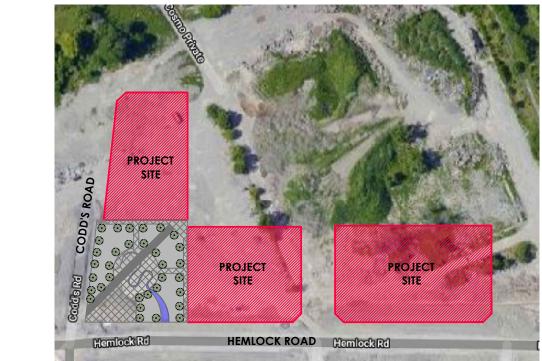
	SITE STATISTICS - Building 1 ZONING	GM31											
			NIXED USEZON	E									
	COVERAGE CALCULATIONS	M²	F ²	ACRES									
	TOTAL SITE AREA BUILDING AREA	5,193.6 24,113.0	55,903.4 259,549.9	1.283									
	RESIDENTIAL AREA COMMERCIAL AREA	16,634.3	179,049.4										
	GLAZING CALCULATIONS TOTAL GROUND FLOOR FACE AREA - NOT INCLUDING RESIDENTAL	SM 368.5	SF	%									
	TOTAL WINDOW AREA / TRANSPARENT GLAZING	223.4		61%									
•	SETBACKS	REQ'D (m)	PROVIDED										
	MAXIMUM SETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLOCK ROAD	2.0	2.00										
	MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A RESIDENTIAL ZONE	7.5	20.41										
	MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.175										
	WHERE THE BUILDING CONTAINS MORE THAN FOUR STOREYS BUT LESS THAN 13 STOREYS, AT AND ABOVE THE FOURTH STOREY A BUILDING MUST BE FURTHER SETBACK	2.0	2.00										
	(M)												
	MINIMUM W IDTH OF LANDSCAPED AREA												
	(i) ABUTTING A STREET	3m	5.175										
	(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0										
	(iii)OTHER CASES	NO MIN.											
	MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LO CONTAINING MORE THAN 10 BUT FEWER THAN 100 SPACES)T											
	(a) ABUTTING A STREET												
	(b) NOT ABUTTING A STREET	1.5	3.0										
_	CONSTRUCTION AREA	M^2	F ²		$\uparrow \setminus$								
	WITHOUT BALCONIES GROUND FLOOR	2,183.0	23,498		1 3								
	2ND FLOOR 3rd FLOOR	2,173.0 2,173.0	23,390		7)								
	4th FLOOR	2,173.0	23,390		∄								
	5TH FLOOR 6th FLOOR	1,967.0	21,173		\dashv \downarrow								
	7TH FLOOR BOTH TOWERS , 735 M ² EACH	1,470.0	15,823		$\dashv \downarrow$								
	8TH FLOOR BOTH TOWERS , 735 M ² EACH	1,470.0	15,823		$\exists \ \langle$								
	9TH FLOOR BOTH TOWERS , 735 M ² EACH PARKING LEVEL 1	1,470.0 3,533.0	15,823 38,029		$\dashv \downarrow$								
	PARKING LEVEL 2	3,534.0	38,040		$\exists \ \langle$								
	TOTAL BUILDABLE AREA	24,113.0	259,550		$\dashv \langle$								
_	GROSS FLOOR AREA -GFA	W 2	F ² ~~										
	GROUND FLOOR 2ND FLOOR	511.9 1,712.7	5,510.0 18,435.3										
	3RD FLOOR	1,712.7	18,435.3		-								
	4TH FLOOR	1,712.7	18,435.3										
	5TH FLOOR 6TH FLOOR	1,528.2	16,449.8		_								
	7th FLOOR	1,117.3	12,026.4										
	8th FLOOR	1,131.4	12,178.7										
	9th FLOOR TOTAL GFA	1,130.4	12,167.6		-								
	PARKING REQUIREMENTS												
	Residential use	REQ'D	PROVIDED										
	0.5 PARKING/UNIT REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	108	41										
	TYPICAL PARCKING STALLS PROVIDED		123										
	ACC TYPICAL PARCKING STALLS PROVIDED VISITOR PARKING-0.1 PARKING / UNIT	20.4	2		\dashv								
	N. CANONICO VII. I CANONICO / VIIII	23,7	19										
	TYPICAL VISITORS PARKING		2										
	TYPICAL VISITORS PARKING ACC VISITORS PARKING RETAIL STORE 5 PER 100 M ² OVER 200 M ² OF GROSS FLOOR AREA	10.59	1.0		_								
	ACC VISITORS PARKING	10.59	10										
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M ² OVER 200 M ² OF GROSS FLOOR AREA TYPICAL STORE PARKING	10.59	10										
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M ² OVER 200 M ² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT		10										
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M²	138.99 108 1.65	10 1 201										
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKERACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES	138.99	10 1 201										
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M²	138.99 108 1.65	10 1 201	,2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT	138.99 108 1.65	10 1 201 116 2 120 PROVIDED M 2,055.8	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use	138.99 108 1.65 110 REQ'D M ²	10 1 201 116 2 120 PROVIDED M	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR	138.99 108 1.65 110 REQ'D M ² 1,296.0	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	138.99 108 1.65 110 REQ'D M ² 1,296.0	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF S PACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY S PACE OUTDOOR ON GRADE AMENITY S PACE OUTDOOR ON ROOF TOP	138.99 108 1.65 110 REQ'D M ² 1,296.0	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO, OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE OUTDOOR ON GRADE	138.99 108 1.65 110 REQ'D M ² 1,296.0	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0 320.0	22									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BAL CONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TOPE A (VAN), MIN WIDTH=3400	138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0 REQ'D 5 2	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN WIDTH=3400 TYPE B, MIN WIDTH=2400	138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0 REQ'D 5	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED	22									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT B AL CONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN WIDTH=3400 TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND	138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0 REQ'D 5 2 3	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESS IBLE SPACES REQ'D TYPE A (VAN), MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS	138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0 REQ'D 5 2 3 REQ'D (MIN) 6.0	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED 5 2 3 PROVIDED 6.0	2									
	ACC VISITORS PARKING RETAIL STORE 5 PER 100 M² OVER 200 M² OF GROSS FLOOR AREA TYPICAL STORE PARKING ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 4 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE AMENITY SPACE OUTDOOR ON ROOF TOP ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 101-133 PARKING SPACES, 5 ACCESS IBLE SPACES REQ'D TYPE A (VAN), MIN WIDTH=3400 TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	138.99 108 1.65 110 REQ'D M ² 1,296.0 648.0 REQ'D 5 2 3 REQ'D (MIN)	10 1 201 116 2 120 PROVIDED M 2,055.8 1,300.0 755.8 300.8 135.0 320.0 PROVIDED 5 2 3 PROVIDED	2									

