMENT BUILDING 2

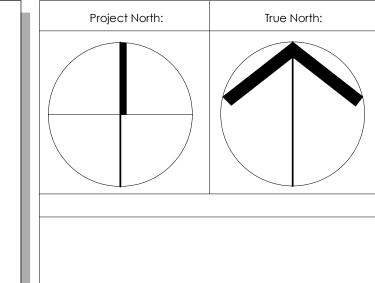
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

PARKING LEVEL P2

	Design By:	Drawn By:	Approved By:
- 1	MAI	TV/BL	EM
	Scale:	Date:	Project No.:
- 1	1:125	Issue Date	22-004
	Drawing No:		

A201





ı	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
	1	ISSUED FOR CLC-Reply	2022/06/30

DESCRIPTION

Drawing Issues/Revisions:

Note

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REV. DATE

Architect's Stamp



Project

WATERIDGE APARTMENT BUILDING 2

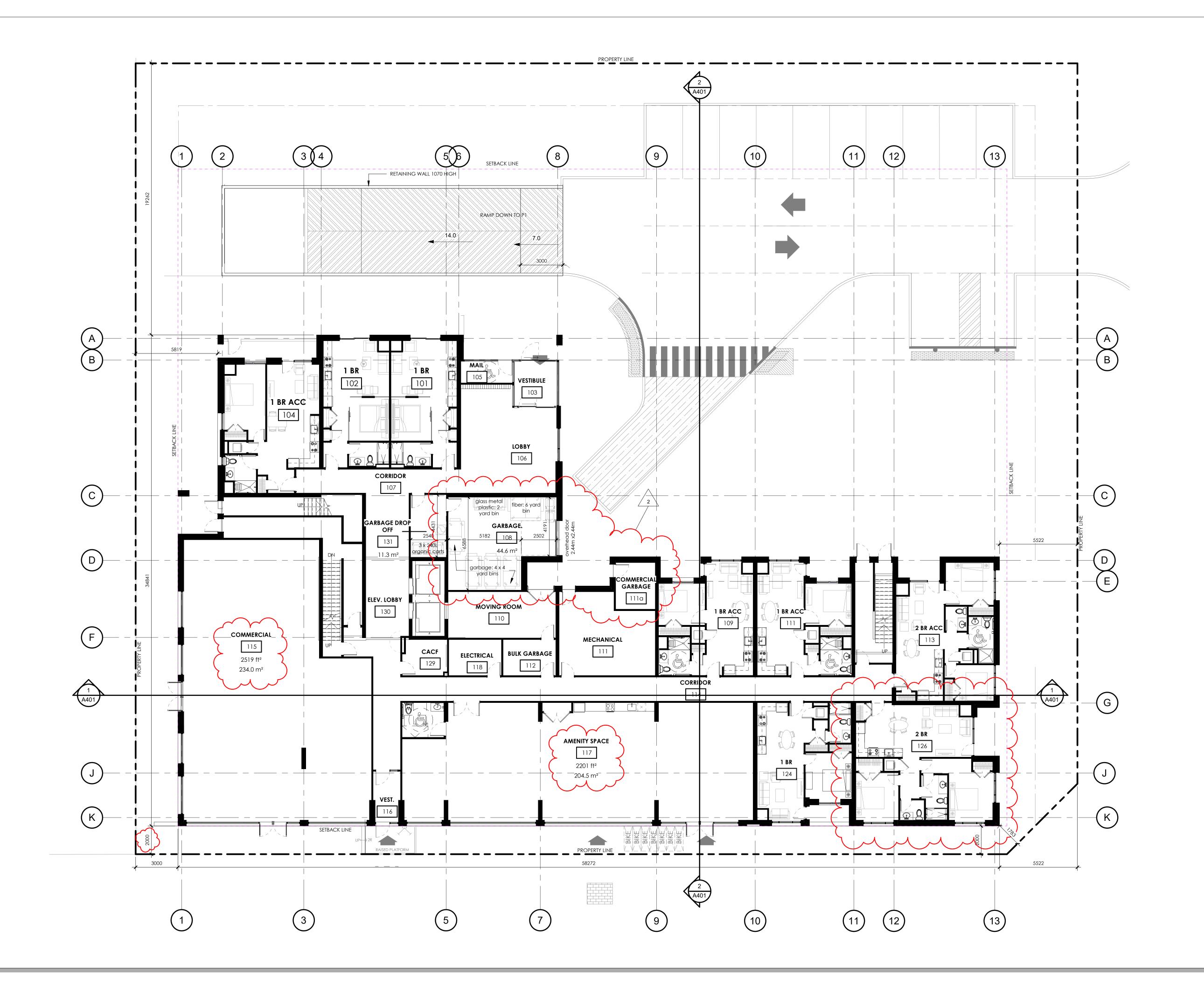
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

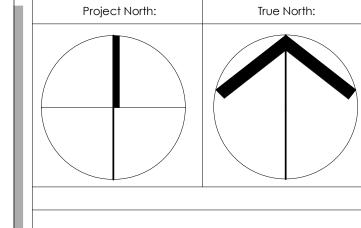
PARKING LEVEL P1

- 1	Design By:	Drawn By:	Approved By:
- 1	MAI	-	EM
	Scale:	Date:	Project No.:
- 1	1:125	Issue Date	22-004
- 1	Drawing No:		

Drawing No

A202





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	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/1
	1	ISSUED FOR CLC-Reply	2022/06/3

DESCRIPTION

Drawing Issues/Revisions:

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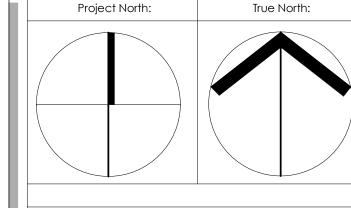
WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

GROUND FLOOR PLAN

D	esign By:	Drawn By:	Approved By:
	MAI	-	EM
So	cale:	Date:	Project No.:
	1:125	Issue Date	22-004
	rawina No:		





	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
	1	ISSUED FOR CLC-Reply	2022/06/30

DESCRIPTION

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

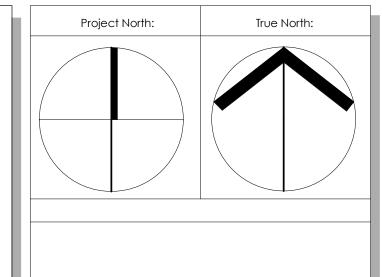
TYPICAL FLOOR (2nd-4th)

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale:	Date:	Project No.:
1:125	Issue Date	22-004

Drawing No:

City's Application Number: D07-12-22-0122





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/1
1	ISSUED FOR CLC-Reply	2022/06/3

DESCRIPTION

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REV. DATE

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WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

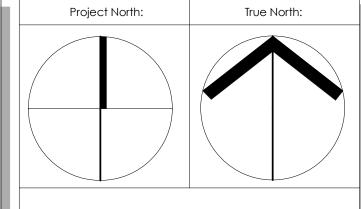
FIFTH FLOOR PLAN (5th)

	Design By:	Drawn By:	Approved By
	MAI	TV	EM
	Scale:	Date:	Project No.:
	1:125	Issue Date	22-004

Drawing No:

City's Application Number: D07-12-22-0122





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

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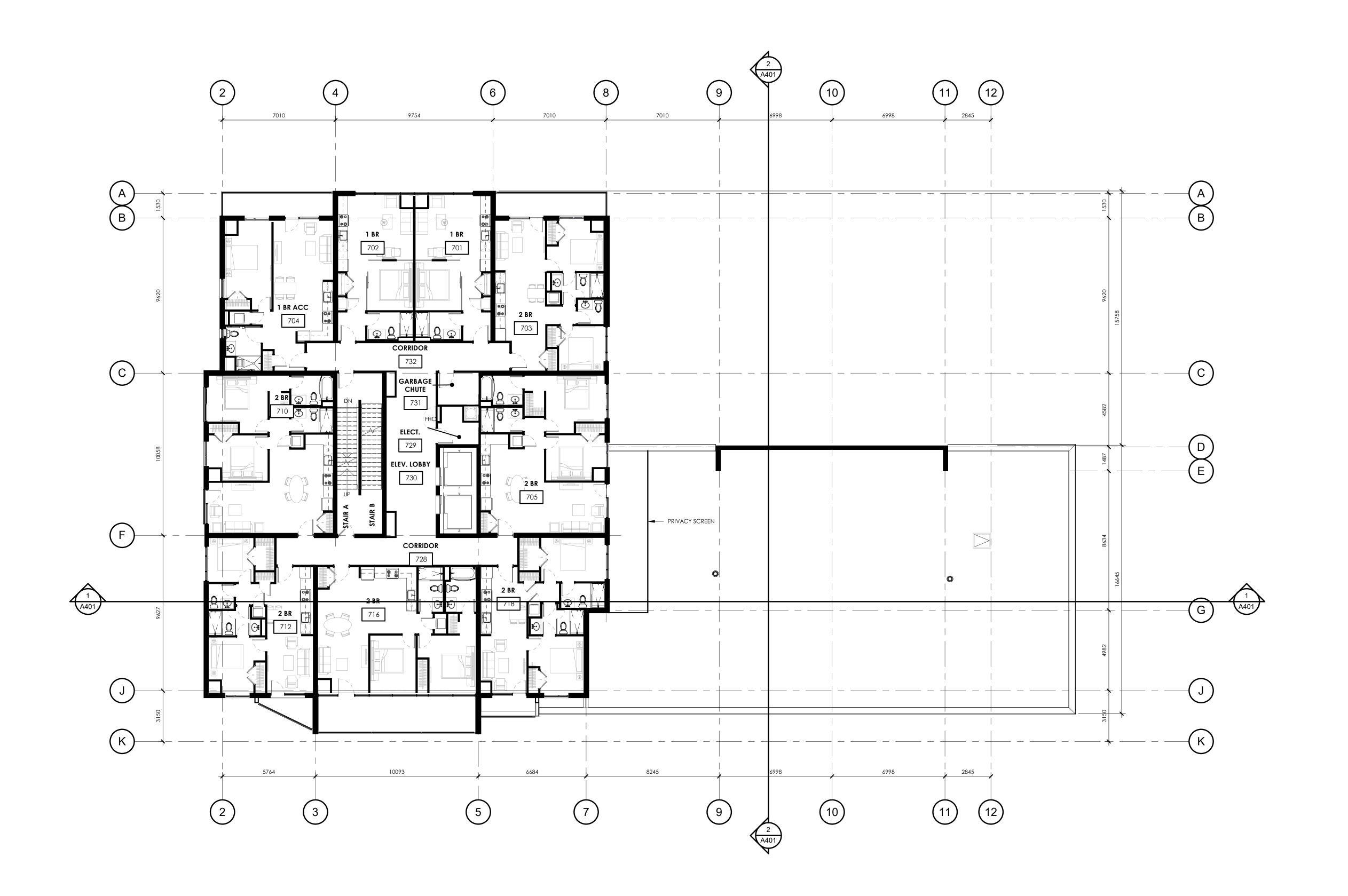
WATERIDGE APARTMENT BUILDING 2

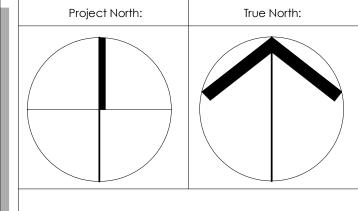
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

SIXTH FLOOR PLAN (6th)

Design By:	Drawn By:	Approved By
MAI	TV	EM
Scale:	Date:	Project No.:
1:125	Issue Date	22-004
Drawing No:		