ZONING	GM31	WED LINE TO	.=
	GENERAL M	IIXED USE ZON	IE
COVERAGE CALCULATIONS	M²	F ²	ACRES
TOTAL SITE AREA	3,737.6	40,231.2	0.924
BUILDING AREA	15,421.0	165,990.1	
RESIDENTIAL AREA COMMERCIAL AREA	10,145.8	109,208.3	
	170.2	2,112.0	
CLAZING CALCULATIONS TOTAL GORUND FLOOR ELEVATION AREA - TO CEILING (3.6m) EXCLUDING RESIDENTIAL	184.2	\$F	% ~
TOTAL WINDOW AREA / TRANSPARENT GLAZING	115.7		63%
STEP A CIVE	REQ'D (m)	PROVIDED	
SETBACKS MAXWUUMAETBAJAK FORTHOS ENQTS ENXT OF AQDD'AROADNU HERATHEY ARUT	keQ D (III)	(m)	
HEMLOCK ROAD	2.0	2.00	1 - 1
Minimum rear yard setback a building with a residential land use at grade or Where the rear yard abuts a residential zone	7.5	19.55	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.86	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A	3.0	3.00	
BUILDING HIGHER THAN 11 METRES IN HEIGHT MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ABUTTING A STREET	3m		
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii) OTHER CASES	номін.		
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING FEWER THAN 10			
(a) ABUTTING A STREET	3.0		
		3.0	
(b) NOT ABUTTING A STREET	NONE	3.0	<u> </u>
CONSTRUCTION AREA	M^2	\mathbf{F}^2	\sim
WITHOUT BALCONIES GROUND FLOOR	1,446.0	15,564.6	
2ND FLOOR	1,394.0	15,004.9	
3RD FLOOR 4TH FLOOR	1,394.0	15,004.9	
5TH FLOOR	1,232.0	13,261.1	
6TH FLOOR 7TH FLOOR	1,232.0 750.0	13,261.1 8,072.9	
8TH FLOOR	750.0	8,072.9	
9TH FLOOR PARKING LEVEL 1	750.0 2,549.0	8,072.9 27,437.2	
PARKING LEVEL 2	2,530.0	27,232.7	
TOTAL BUILD ABLE AREA	15,421.0	165,990.1	
GROSS FLOOR AREA -GFA	M ²	F ²	
GROUND FLOOR 2ND FLOOR	448.8	4,831.0 12,038.0	
3RD FLOOR	1,118.3	12,038.0	
4TH FLOOR	1,118.3	12,038.0	
5TH FLOOR 6TH FLOOR	965.0 965.0	10,387.0	
7th FLOOR	578.9	6,232.0	
8th FLOOR 9th FLOOR	578.9 578.9	6,232.0 6,232.0	
TOTAL GFA	7,470.4	80,415.0	
PARKING REQUIREMENTS	nroin	BBOWBED.	
Residential use 0.5 PARKING/UNIT	REQ'D 65.5	PROVIDED	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	00.0	26	
TYPICAL PARCKING STALLS PROVIDED ACC TYPICAL PARCKING STALLS PROVIDED		92	
VISITOR PARKING-0.1 PARKING /UNIT	11.9	12	
TYPICAL VISITORS PARKING		10	
ACC VISITORS PARKING RETAIL STORE 5 PER 100 M ² OVER 200 M ² OF GROSS FLOOR AREA	N/A	2 N/A	
	77.40	132	
acc store parking			
ACC STORE PARKING TOTAL NO. OF SPACES			
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS	65.5	67	
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M ² / 250 M ²	0.78	3	
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M ² / 250 M ²			
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS	0.78	3	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use	0.78	3 70	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES	0.78 66 REQ'D M ² 786.0	3 70 PROVIDED M 1,193.1 798.7	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M ² / 250 M ² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	0.78 66 REQ'D M ²	3 70 PROVIDED M 1,193.1	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M ² / 250 M ² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m/UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR	0.78 66 REQ'D M ² 786.0	3 70 PROVIDED M 1,193.1 798.7 394.4	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE	0.78 66 REQ'D M ² 786.0	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 1175.0	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	0.78 66 REQ'D M ² 786.0	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	0.78 66 REQ'D M ² 786.0 393.0	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS 0.5 PARKING/UNIT COMMERCIAL AREA M ² / 250 M ² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m/UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400	0.78 66 REQ'D M ² 786.0 393.0 REQ'D 4 2	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 1175.0 PROVIDED 4 2	12
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS	0.78 66 REQ'D M² 786.0 393.0 REQ'D 4 2 2 REQ'D (MIN)	3 70 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4	
ACC STORE PARKING TOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² TOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m / UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) 79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90	0.78 66 REQ'D M² 786.0 393.0 REQ'D 4 2 2 REQ'D (MIN)	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 1175.0 PROVIDED 4 2	12
ACC STORE PARKING FOTAL NO. OF SPACES BIKE RACKS D.5 PARKING/UNIT COMMERCIAL AREA M² / 250 M² FOTAL NO. OF SPACES Aminities REQUIREMENTS Residential use 6 sq m /UNIT BALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS) TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	0.78 66 REQ'D M² 786.0 393.0 REQ'D 4 2 2 REQ'D (MIN)	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2 2 PROVIDED	12
	0.78 66 REQ'D M² 786.0 393.0 REQ'D 4 2 2 REQ'D (MIN) 6.0	3 70 PROVIDED M 1,193.1 798.7 394.4 219.4 175.0 PROVIDED 4 2 2 PROVIDED 6.0	12