City's Application Number: D07-12-22-0122





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

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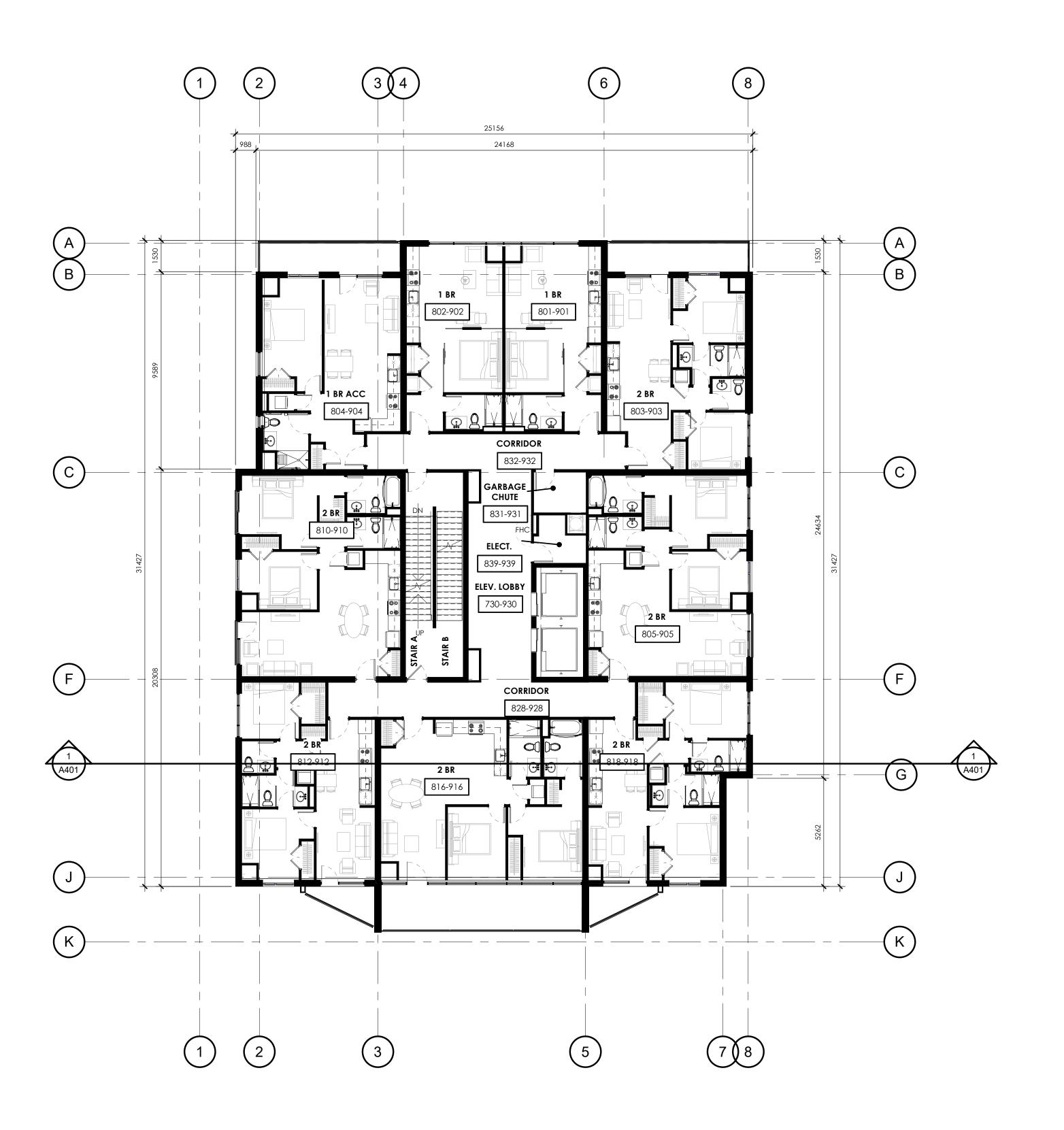
WATERIDGE APARTMENT BUILDING 2

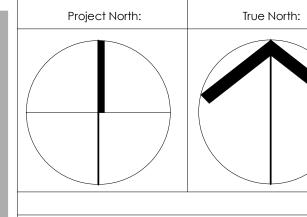
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

SEVENTH FLOOR PLAN (7th)

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale:	Date:	Project No.:
1:125	Issue Date	22-004
Drawing No:		

City's Application Number: D07-12-22-0122





	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/1
	1	ISSUED FOR CLC-Reply	2022/06/3

DESCRIPTION

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REV. DATE

Architect's Stamp



Project

WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

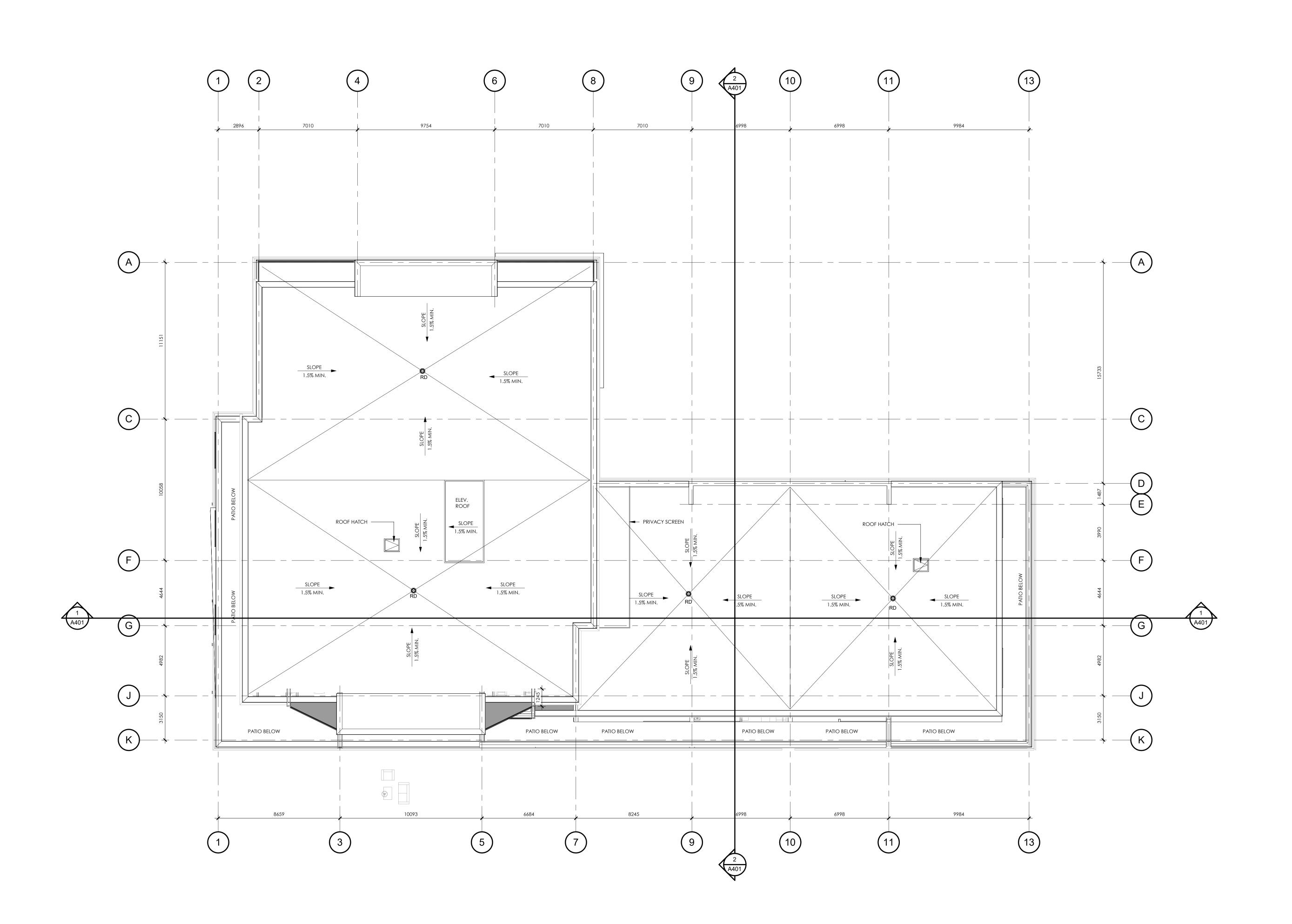
Sheet Title

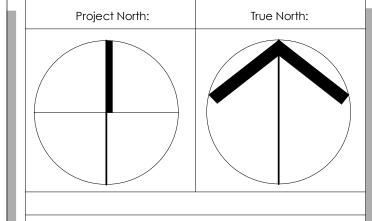
EIGHT & NINE FLOOR PLAN (8th-9th)

Design By:	Drawn By:	Approved By:			
MAI	TV	EM			
Scale:	Date:	Project No.:			
1:125	Issue Date	22-004			

Drawing No:

A208





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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Architect's Stamp



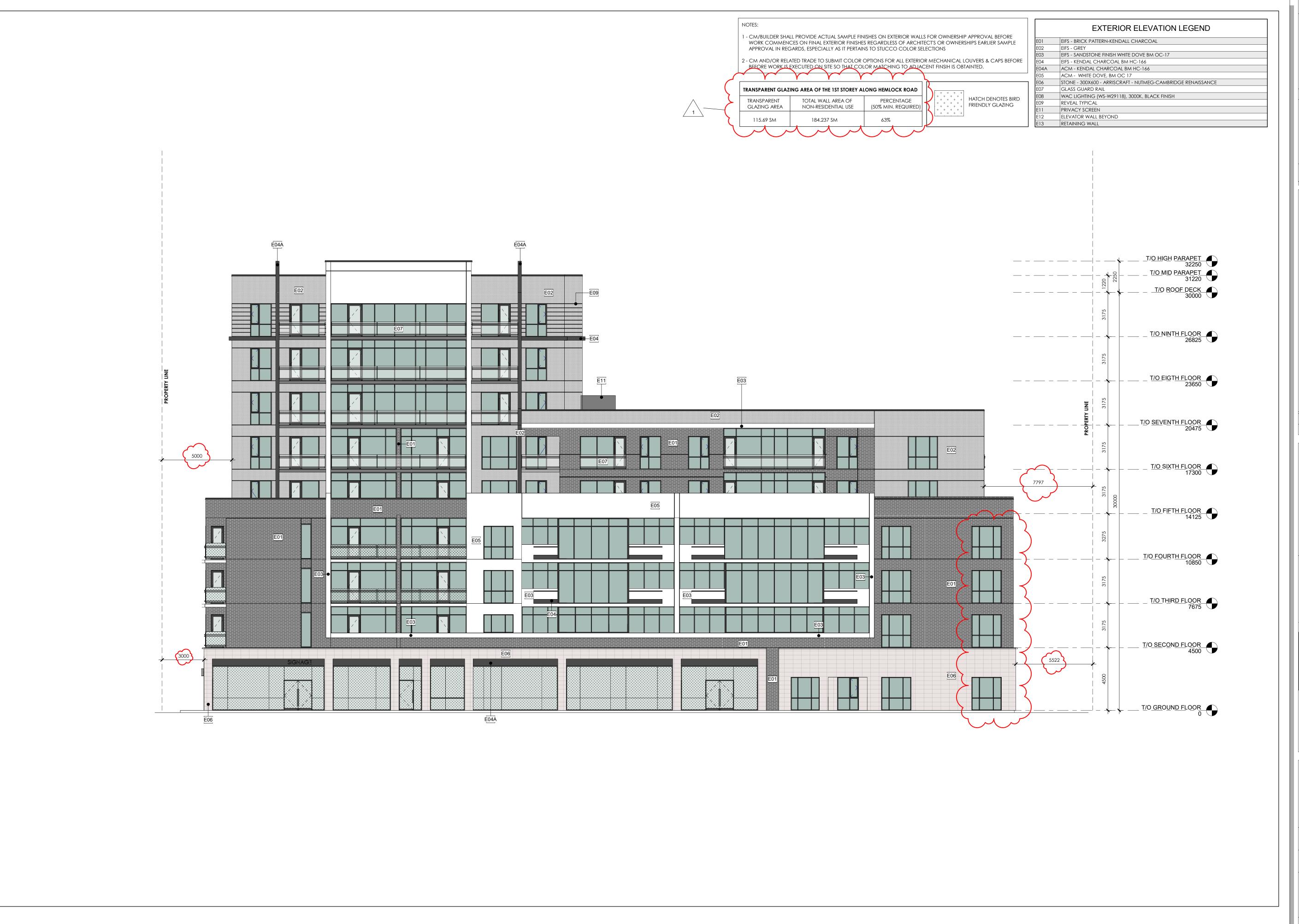
WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title: **ROOF PLAN**

- 1	Design By:	Drawn By:	Approved By:
- 1	MAI	BL/TV	EM
- 1	Scale:	Date:	Project No.:
- 1	1:125	Issue Date	22-004
	Drawing No:		

A209



	Project North:	Tı	rue North:
CD	A FILE NO		
377	A FILE NO		
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1	ISSUED FOR SPA - REVIEW REPLY	151	2023/05/11

Drawing Issues/Revisions:

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REV. DATE

Architect's Stamp



WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

SOUTH (FRONT)

ELEVATION

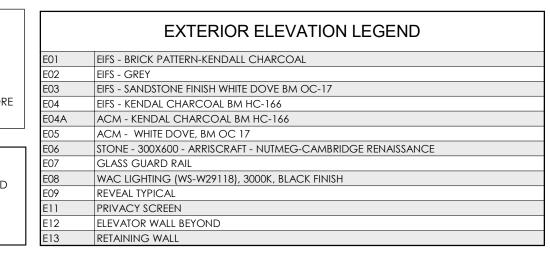
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ı	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
ı	As indicated	Issue Date	22-004
	5		

Drawing No:

A301

City's Application Number: D07-12-22-0122

NOTES: 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED. HATCH DENOTES BIRD FRIENDLY GLAZING





BLD 2 - WEST ELEVATION

A302 1: 125

SPA FILE NO. -ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY

Project North:

True North:

Drawing Issues/Revisions:

DESCRIPTION

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MATAJ

REV. DATE

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IN CORPORATE

WATERIDGE APARTMENT **BUILDING 2**

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

WEST ELEVATION

-		Design By:	Drawn By:	Approved By:
	ı	MAI	BL/TV	EM
	ı	Scale:	Date:	Project No.:
	ı	As indicated	Issue Date	22-004
- 1		Dec Secolos		•

Drawing No:

A302

City's Application Number: D07-12-22-0122

EXTERIOR ELEVATION LEGEND - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE EIFS - BRICK PATTERN-KENDALL CHARCOAL WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE EIFS - GREY APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE EIFS - KENDAL CHARCOAL BM HC-166 BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED. ACM - KENDAL CHARCOAL BM HC-166 ACM - WHITE DOVE, BM OC 17 STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE GLASS GUARD RAIL WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH HATCH DENOTES BIRD REVEAL TYPICAL FRIENDLY GLAZING PRIVACY SCREEN **ELEVATOR WALL BEYOND**



1 BLD 2 - NORTH ELEVATION (REAR) 1: 125

SPA FILE NO. -ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY DESCRIPTION REV. DATE

Project North:

True North:

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

NORTH ELEVATION

	Design By:	Drawn By:	Approved By:
	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
	As indicated	Issue Date	22-004
	- · · ·		

Drawing No:

A303

City's Application Number: D07-12-22-0122

City's Plan Number:

EXTERIOR ELEVATION LEGEND 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE EIFS - BRICK PATTERN-KENDALL CHARCOAL WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE EIFS - GREY APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE EIFS - KENDAL CHARCOAL BM HC-166 BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED. ACM - KENDAL CHARCOAL BM HC-166 ACM - WHITE DOVE, BM OC 17 STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE GLASS GUARD RAIL WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH HATCH DENOTES BIRD REVEAL TYPICAL FRIENDLY GLAZING PRIVACY SCREEN ELEVATOR WALL BEYOND



BLD 2 - EAST ELEVATION
A304 1:125

Project North: True North:

SPA FILE NO. -

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ı	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
	1	ISSUED FOR CLC-Reply	2022/06/30
	REV	DESCRIPTION	REV. DATE

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WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title: **EAST ELEVATION**

Design By:	Drawn By:	Approved By:
MAI	BL/TV	EM
Scale:	Date:	Project No.:
As indicated	Issue Date	22-004

Drawing No:

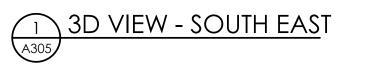
City's Application Number: D07-12-22-0122

City's Plan Number:





2 3D VIEW - SOUTH WEST



SPA FILE NO. -

True North:

Project North:

2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

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WATERIDGE APARTMENT **BUILDING 2**

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

3D VIEWS

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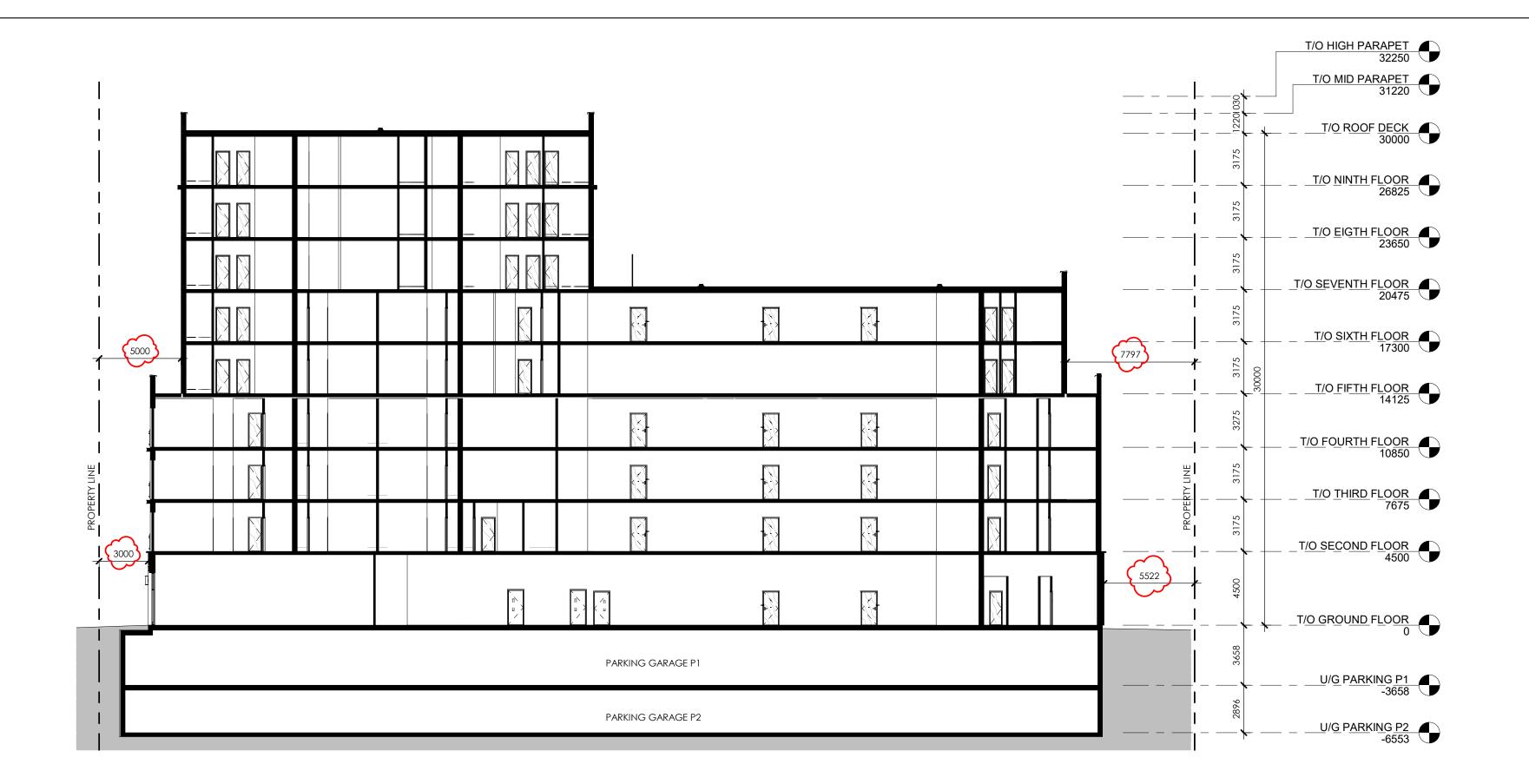
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ı		Issue Date	22-004
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Drawing No:

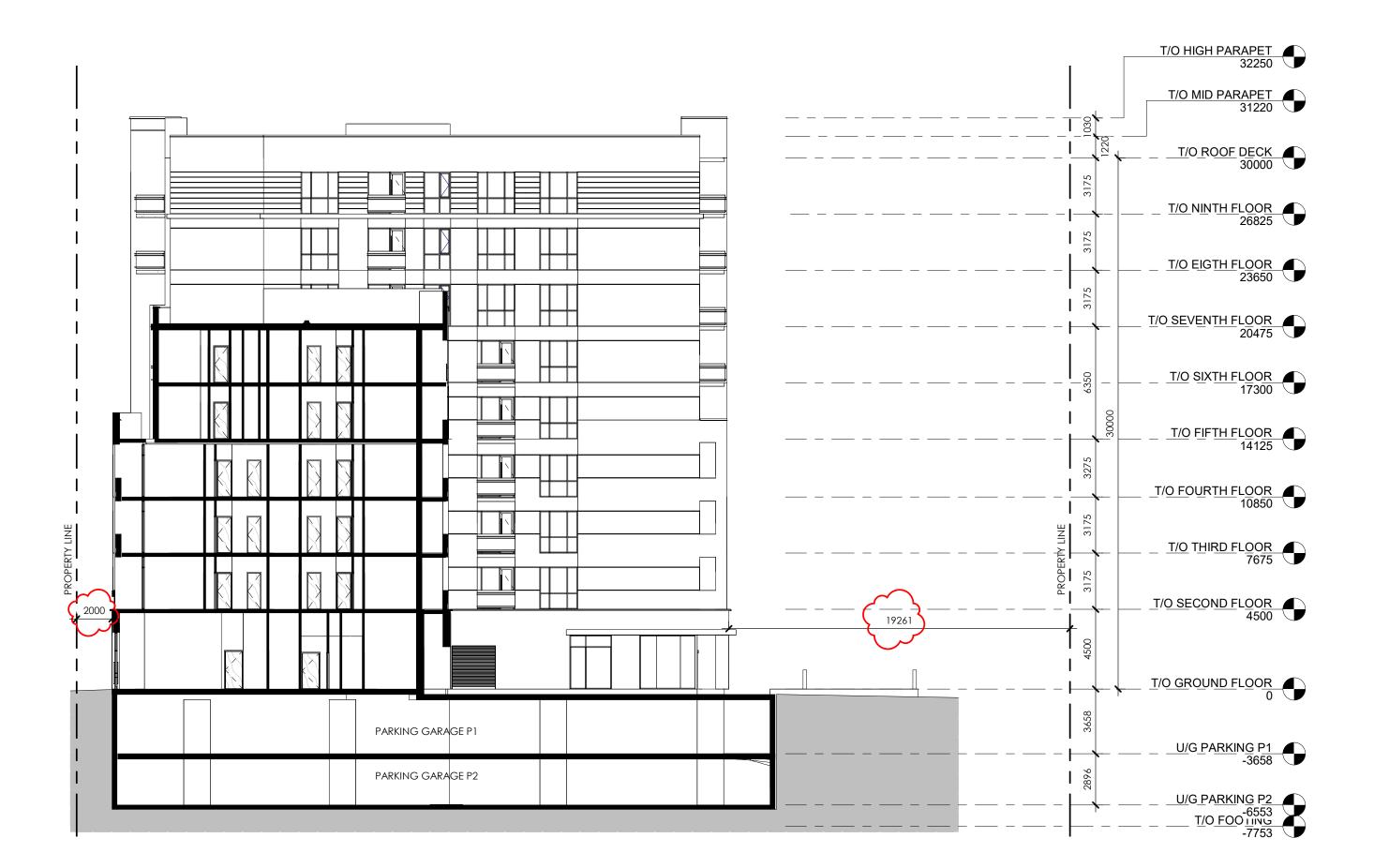
A305

City's Application Number: D07-12-22-0122

City's Plan Number:



1 BUILDING 2 SITE SECTION I



BUILDING 2 SITE SECTION II

A401 1:200

Project North: True North: SPA FILE NO. -ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY DESCRIPTION REV. DATE

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WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

BUILDING 2 - SITE

SECTIONS

	Design By:	Drawn By:	Approved By:
	MAI	_	EM
	Scale:	Date:	Project No.:
	1:200	Issue Date	22-004
	Dec. Sec. Mar.		

Drawing No:

LIST OF DRAWINGS

A000	COVER SHEET	
71000	COVER SITEET	
ARCHITEC	CTURAL	
ASP-1	SITE PLAN	
ASP-2	SITE DETAILS	
A003	SITE STATISTICS	
A003A	GFA FLOOR PLANS 01	
A003B	GFA FLOOR PLANS 02	
A201	PARKING LEVEL P1	
A203	GROUND FLOOR PLAN	
A204	TYPICAL FLOOR (2nd-4th)	
A205	FIFTH FLOOR PLAN (5th)	
A206	SIXTH FLOOR PLAN (6th)	
A207	ROOF LEVEL PLAN	
A208	ROOF PLAN	
A301	WEST ELEVATION (FRONT)	
A302	EAST ELEVATION	
A303	SOUTH ELEVATION	
A304	NORTH ELEVATION	
A305	3D VIEWS	
A401	BUILDING SECTION I	

WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

ISSUED FOR SPA - 1ST REVIEW REPLY

CLIENT:

BAYVIEW GROUP

108 CHESTNUT ST TORONTO, ON M5G 1R3 T: 416-597-6368



ARCHITECT:

MATAJ ARCHITECTS INC.