ONING	GM31		
	GENERAL N	MIXED USE ZON	E
COVERAGE CALCULATIONS	M ²	F ²	ACI
OTAL SITE AREA	3,737.6	40,231.2	0.92
UILDING AREA	10,353.0	111,438.7	
ESIDENTIAL AREA	10,353.0	111,438.7	
COMMERCIAL AREA	0.0	0.0	
GLAZING CALCULATIONS	sm	SF	%
OTAL GORUND FLOOR ELEVATION AREA	V.A		70
OTAL WINDOW AREA			
		PROVIDED	
ETBACKS	REQ'D (m)	(m)	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND US GRADE OR WHERE THE REAR YARD ABUTS A PARK	5.0	5.00	
AINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDEN AND USE AT GRADE	ITIAL 5.0	5.00/11.95	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING	G FOR A 3.0	3.00	
MINIMUM WIDTH OF LANDSCAPED AREA			
		5.6	T
(i) ABUTTING A STREET	3m	5.0	
III) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
III)OTHER CASES	NO MIN.		+
COL BOARD TO THE ATT FOR THE			
/INIMUM WIDTH OF LANDS CAPED AREA AROUND A PARKING LOT - FOR . CONTAINING FEWER THAN 10	APAKKINGLOI		
a) ABUTTING A STREET	3.0		Ī
			+
b) NOT ABUTTING A STREET	NONE		
CONSTRUCTION AREA			
VITHOUT BALCONIES	M ²	F ²	
GROUND FLOOR	1,408.0	15,155.6	
ND FLOOR	1,330.0	14,316.0	\perp
IRD FLOOR	1,330.0	14,316.0	+
TH FLOOR TH FLOOR	1,330.0	14,316.0	+
TH FLOOR	1,222.0	13,153.5	+
PARKING LEVEL 1	2,511.0	27,028.2	+
OTAL CONSTRUCTION AREA	10,353.0	111,438.7	+
	10,000.0	,	+
GROSS FLOOR AREA -GFA	M ²	F ²	
GROUND FLOOR	751.8	7943.0	
ND FLOOR	1061.8	11761.0	\perp
RD FLOOR	1061.8	11761.0	\perp
TH FLOOR	1061.8	11761.0	1
THE FLOOR	958.1	10313.0	\bot
TH FLOOR	958.1	10313.0	+
OTAL GFA	5853.4	63852.0	+
CARKING REQUIREMENTS Residential use	REQ'D	PROVIDED	
.5 PARKING/UNIT	53	57	
EDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING	GSPACES	8	
YPICAL PARCKING STALLS PROVIDED		46	
ACC TYPICAL PARCKING STALLS PROVIDED		3	1
VISITOR PARKING-0.1 PARKING /UNIT	9.4	10	1
YPICAL VISITORS PARKING ACC VISITORS PARKING		10	+
NO FIGURE LA WANTE	62	67	+
OTAL NO. OF SPACES	, v.	1	
OTAL NO. OF SPACES IKE RACKS		56	
	53		
IKERACKS 1.5 PARKING/UNIT			
IKERACKS 1.5 PARKING/UNIT Aminities REQUIREMENTS Residential use	REQ'D M ²	PROVIDED M	2
Aminities REQUIREMENTS Residential use sq m /UNIT		903.1	2
Aminities REQUIREMENTS Residential use sqm/UNIT ALCONIES	REQ'D M ² 636.0	903.1 583.1	2
IKE RACKS 1.5 PARKING/UNIT Aminities REQUIREMENTS Residential use 1.5 q m /UNIT IAL CONIES AIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/	REQ'D M ² 636.0	903.1 583.1 320.0	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 546 WENITY SPACE ON GROUND FLOOR	REQ'D M ² 636.0	903.1 583.1 320.0 100.0	2
IKE RACKS 1.5 PARKING/UNIT Aminities REQUIREMENTS Residential use 1.5 q m /UNIT IAL CONIES AIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/	REQ'D M ² 636.0	903.1 583.1 320.0	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 546 WENITY SPACE ON GROUND FLOOR	REQ'D M ² 636.0	903.1 583.1 320.0 100.0	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 546 WENITY SPACE ON GROUND FLOOR	REQ'D M ² 636.0 M2 (M2) 318.0	903.1 583.1 320.0 100.0	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/ MENITY SPACE ON GROUND FLOOR MENITY SPACE OUTDOOR ON GRADE	REQ'D M ² 636.0 M2 (M2) 318.0	903.1 583.1 320.0 100.0 220.0	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES AIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/A AMENITY SPACE ON GROUND FLOOR AMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDAR	REQ'D M ² 636.0 M2 (M2) 318.0 RDS) REQ'D	903.1 583.1 320.0 100.0 220.0	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/ MENITY SPACE ON GROUND FLOOR MENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDAR 9-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQUID	REQ'D M ² 636.0 M2 (M2) 318.0 RDS) REQ'D 3 1 2	903.1 583.1 320.0 100.0 220.0 PROVIDED	2
AMINITIES REQUIREMENTS Residential use sq m /UNIT VALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/MENITY SPACE ON GROUND FLOOR VMENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDAR 19-100 PARKING SPACES, 4 ACCESSIBLES PACES REQID TYPE A (VAN), MIN W IDTH=3400	REQ'D M ² 636.0 M2 (M2) 318.0 RDS) REQ'D 3 1 2 REQ'D	903.1 583.1 320.0 100.0 220.0 PROVIDED 3	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/ MENITY SPACE ON GROUND FLOOR MENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDAR P9-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 RIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETW	REQ'D M ² 636.0 M2 (M2) 318.0 RDS) REQ'D 3 1 2 REQ'D (MIN)	903.1 583.1 320.0 100.0 220.0 PROVIDED 3 1	2
AMINITIES REQUIREMENTS Residential use Seg m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/A MENITY SPACE ON GROUND FLOOR MENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDAR 9-100 PARKING SPACES, 4 ACCESSIBLES PACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 PRIVEWAYS AND AISLE REQUIREMENTS	REQ'D M ² 636.0 M2 (M2) 318.0 RDS) REQ'D 3 1 2 REQ'D (MIN)	903.1 583.1 320.0 100.0 220.0 PROVIDED 3 1 2	2
Aminities REQUIREMENTS Residential use sq m /UNIT ALCONIES MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54/ MENITY SPACE ON GROUND FLOOR MENITY SPACE OUTDOOR ON GRADE ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDAR P9-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D TYPE A (VAN), MIN W IDTH=3400 TYPE B, MIN W IDTH=2400 RIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETW	REQ'D M ² 636.0 M2 (M2) 318.0 RDS) REQ'D 3 1 2 REQ'D (MIN)	903.1 583.1 320.0 100.0 220.0 PROVIDED 3 1 2	2



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3 23/03/17 Issued for SPA- 1ST REVIEW REPLY

Issued for CLC

Issue/Revision

2 22/06/30 Issued for CLC- Reply

22/05/20

Date:

Drawing Issues/Revisions:

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Architect's Stamp

WATERIDGE **APARTMENT BUILDING**

SITE STATS & ROOM MIX ALL BUILDINGS

Design By:	Drawn By: SF	Approved By: EM
Scale: N.T.S	Date: 22-06-29	Project No.: 22-004

Drawing No:

ASP-1

	BUILDING 1 - ROOM MIX													
	1ST FLOOR	2ND FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	7th FLOOR	8th FLOOR	9th FLOOR	MIX	МІХ	MIX Total	TOTAL	
STUDIO	2	0	0	0	0	0	0	0	0	1%	1%	2	2	
1 BDRM	4	19	19	19	15	15	6	4	4	49%			105	
1 BDRM+DEN	2	5	5	5	2	2	0	0	0	10%	71%	154	21	
1 BDRM-ACC	2	5	5	5	4	4	1	1	1	13%			28	
2 BDRM	0	3	3	3	7	7	9	11	11	25%	200/	60	54	
2BDRM - ACC	0	0	0	0	0	0	2	2	2	3%	28%	60	6	
SUBTOTAL	10	32	32	32	28	28	18	18	18	100%	100%	216	216	
ACC TOTALS	2	5	5	5	4	4	3	3	3	15.74%			34	

(4)	ROOM MIX - BUILING 1
ASP-1	N.T.S.