206-418 IROQUOIS SHORE RD OAKVILLE, ON L6H 0X7 T: 905.281.4444



CIVIL:

WSP

1600 BOULEVARD RENE LEVESQUE WEST 11th FLOOR MONTREAL, QUEBEC H3H 1P9 T: 1.514.340.0046



LANDSCAPE:

WSP

1600 BOULEVARD RENE LEVESQUE WEST 11th FLOOR MONTREAL, QUEBEC H3H 1P9 T: 1.514.340.0046



ELECTRICAL

DESIGN WORKS ENGINEERING

826 KING ST. N., UNIT 15 WATERLOO, ON N2J 4G8 T: 1.780.814.5533



URBAN PLANNER

DEMARCO CONSTRUCTION

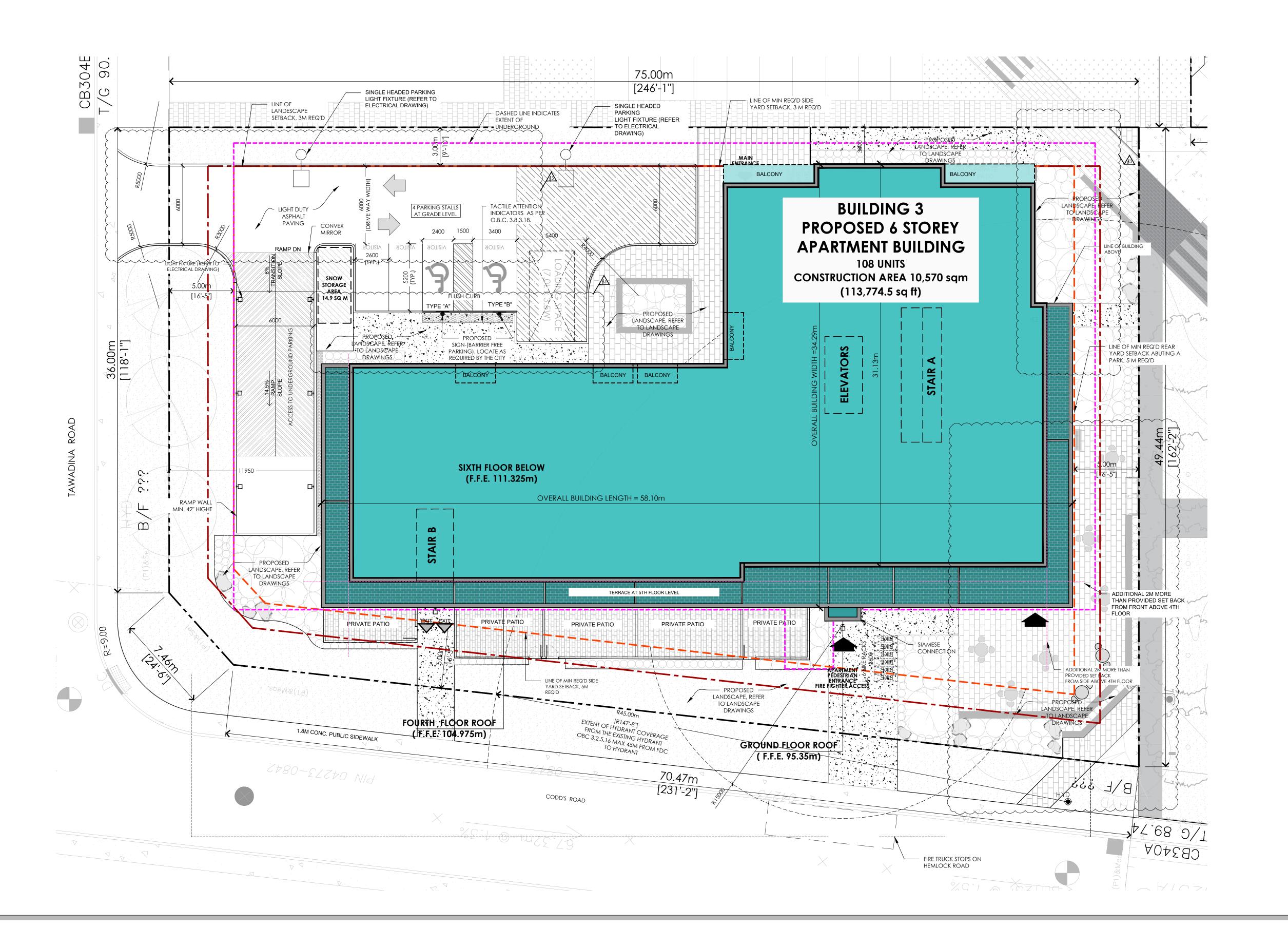
195 MENTEN PLACE, UNIT 103 OTTAWA, ON K2H 9C1 T: 1.613.829.2777

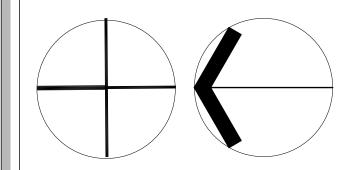






		SITE PLA	NN LEGEND				CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
PROPERTY LINE	^ ±	FIRE DEPARTMENT CONNECTION	å	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WITH	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROU AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN
- — — — — BUILDING SETBACK LINE	✓-					PARKING COUNT	THE SURVEY FOR THIS PROPERTY.	ONTARIO LAND SURVERYORS	CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION	BY-LAWS AND DESIGN CRITERIA
BUILDING SEIBACK LINE	4⋈	HOSE BIB (REFER TO MECHANICAL DWGS)	+	RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE -REFER TO ELECTRICAL DWGS		I ARRING COUNT	MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY,	ANNIS, O'SULLIVAN, VOLLEBEKK LTD 14 CONCOURSE GATE, SUITE 500	OF THE TOWN	ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWA
LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	///:///	, NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT	NEPEAN, ONTARIO K2E 7S6 (613) 727-0850	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
CURB DEPRESSION		FAD MOUNTED HTDRO TRANSPORMER W/ STEEL BOLLARDS	1//////	LIGHT DUTY ASPHALT PAVING)	104.04×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF EMAIL: Nepean@aovltd.	EMAIL: Nepean@aovitd.com	MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS THE 7	ALL DOWNSPOUTS TO BE CONNECTED TO THE STORE
ENTRY/ EXIT ACCESS POINTS	D-0-D	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LEGAL LAND DESCRIPTION:		RESPONSIBILITY OF THE DEVELOPER/ OWNER	DRAINAGE SYSTEM
EXISTING TOWN HYDRANT		(REFER TO LANDSCAPE DWGS)		SHOW STOKE OF THE POTTINE TO THE TREE COST IN THE CONTINUES TO	BLOCKS 11, 12 and		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING	8 ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR		
	□⊷	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS			SNOW REMOVAL COMPANY)	REGISTERED PLAN 4M -1651 CITY OF OTTAWA		CONSTRUCTION.	SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAC	
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS				LANDSCAPED AREA					4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS	ON THE PROPERY
-REFER TO CIVIL DWGS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET	presentation of the	31					OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION
	_ E	-REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION							





Kev Plan

3 23/05/11 Issued for SPA- 1ST REVIEW REPLY EM
2 22/06/30 Issued for CLC- Reply EM
1 22/05/20 Issued for CLC EM
No. Date: Issue/Revision By:
Drawing Issues/Revisions:

Note

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Architect's Stamp



WATERIDGE
APARTMENT BUILDING
375 Codd's Road - WATERIDGE
VILLAGE, OTTAWA, ON

Sheet Tit

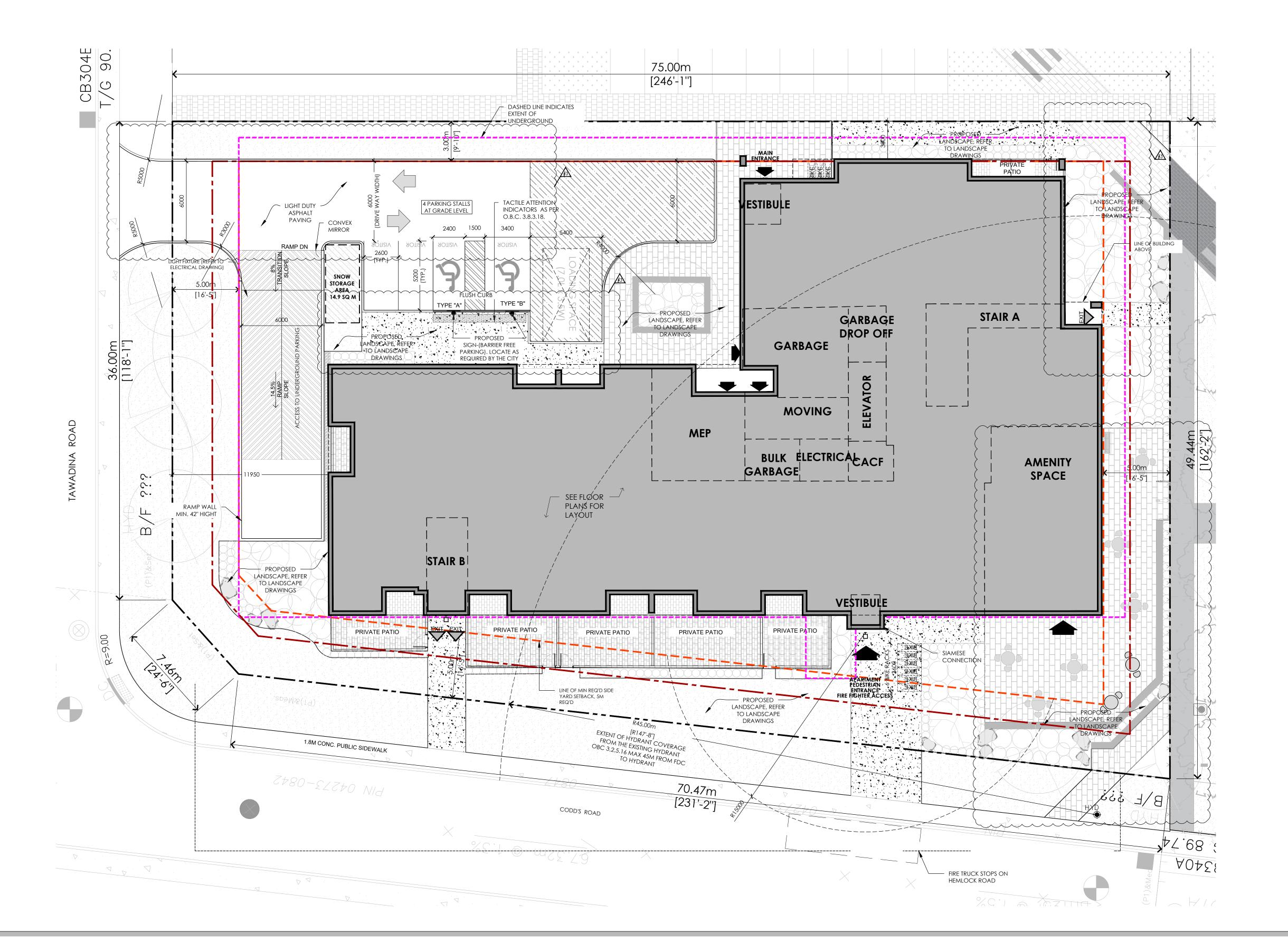
SITE PLAN - BLDG 3 ROOF LEVEL

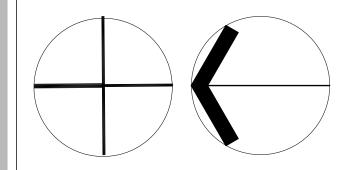
Design By: EM	Drawn By: SF	Approved By: EM		
Scale: 1:150	Date: 22-06-29	Project No.: 22-004		
	EM Scale:	Scale: Date:		

Drawing No:

ASP-7

			SITE PLA	N LEGEND				CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
	PROPERTY LINE	^ ₽	FIRE DEPARTMENT CONNECTION	ů	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WITH	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	5 THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN
	- BUILDING SETBACK LINE	-	LIGHT NO APPER TO LIFERIAN DIVIDES	_	RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE	×	PARKING COUNT	THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO	ONTARIO LAND SURVERYORS ANNIS, O'SULLIVAN, VOLLEBEKK LTD I'L CONCOURSE GATE. SURF 500 OF THE TOWN	BY-LAWS AND DESIGN CRITERIA	
		••	HOSE BIB (REFER TO MECHANICAL DWGS)	#	-REFER TO ELECTRICAL DWGS			RESPONSIBILITY FOR THE ACCURACY,			6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD
LANDSCAPE BUFFER			PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	11/:///	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	SUPPLIED AND SUCH DATA IS NOT	(010) 727-0000	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
CD	CURB DEPRESSION		THE MOUNTED THE ROTH VIOLENCE WAS STEEL BOLD WES	1//////	LIGHT DUTY ASPHALT PAVING)	×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.		RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK	
						104.04	THE GOLD CHARM (HELEK TO GIVE BITCO)		-	OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS THE	7 ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM
	ENTRY/ EXIT ACCESS POINTS	\Box	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LEGAL LAND DESCRIPTION:		RESPONSIBILITY OF THE DEVELOPER/ OWNER	
g	EXISTING TOWN HYDRANT			(REFER TO LANDS	REFER TO LANDSCAPE DWGS)		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	BLOCKS 11, 12 and REGISTERED PLAN 4M -1651		THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING	8 ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR
			SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS	The District			SNOW REMOVAL COMPANT)	CITY OF OTTAWA		CONSTRUCTION.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE
10t	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS	-REFER TO EEECTRIOTE BYTOS			LANDSCAPED AREA					ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS	ON THE PROPERY
	-REFER TO CIVIL DWGS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL	the extract of						OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM
		ا ت	-REFER TO ELECTRICAL DWGS	Print to the first					L_		CONSTRUCTION
			-REPER TO ELECTRICAL DWGS		POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION						





Key Plan

3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM
No.	Date:	Issue/Revision	Ву:
Draw	ving Issues/Rev	visions:	

Note

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

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WATERIDGE
APARTMENT BUILDING
375 Codd's Road - WATERIDGE

Sheet Tit

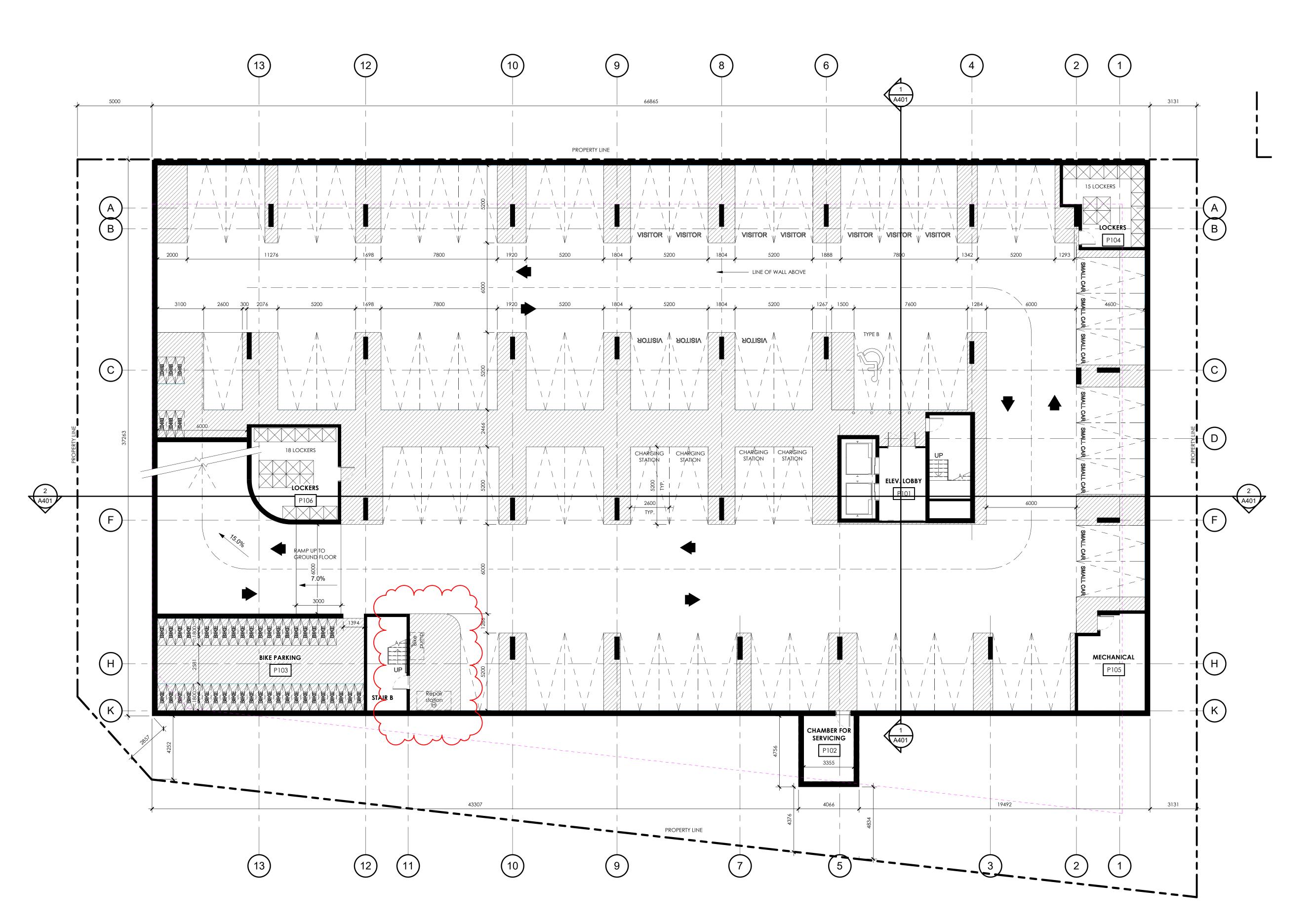
SITE PLAN - BLDG 3 GRADE LEVEL

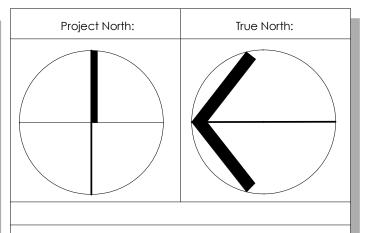
VILLAGE, OTTAWA, ON

- 1				
		Design By:	Drawn By:	Approved By:
ı		EM	SF	EM
	Scale:	Date:	Project No.:	
		1:150	22-06-29	22-004
			22 00 27	

Drawing No:

ASP-8





2 ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY

DESCRIPTION

Drawing Issues/Revisions:

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ISSUED FOR CLC - Reply 2022/06/30

REV. DATE

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WATERIDGE APARTMENT **BUILDING 3**

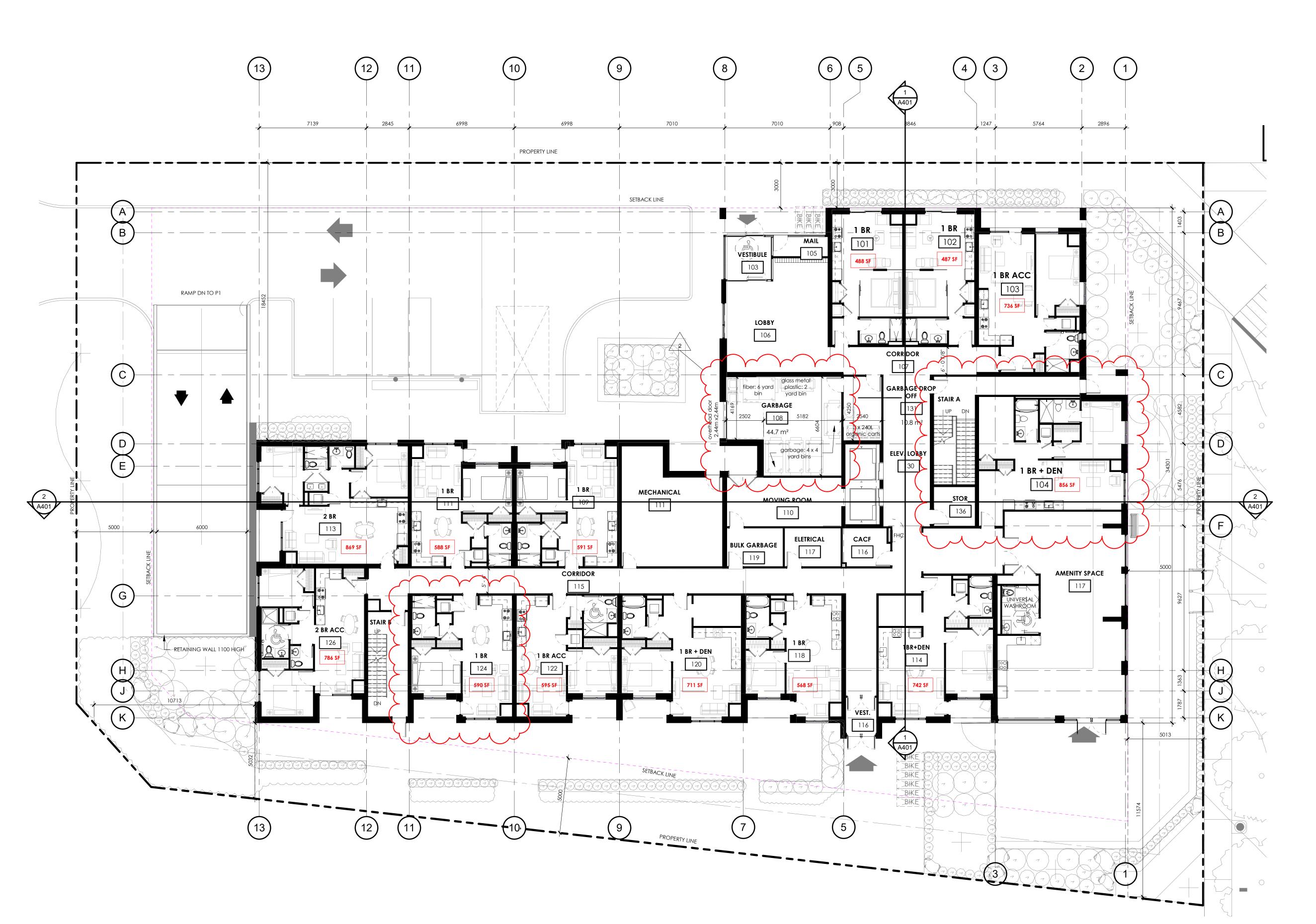
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

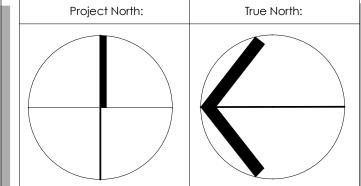
Sheet Title:

PARKING LEVEL P1

Design By:	Drawn By:	Approved By:
MAI	BL/TV	EM
Scale:	Date:	Project No.:
1:125	Issue Date	22-004
Drawing No:		

A201





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

No

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Proje

WATERIDGE APARTMENT BUILDING 3

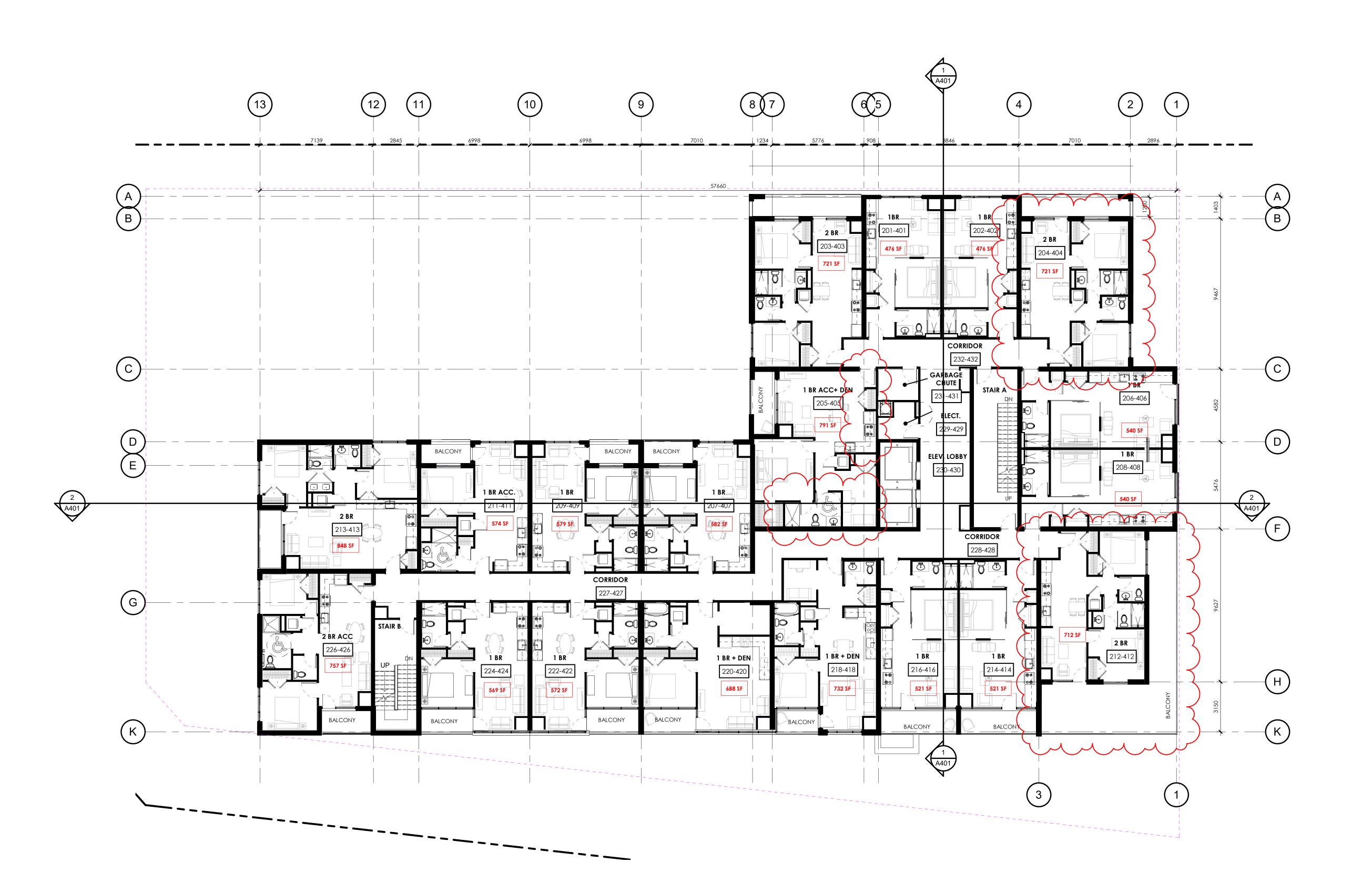
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