	ROOM MIX												
	BLDG 1	BLDG 2	BLDG 3	TOTAL ALL BLDGS	MIX Total	MIX	MIX						
STUDIO	2	0	0	2	2	0.44%	0.4%						
1 BDRM	105	69	63	237		51.97%							
1 BDRM+DEN	21	11	14	46	340	10.09%	74.6%						
1 BDRM-ACC	28	16	13	57		12.50%							
2 BDRM	54	31	15	100	114	21.93%	3F 00/						
2BDRM - ACC	6	4	4	14	114	3.07%	25.0%						
SUBTOTAL	216	131	109	456	456	100.00%	100%						

300101	AL	210	151	109	430
7	RO	OM MI	X - ALL	BUILDIN	IGS
ASP-1	N.T.S.				

											(A	SP-1/2/NC				
	BUILDING 2 - ROOM MIX															
	1ST	1ST 2ND 3rd 4th 5th 6th 7th 8th 9th MIX MIX TOTAL														
	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	IVIIA	IVIIA	TOTAL	IOIAL			
STUDIO	0	0	0	0	0	0	0	0	0	0%	0%	0	0			
1 BDRM	3	12	12	12	12	12	2	2	2	53%	o .		69			
1 BDRM+DEN	0	3	3	3	1	1	0	0	0	8%	73%	96	96	96	96	11
1 BDRM-ACC	3	2	2	2	2	2	1	1	1	12%	·		16			
2 BDRM	1	2	2	2	3	3	6	6	6	24%	270/	35	31			
2BDRM - ACC	1	1	1	1	0	0	0	0	0	3%	27%	35	4			
SUBTOTAL	8	20	20	20	18	18	9	9	9	100%	100%	131	131			
Δ СС ΤΩΤΔΙ S	4	3	3	3	2	2	1	1	1	15 27%			20			

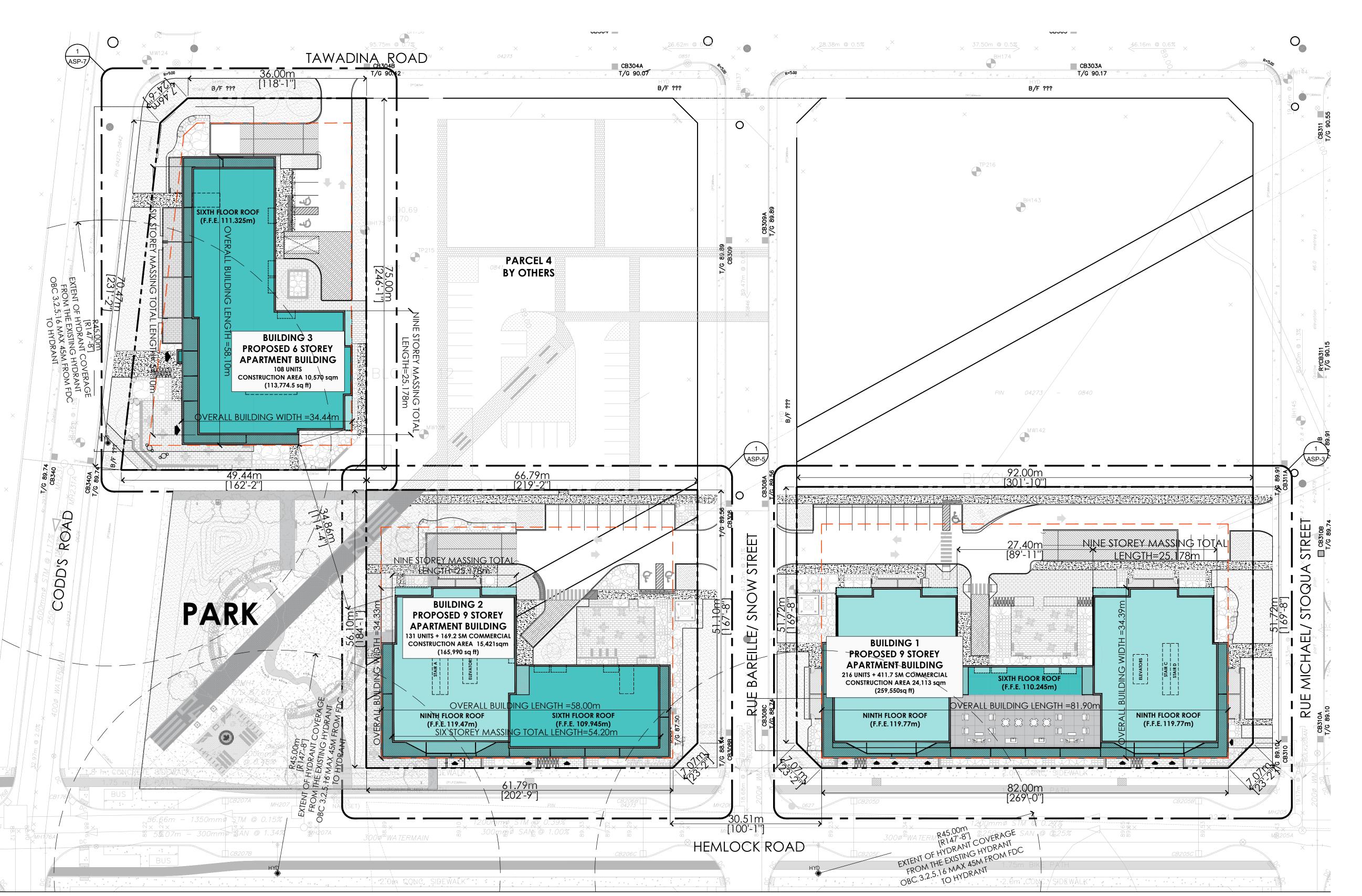
5 ROOM MIX - BUILING 2
ASP-1 N.T.S.

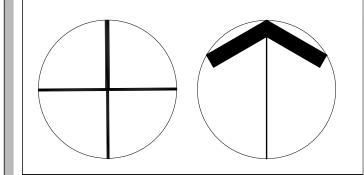
	BUILDING 3 - ROOM MIX												
	1ST FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	MIX	MIX	MIX TOTAL	TOTAL			
STUDIO	0	0	0	0	0	0	0%	0%	0	0			
1 BDRM	6	10	10	10	11	11	55%			58			
1 BDRM+DEN	3	2	2	2	1	1	10%	76%	81	11			
1 BDRM+DEN ACC	0	1	1	1	1	1	5%	70%		5			
1 BDRM-ACC	2	1	1	1	1	1	7%			7			
2 BDRM	1	4	4	4	4	4	20%	24%	25	21			
2BDRM - ACC	1	1	1	1	0	0	4%	2470	23	4			
SUBTOTAL	13	19	19	19	18	18	100%	100%	106	106			
ACC TOTALS	3	3	3	3	2	2	15%			16			

ROOM MIX - BUILING 3

			SITE PL	AN LEGEND				CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
	PROPERTY LINE	^ ė	FIRE DEPARTMENT CONNECTION	ā	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WI	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	5 THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUT AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN
	BUILDING SETBACK LINE	*			RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE		DADKING COUNT		ONTARIO LAND SURVERYORS ANNIS, O'SULLIVAN, VOLLEBEKK LTD	CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION OF THE TOWN	BY-LAWS AND DESIGN CRITERIA
		→ HOSE BIB (REFER TO MECHANICAL DWGS)		-REFER TO ELECTRICAL DWGS				MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY	14 CONCOURSE GATE, SUITE 500		6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD
			PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	1//:///	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	SUPPLIED AND SUCH DATA IS NOT	NEPEAN, ONTARIO K2E 7S6 (613) 727-0850	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
CD		PAD MOUNTED HYDRO TRANSFORM		1/////	LIGHT DUTY ASPHALT PAVING)	104.04×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.	EMAIL: Nepean@aovltd.com	RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK	
					1		, , , , , , , , , , , , , , , , , , , ,	LEGAL LAND DESCRIPTION:		OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER	7 ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM
	ENTRY/ EXIT ACCESS POINTS		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MEC		LEGAL LAND DESCRIPTION.			
g	EXISTING TOWN HYDRANT			- 1H-1H-1H-	(REFER TO LANDSCAPE DWGS)		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	BLOCKS 11, 12 and REGISTERED PLAN 4M -1651		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING	8 ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR
		□⊷	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS	The North Control	LAND\$CAPED AREA		SNOW REMOVAL COMPANY)	CITY OF OTTAWA		CONSTRUCTION.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAG
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS		NEI EN 10 EEE SING/LE STI CO			Y	4			4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS	ON THE PROPERY
	-REFER TO CIVIL DWG3		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET	100 Ann 100 An						OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION
			-REFER TO ELECTRICAL DWGS		POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION						
	L				. POURED CONCRETE FAD AT LOADING AREA & WASTE COLLECTION						

CB5 3 87.50





Kev Plan:

3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM
No.	Date:	Issue/Revision	Ву:
Drav	ving Issues/Re	visions:	

Note:

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WATERIDGE APARTMENT BUILDING