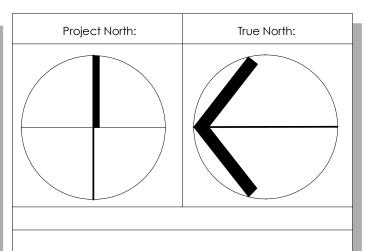
Sheet Title: GROUND FLOOR PLAN

	Design By:	Drawn By:	Approved By
	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
	1:125	Issue Date	22-004
			•

Drawing No:

A203





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

N

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N C 0 R P 0 R A T E

206-418 Iroquois Shore
0 akville Onta
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1.90 5.28 1.44

Project

WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:

TYPICAL FLOOR
(2nd-4th)

Design By: Drawn By: Appro

Design By: Drawn By: Approved By:

MAI BL/TV EM

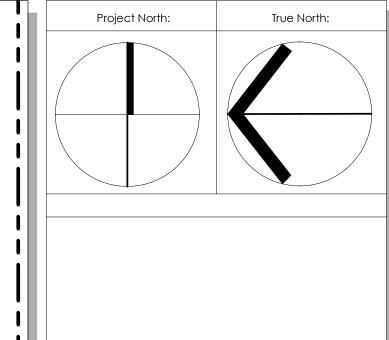
Scale: Date: Project No.:

1:125 Issue Date 22-004

Drawing No:

A204





2	ISSUED FOR SPA - 1ST	2023/05/11
	REVIEW REPLY	
1	ISSUED FOR CLC - Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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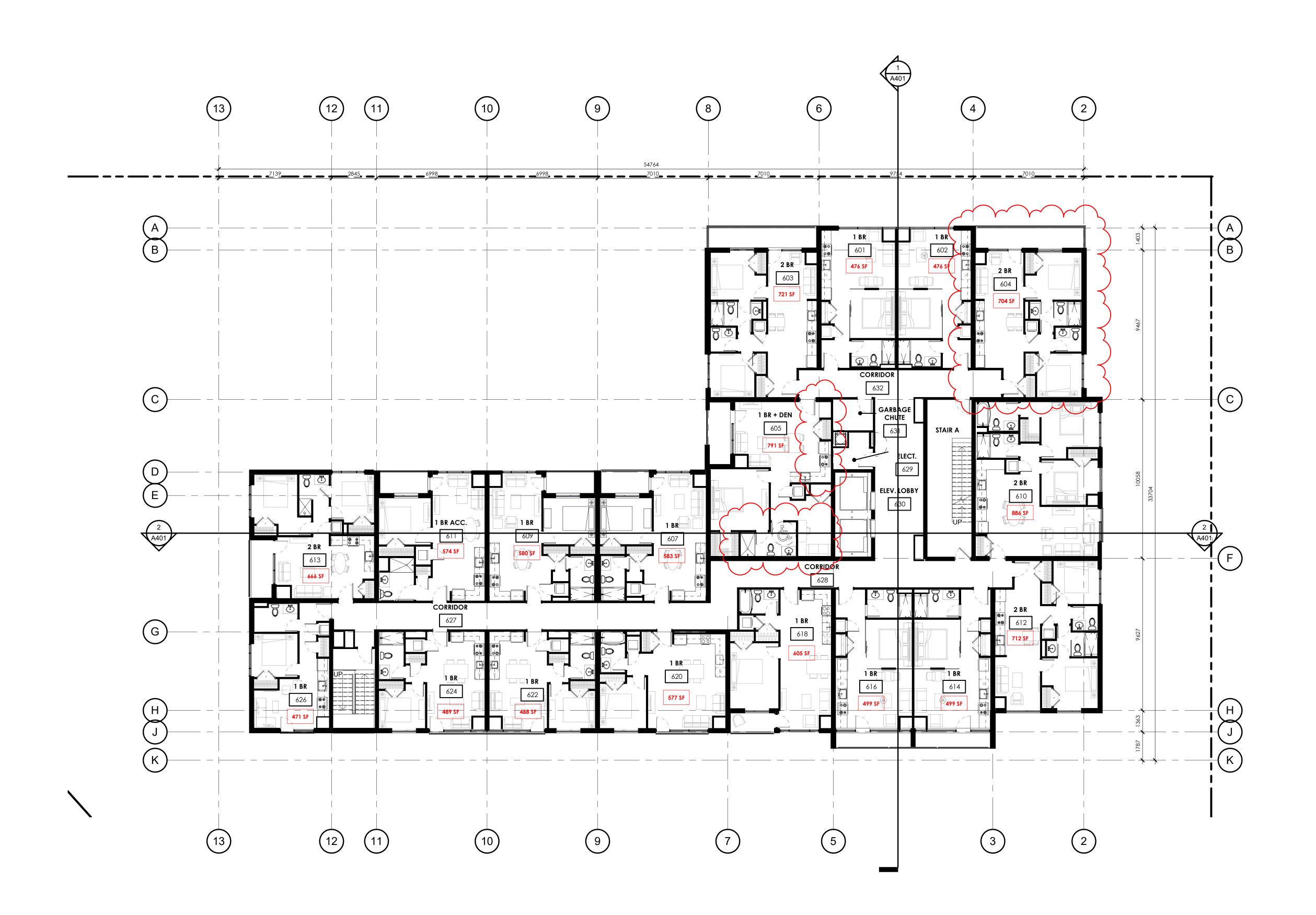
WATERIDGE APARTMENT BUILDING 3

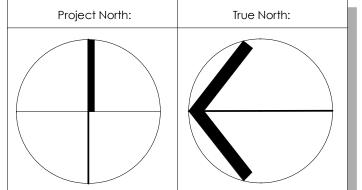
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

FIFTH FLOOR PLAN (5th)

	Design By:	Drawn By:	Approved By:
- 1	MAI	BL/TV	EM
- 1	Scale:	Date:	Project No.:
- 1	1:125	Issue Date	22-004
	Drawing No:		

A205





2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30
EV.	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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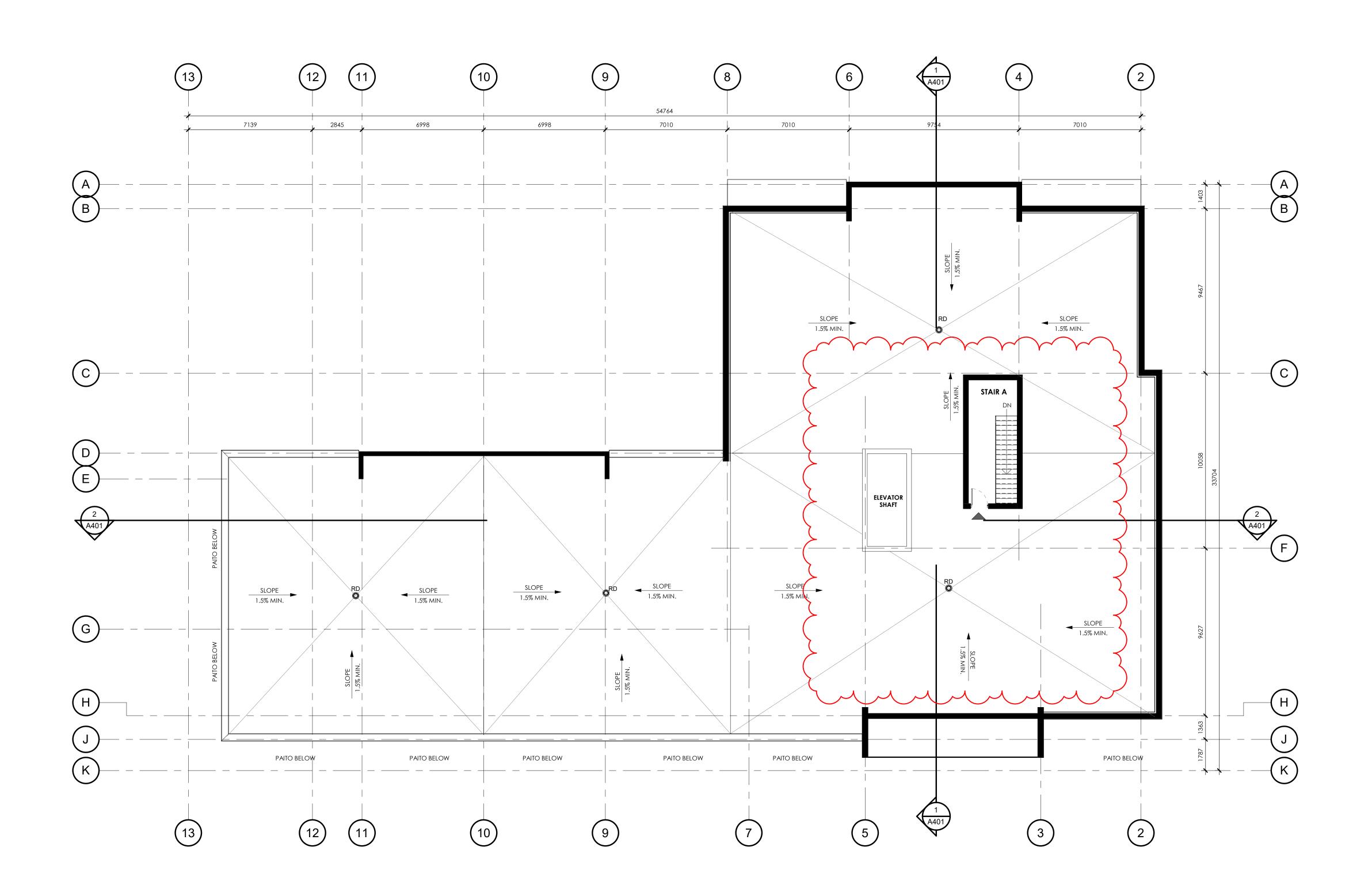


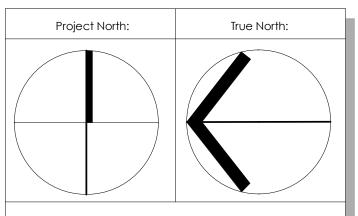
WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OΠAWA, ON

SIXTH FLOOR PLAN (6th)

- 1	Design By:	Drawn By:	Approved By:
- 1	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
- 1	1:125	Issue Date	22-004
	Drawing No:		





2	ISSUED FOR SPA - 1ST	2023/05/11
	REVIEW REPLY	
1	ISSUED FOR CLC - Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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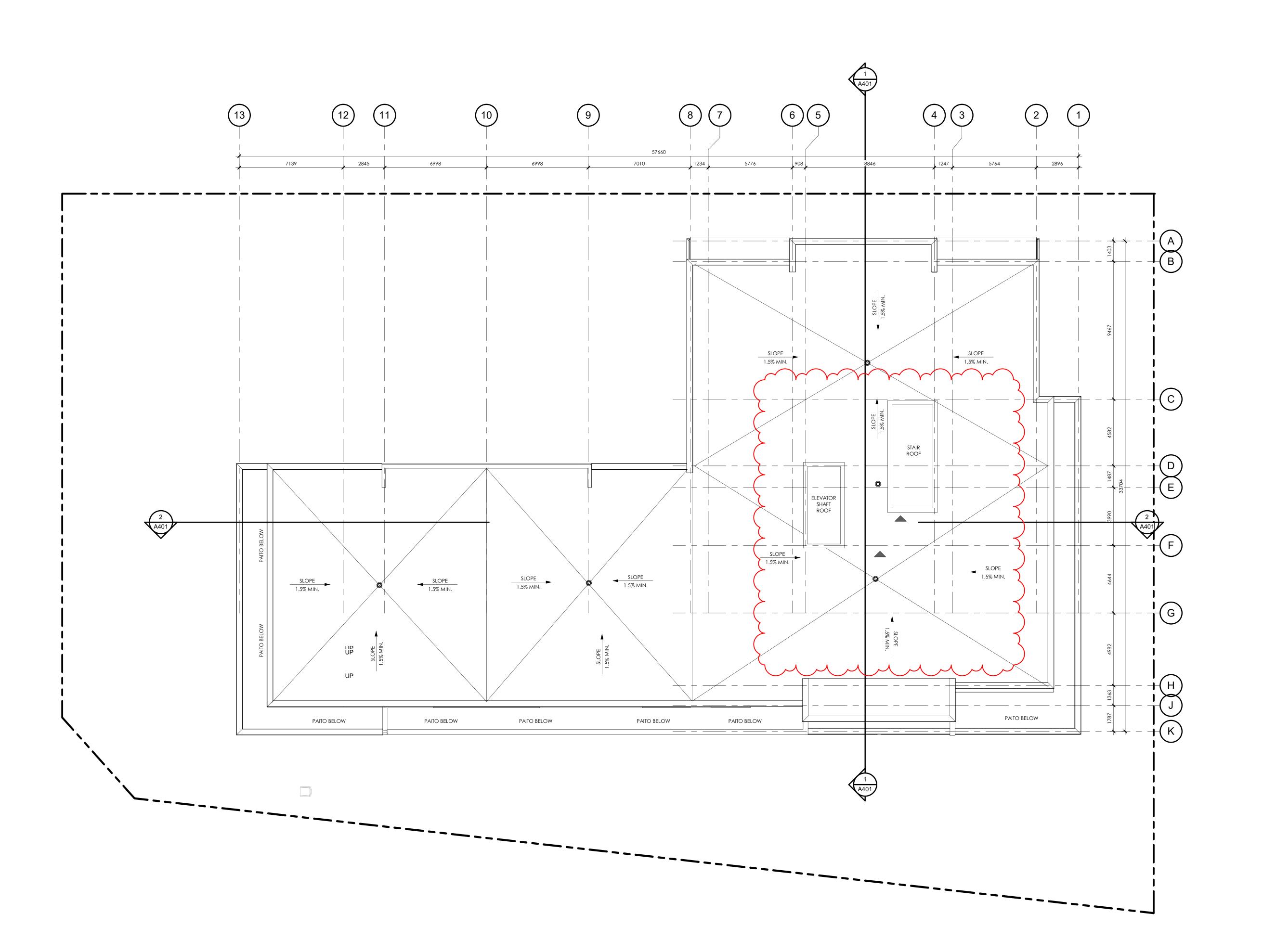
WATERIDGE APARTMENT BUILDING 3