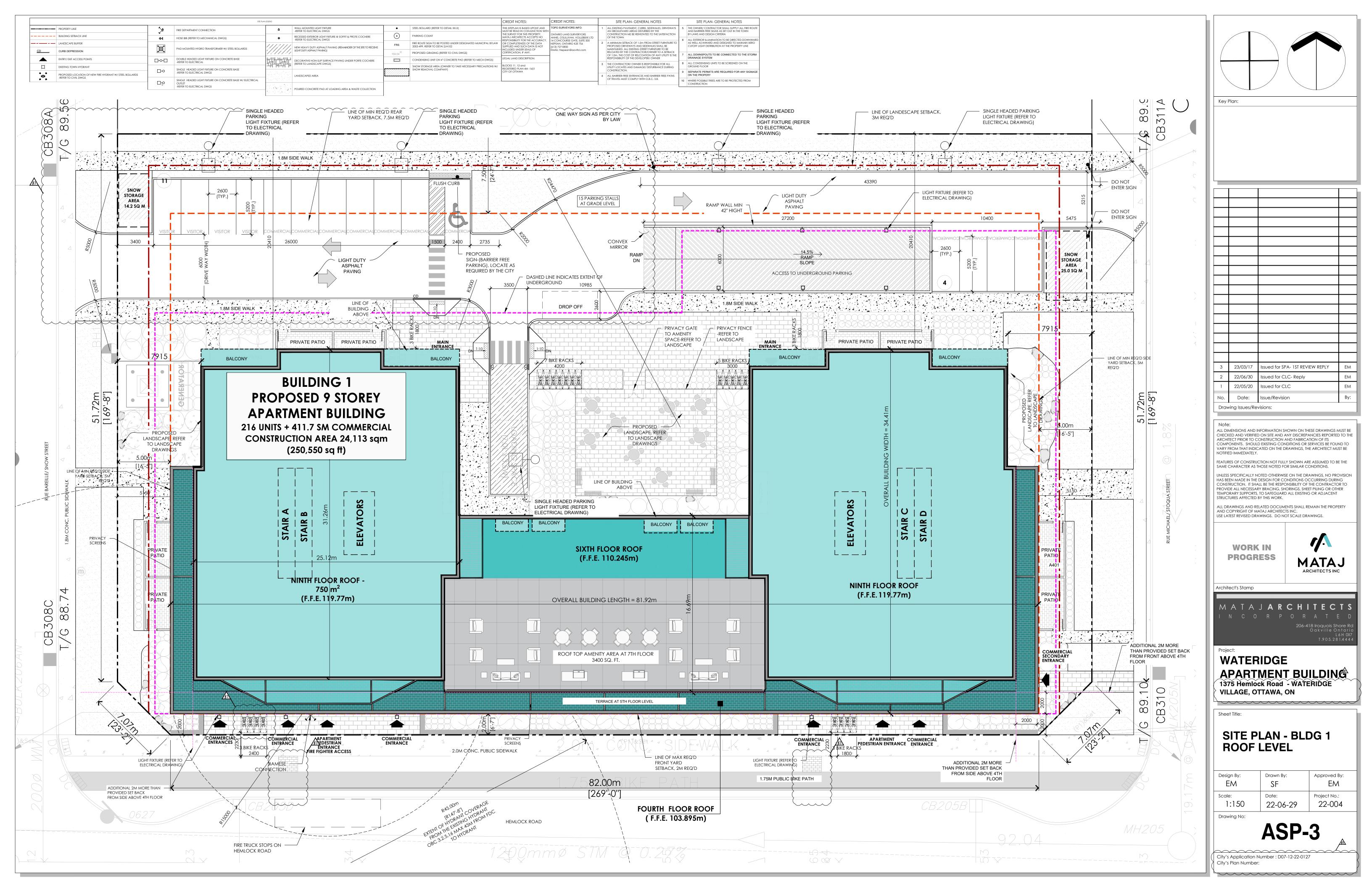
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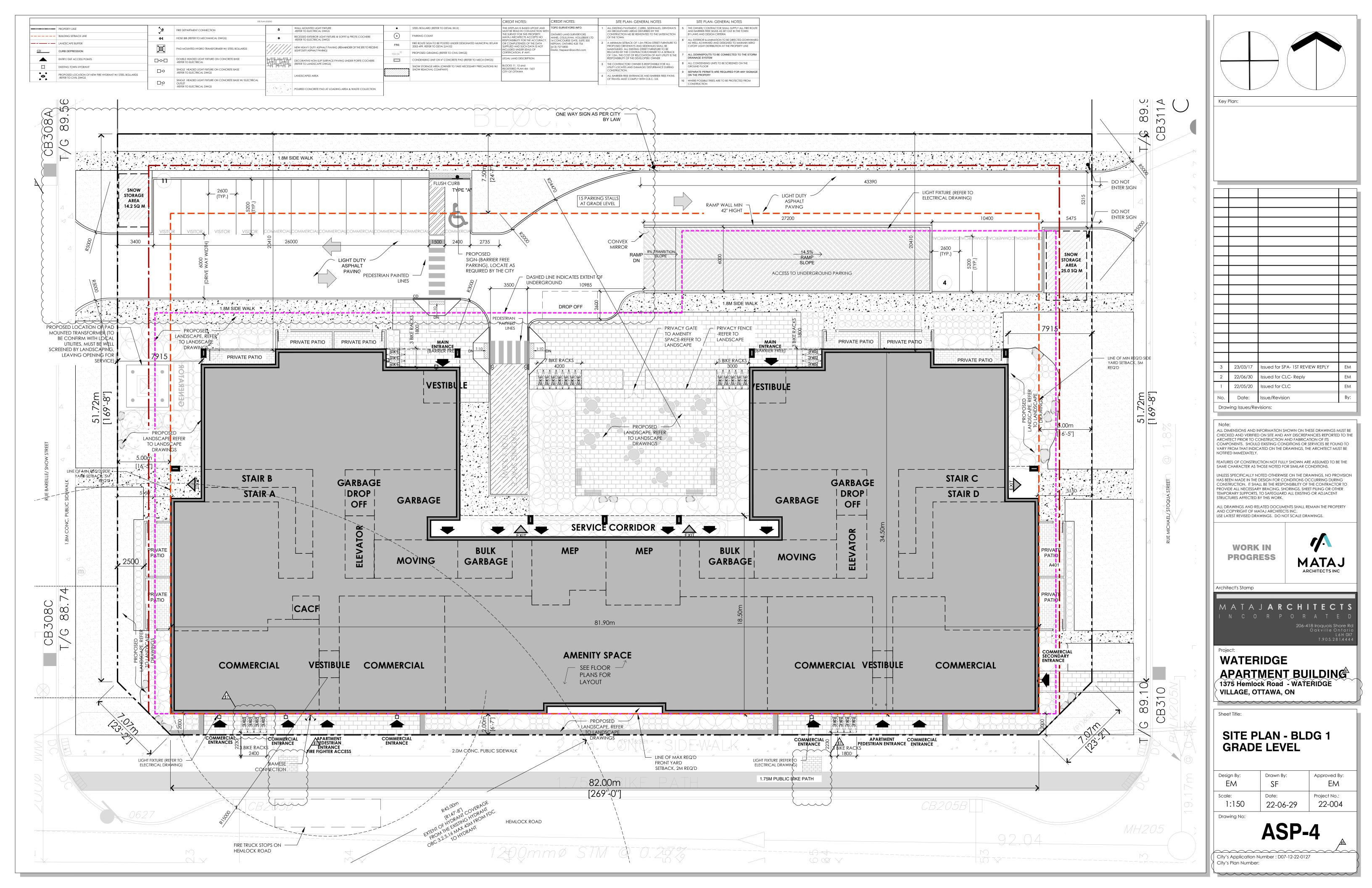
SITE PLAN -OVERALL SITE PLAN

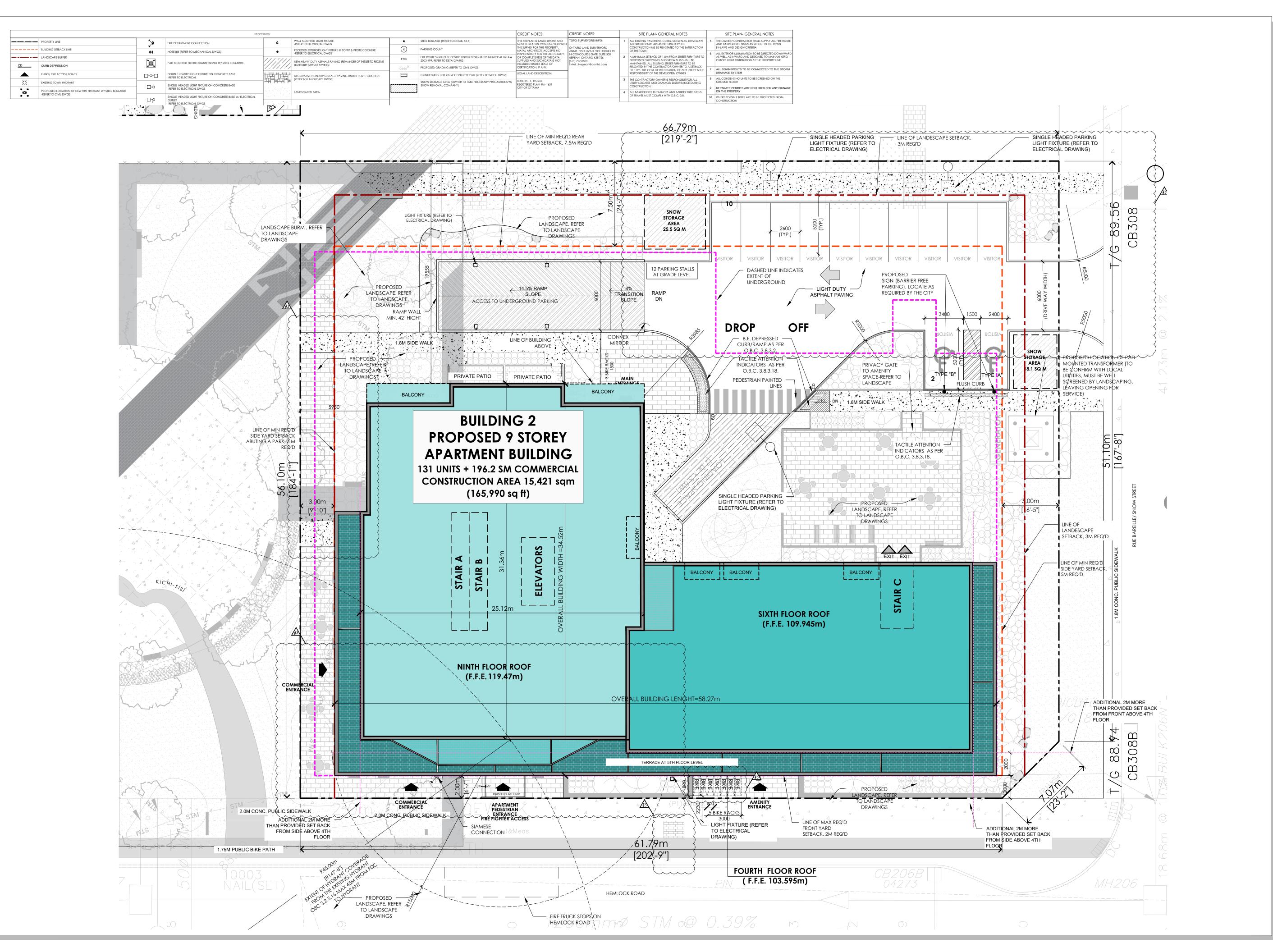
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ı	EM	SF	EM							
	Scale:	Date:	Project No.:							
	1:400	22-06-29	22-004							