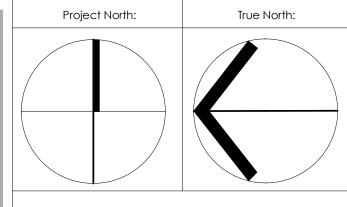
375 CODD'S RD, WATERDIGE VILLAGE, OΠAWA, ON

Sheet Title:

ROOF LEVEL PLAN

	Design By:	Drawn By:	Approved By:
	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
	1:125	Issue Date	22-004
	Drawing No:		





	1	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11

DESCRIPTION

Drawing Issues/Revisions:

No

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REV. DATE

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Project

WATERIDGE APARTMENT BUILDING 3

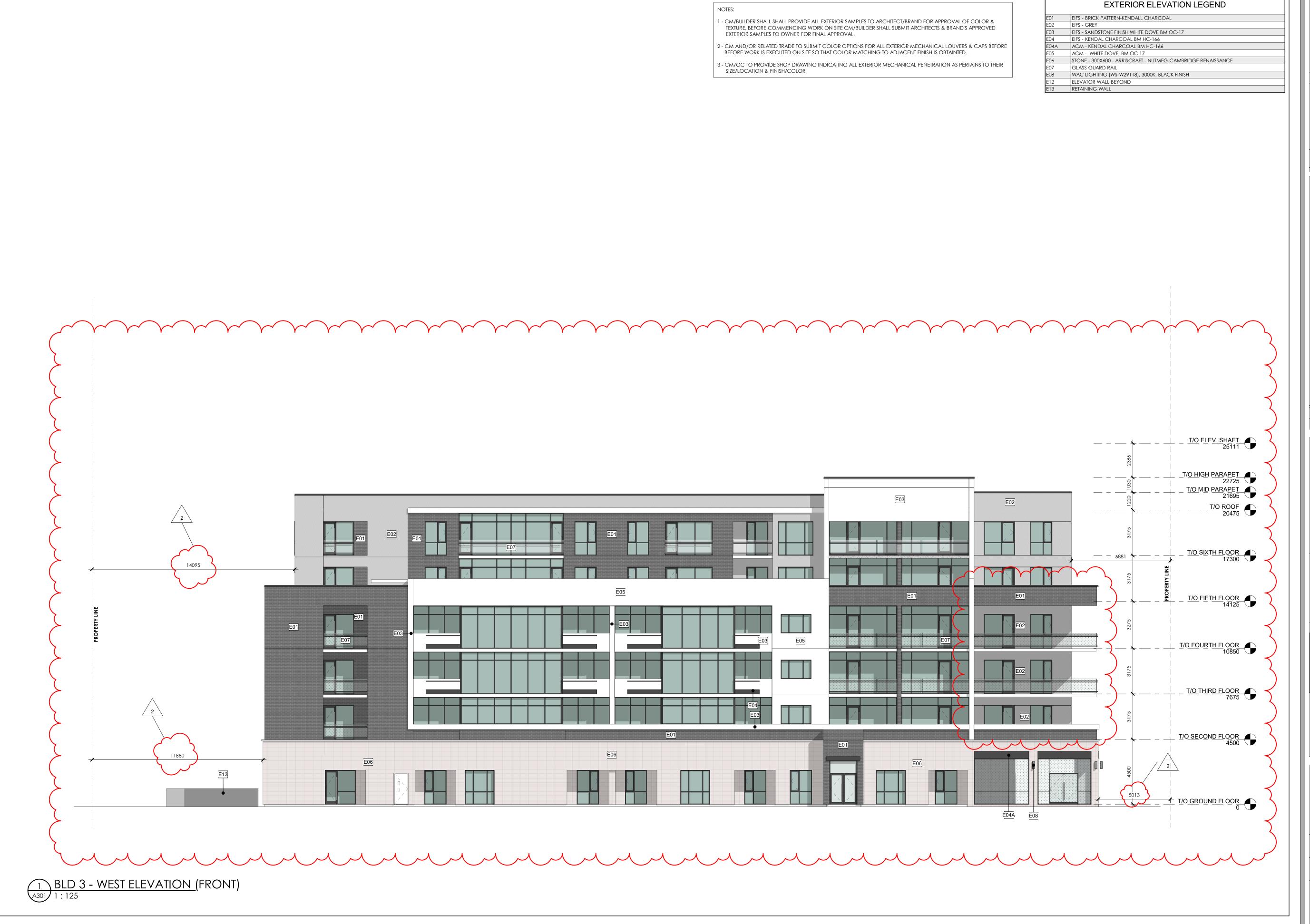
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
ROOF PLAN

Design By:	Drawn By:	Approved By:
Designer	Author	Approver
Scale:	Date:	Project No.:

Drawing No:

Issue Date 22-004



D Project North: True North:

SPA FILE NO. -

н			
	2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
	1	ISSUED FOR CLC - Reply	2022/06/30
	REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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Project:

WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

WEST ELEVATION (FRONT)

Design By:	Drawn By:	Approved By:
MAI	BL/TV	EM
Scale:	Date:	Project No.:
1:125	Issue Date	22-004

Drawing No:

A301

- CM/BUILDER SHALL SHALL PROVIDE ALL EXTERIOR SAMPLES TO ARCHITECT/BRAND FOR APPROVAL OF COLOR & TEXTURE, BEFORE COMMENCING WORK ON SITE CM/BUILDER SHALL SUBMIT ARCHITECTS & BRAND'S APPROVED EXTERIOR SAMPLES TO OWNER FOR FINAL APPROVAL.

E03

E02

E01

E06

E02

2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINTED.

B - CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR

	EXTERIOR ELEVATION LEGEND
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

T/O HIGH PARAPET 22725

T/O MID PARAPET 21695

T/O SIXTH FLOOR 17300

T/O FIFTH FLOOR 14125

T/O FOURTH FLOOR
10850

_ <u>T/O</u> T<u>HIRD FLOOR</u> 7675

T/O SECOND FLOOR 4500

T/O GROUND FLOOR

14095

Project North: True North:

SPA FILE NO. -

2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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1/-MATAJ ARCHITECTS INC

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206-418 Iroquois Shore Rd O a kville O ntario L 6 H 0X7 T.9 0 5. 2 8 1.4 4 4 4

WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OΠAWA, ON

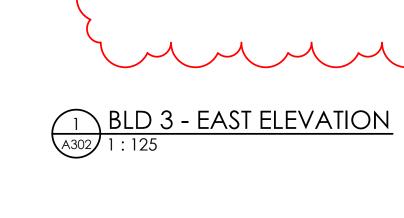
EAST ELEVATION

Drawn By:	Approved By	
BL/TV	EM	
Date:	Project No.:	
Issue Date	22-004	
	BL/TV Date:	

Drawing No:

A302

City's Application Number: D07-12-22-0122 City's Plan Number:



5000

6881

E01



Project North: True North:

SPA FILE NO. -

2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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MATAJ ARCHITECTS INC

Architect's Stamp



WATERIDGE APARTMENT **BUILDING 3**

375 CODD'S RD, WATERDIGE VILLAGE, OΠAWA, ON

SOUTH ELEVATION

	Design By:	Drawn By:	Approved By:
ı	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
ı	1:125	Issue Date	22-004

Drawing No:

A303

NC

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.

HATCH DENOTES BIRD FRIENDLY GLAZING

EXTERIOR ELEVATION LEGEND

EIFS - BRICK PATTERN-KENDALL CHARCOAL
EIFS - GREY
EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17

D4 EIFS - KENDAL CHARCOAL BM HC-166
D4A ACM - KENDAL CHARCOAL BM HC-166
D5 ACM - WHITE DOVE, BM OC 17

E06 STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07 GLASS GUARD RAIL
E08 WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH

E12 ELEVATOR WALL BEYOND
E13 RETAINING WALL

SPA FILE NO. -

Project North:

True North:

ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
DESCRIPTION	REV. DATE
	REVIEW REPLY

Drawing Issues/Revisions:

Note:

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Project:

WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

NORTH ELEVATION

	Design By:	Drawn By:	Approved by:
ı	MAI	BL/TV	EM
	Scale:	Date:	Project No.:
ı	As indicated	Issue Date	22-004
			•

Drawing No:

A304

City's Application Number: D07-12-22-0122 City's Plan Number:

BLD 3 - NORTH ELEVATION
1: 125





1 3D VIEW - SOUTH WEST







SPA FILE NO. -

2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05
1	ISSUED FOR CLC - Reply	2022/06
REV	DESCRIPTION	REV. D

Drawing Issues/Revisions:

Note:

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N C O R P O R A T E

206-418 Iroquois Shore
Oakville Onta
L6H 0
T.905.281.44

Project:

WATERIDGE APARTMENT BUILDING 3

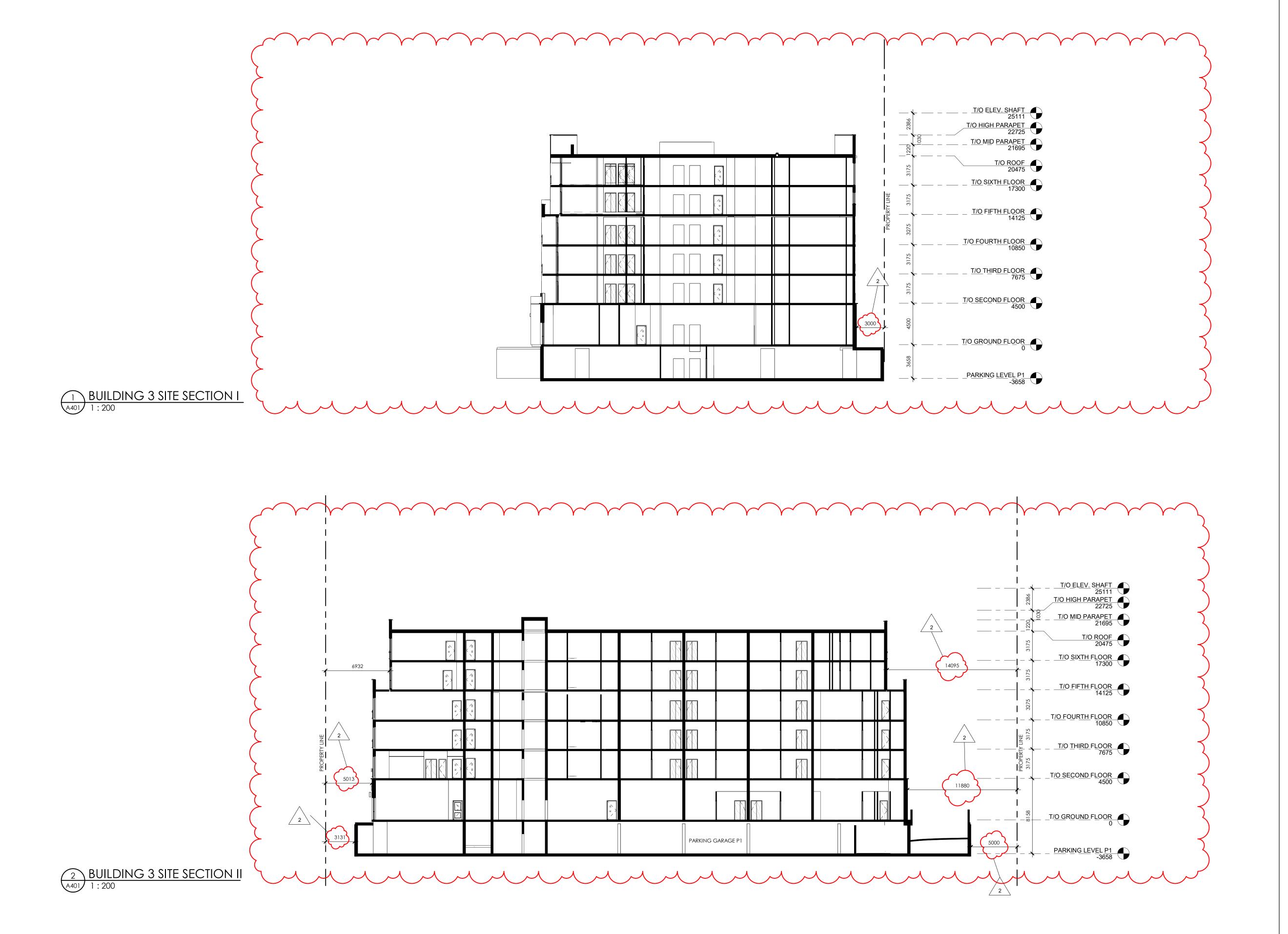
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS

Design By:	Drawn By:	Approved By:
MAI	BL/TV	EM
Scale:	Date:	Project No.:
	Issue Date	22-004

Drawing No:

A305



Project North: SPA FILE NO. -2 ISSUED FOR SPA - 1ST 2023/05/11 REVIEW REPLY 1 | ISSUED FOR CLC - Reply | 2022/06/30 DESCRIPTION REV. DATE

True North:

Drawing Issues/Revisions:

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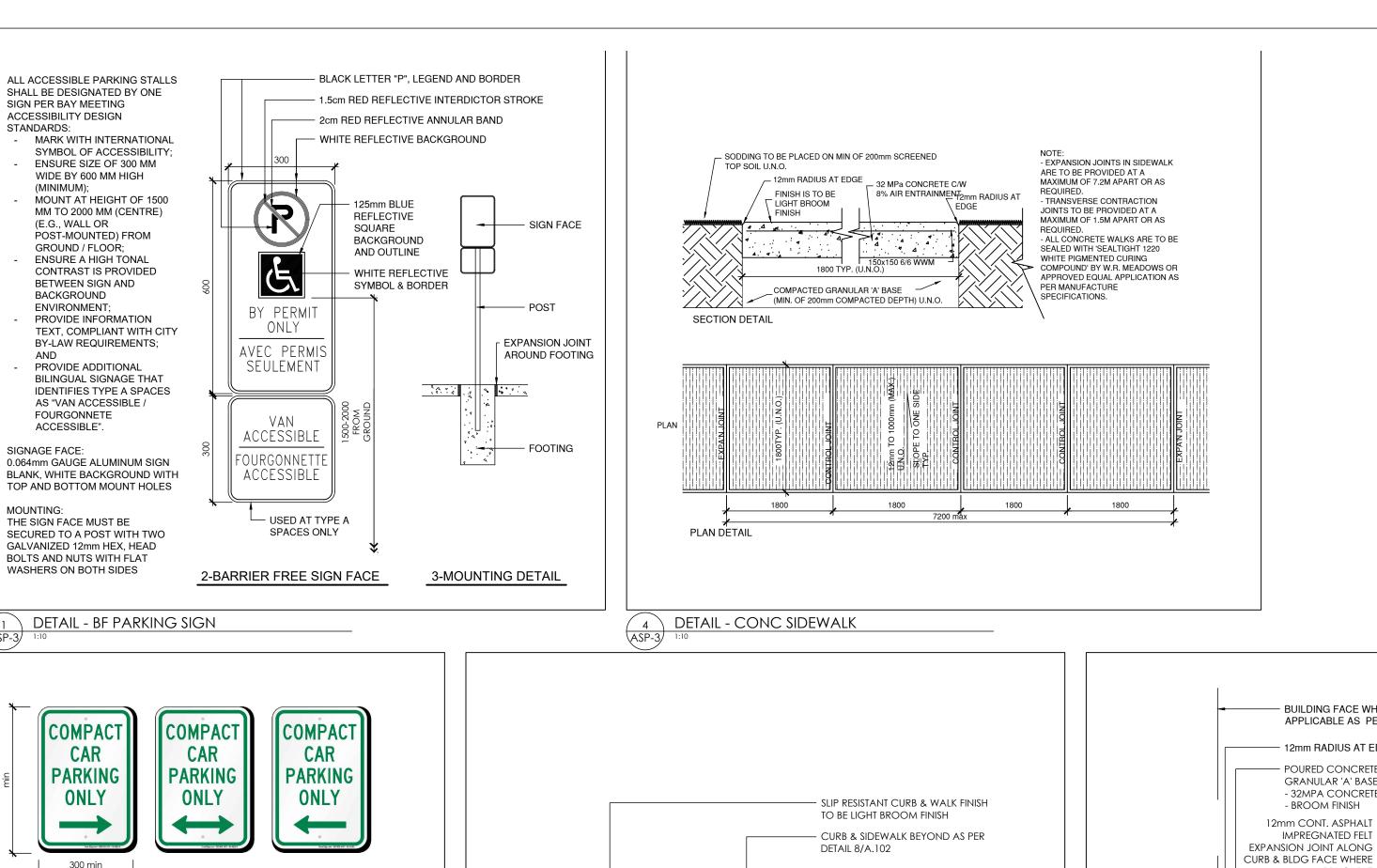
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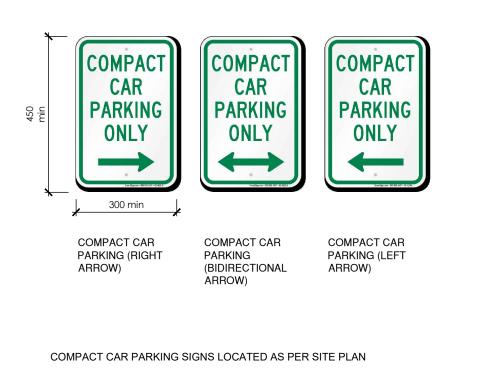
WATERIDGE APARTMENT **BUILDING 3**

375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

BUILDING SECTION I

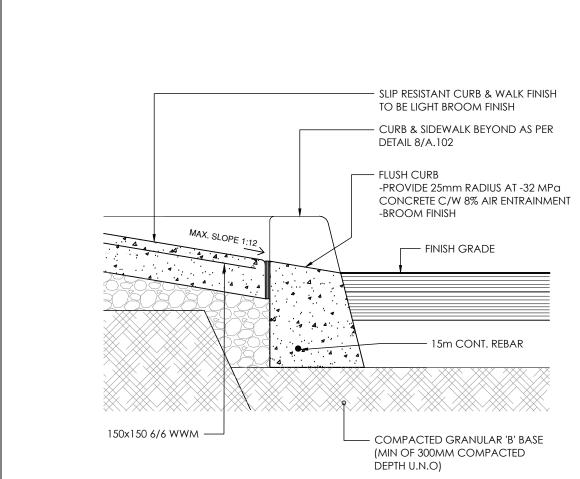
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MAI	BL/TV	EM
Scale:	Date:	Project No.:
1:200	Issue Date	22-004
Drawing No:		





REFLECTIVE ALUMINUM, WHITE BACKGROUND WITH TOP AND BOTTOM MOUNTING HOLES

THE SIGN FACE MUST BE SECURED TO A POST WITH TWO GALVANIZED 12mm HEX, HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES



5 SECTION DETAIL - FLUSH CURB @ SIDEWALK

6 SECTION DETAIL - CONC CURB @ SIDEWALK

- BUILDING FACE WHERE

- 12mm RADIUS AT EDGE

- BROOM FINISH

12mm CONT. ASPHALT -

VARIES SEE SITE PLAIN

150x150 6/6 WWM --

IMPREGNATED FELT

APPLICABLE

APPLICABLE AS PER SITE PLAN

– POURED CONCRETE SIDEWALK ON

GRANULAR 'A' BASE (MIN 200 MM COMPACTED DEPTH U.N.O.)

– POURED CONCRETE CURB

ENTRAINMENT

-BROOM FINISH

-PROVIDE 25mm RADIUS AT FRONT

EDGE & 12mm RADIUS AT BACK

-32 MPa CONCRETE C/W 8% AIR

— 15m CONT. REBAR

COMPACTED GRANULAR 'B' BASE

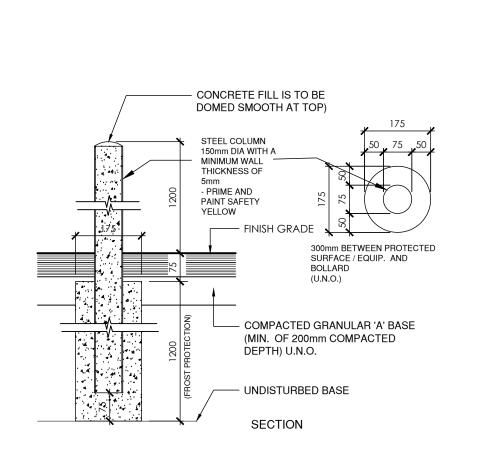
DEPTH U.N.O)

(MIN OF 300MM COMPACTED

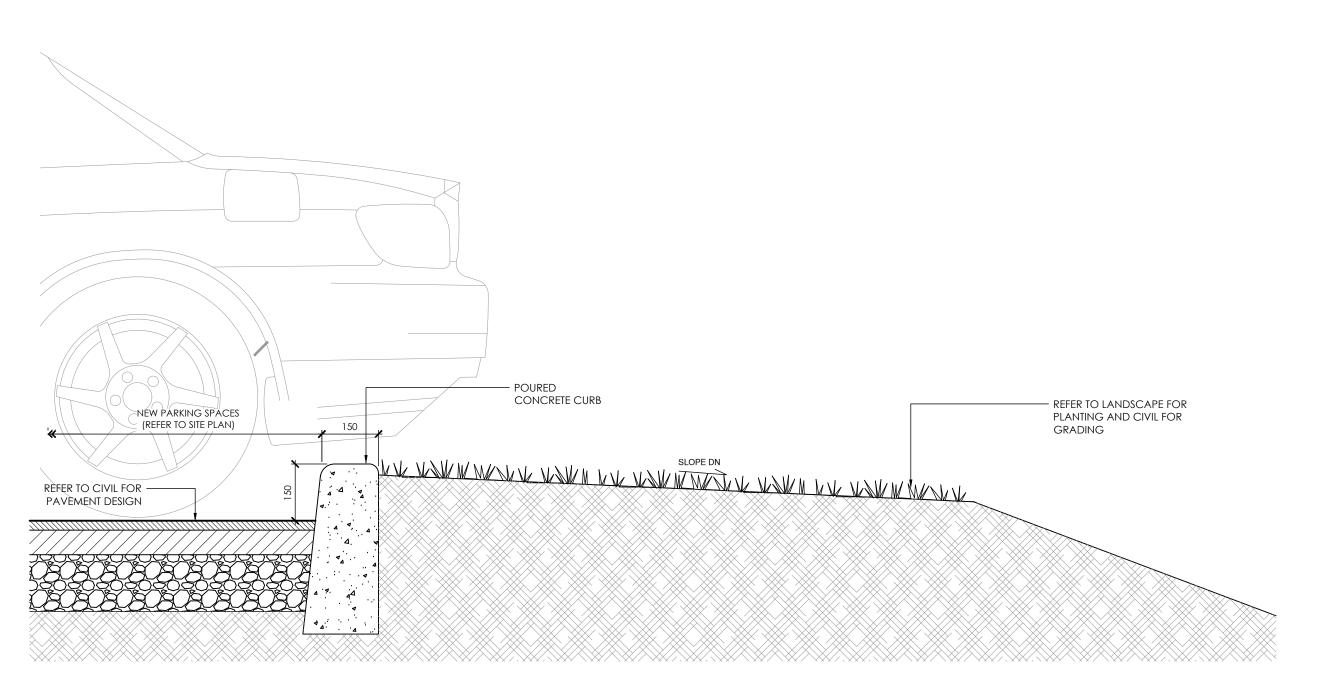
— FINISH GRADE

- 32MPA CONCRETE C/W 8% AIR ENTRAINMENT

2 DETAIL - COMPACT CAR PARKING SIGN



3 DETAIL - TYP BOLLARD
ASP-3 1:10



SODDING TO BE -

OF 200mm

SOIL U.N.O.

PLACED ON MIN

SCREENED TOP

7 DETAIL - CURB AT PARKING

Issued for SPA- 1ST REVIEW REPLY 3 23/05/11 22/06/30 Issued for CLC-Reply 22/05/20 Issued for CLC Date: Issue/Revision Drawing Issues/Revisions:

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Key Plan:



MATAJ**ARCHITECTS**

WATERIDGE **APARTMENT BUILDING**

Sheet Title:

SITE PLAN-**DETAILS**

	M
Scale: Date: Project N 1:10 22-06-29 22-0	

Drawing No:

ASP-9