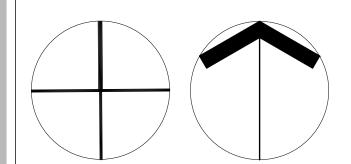
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ASP-2









3 23/03/17 Issued for SPA- 1ST REVIEW REPLY EM
2 22/06/30 Issued for CLC- Reply EM
1 22/05/20 Issued for CLC EM
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Project:

WATERIDGE APARTMENT BUILDING 1345 Hemlock Road - WATERIDGE

VILLAGE, OTTAWA, ON

Sheet Tit

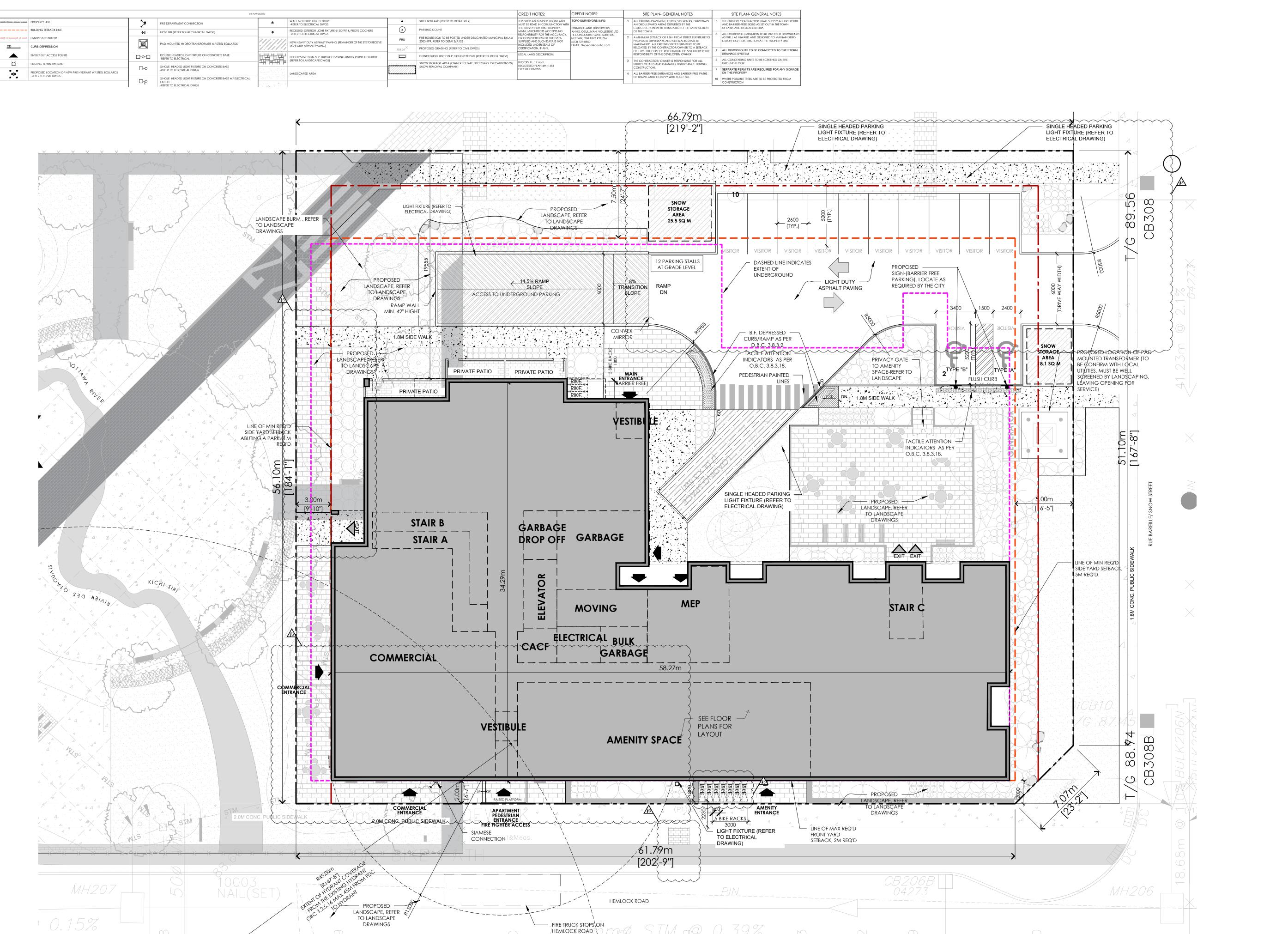
SITE PLAN - BLDG 2 ROOF LEVEL

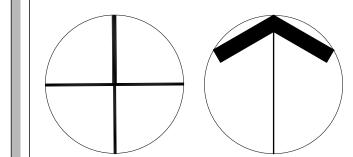
	Design By:	Drawn By:	Approved By:		
	EM	SF	EM		
	Scale:	Date:	Project No.:		
	1:150	22-06-29	22-004		

Drawing No:

ASP-5

City's Application Number : D07-12-22-0122 City's Plan Number:





3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM				
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1	22/05/20	Issued for CLC	EM				
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MATAJ ARCHITECTS INC

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Project:

WATERIDGE APARTMENT BUILDING

1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Tit

SITE PLAN - BLDG 2 GRADE LEVEL

Design By:	Drawn By:	Approved By: FM
	SF	□ /√(
Scale:	Date:	Project No.:
1:150	22-06-29	22-004
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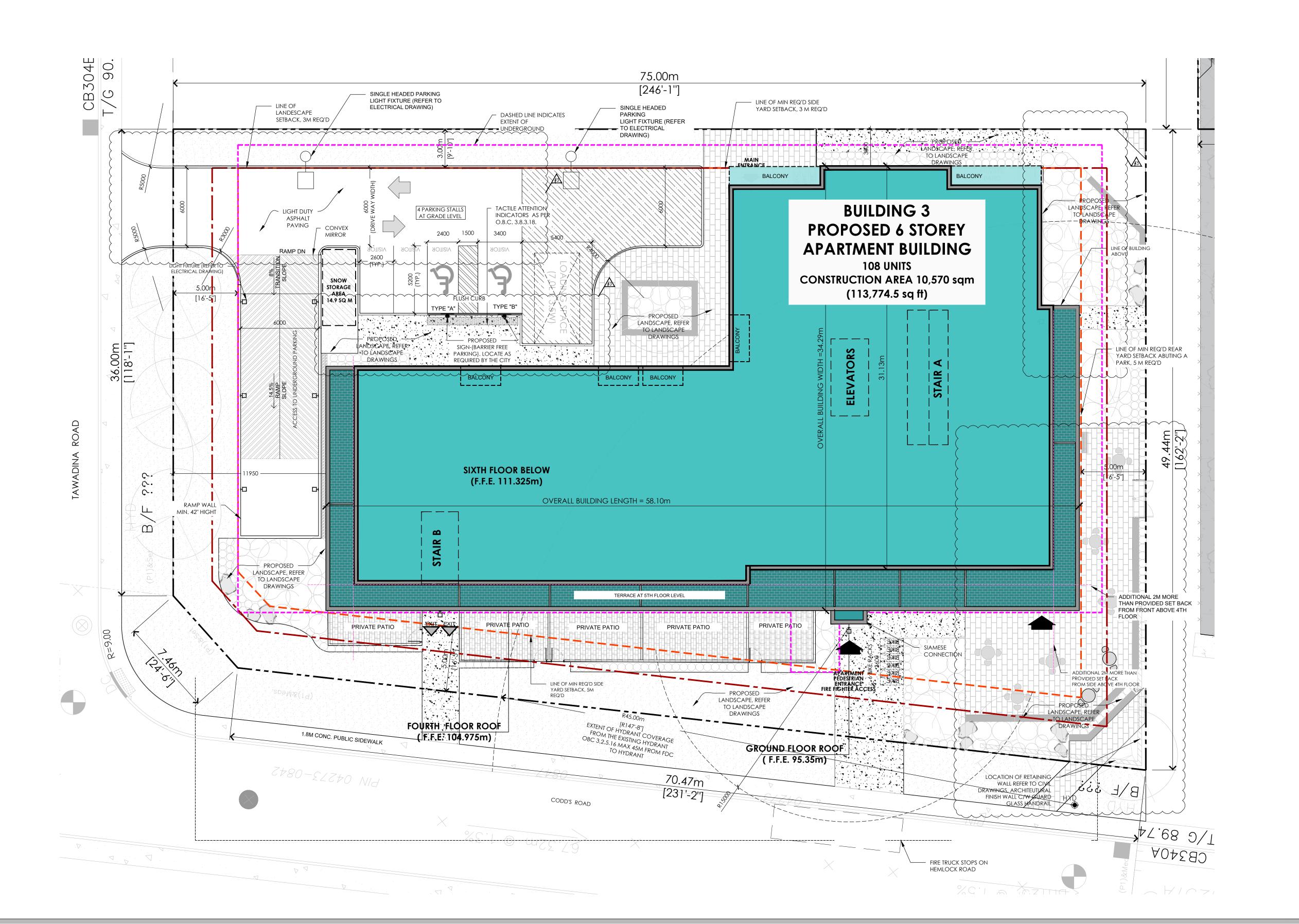
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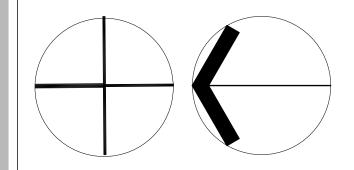
City's Plan Number:

ASP-6

City's Application Number : D07-12-22-0122

			SITE PLA	LEGEND				CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES		SITE PLAN- GENERAL NOTES	
	PROPERTY LINE	^ ±	FIRE DEPARTMENT CONNECTION	ů	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WIT	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE		THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN	
	BUILDING SETBACK LINE	BUILDING SETBACK LINE HOSE BIB (REFER TO MECHANICAL DWGS)		#	RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE		PARKING COUNT	THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO ONTARIO LAND SURVERYORS ANNIS, O'SULLIVAN, VOLLEBEKK		CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION OF THE TOWN		BY-LAWS AND DESIGN CRITERIA	
	LANDSCAPE BUFFER	71		111111	-REFER TO ELECTRICAL DWGS	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW		14 CONCOURSE GATE, SUITE 500 NEPEAN, ONTARIO K2E 7S6	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE		ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE	
CD	CURB DEPRESSION	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	×	2003-499. REFER TO DETAI 2/A102 PROPOSED GRADING (REFER TO CIVIL DWGS)	SUPPLIED AND SUCH DATA IS NOT (613) 727-0850 INCLUDED UNDER SEALS OF EMAIL: Nepean@aovitd.com	MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK		CUTOFF LIGHT DISTRIBUTION AT THE PROFERTY LINE				
	ENTRY/ EXIT ACCESS POINTS		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE	i lea e la	104.04	OF J.Om. THE COST OF RELCOATION	OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/ OWNER	7	ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM				
	EXISTING TOWN HYDRANT		-REFER TO ELECTRICAL		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	, BLOCK\$ 11, 12 and		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING		ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR	
<u> </u>		□⊷	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS				REGISTERED PLAN 4M -1651 CITY OF OTTAWA		CONSTRUCTION.	9	SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE		
101	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS				LANDSCAPED AREA	<i>V.L.L.L.L.L.L.L.</i>	.i			4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	ON THE PROF	ON THE PROPERY	
		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OFFICE OF CONTROL OF CONCRETE BASE W/ ELECTRICAL OFFICE OF CONTROL OF CON		and the second	Mart S. Mart Ma					OF HOVEE MOST COMMET WITH O.B.C. 3.6.		WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION	
			-REFER TO ELECTRICAL DWGS	4 4 4	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					•			





Issued for SPA- 1ST REVIEW REPLY 22/06/30 Issued for CLC- Reply 22/05/20 Issued for CLC Date: Issue/Revision Drawing Issues/Revisions:

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WORK IN PROGRESS



Architect's Stamp



WATERIDGE

APARTMENT BUILDING
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

SITE PLAN - BLDG 3 ROOF LEVEL

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:150	22-06-29	22-004

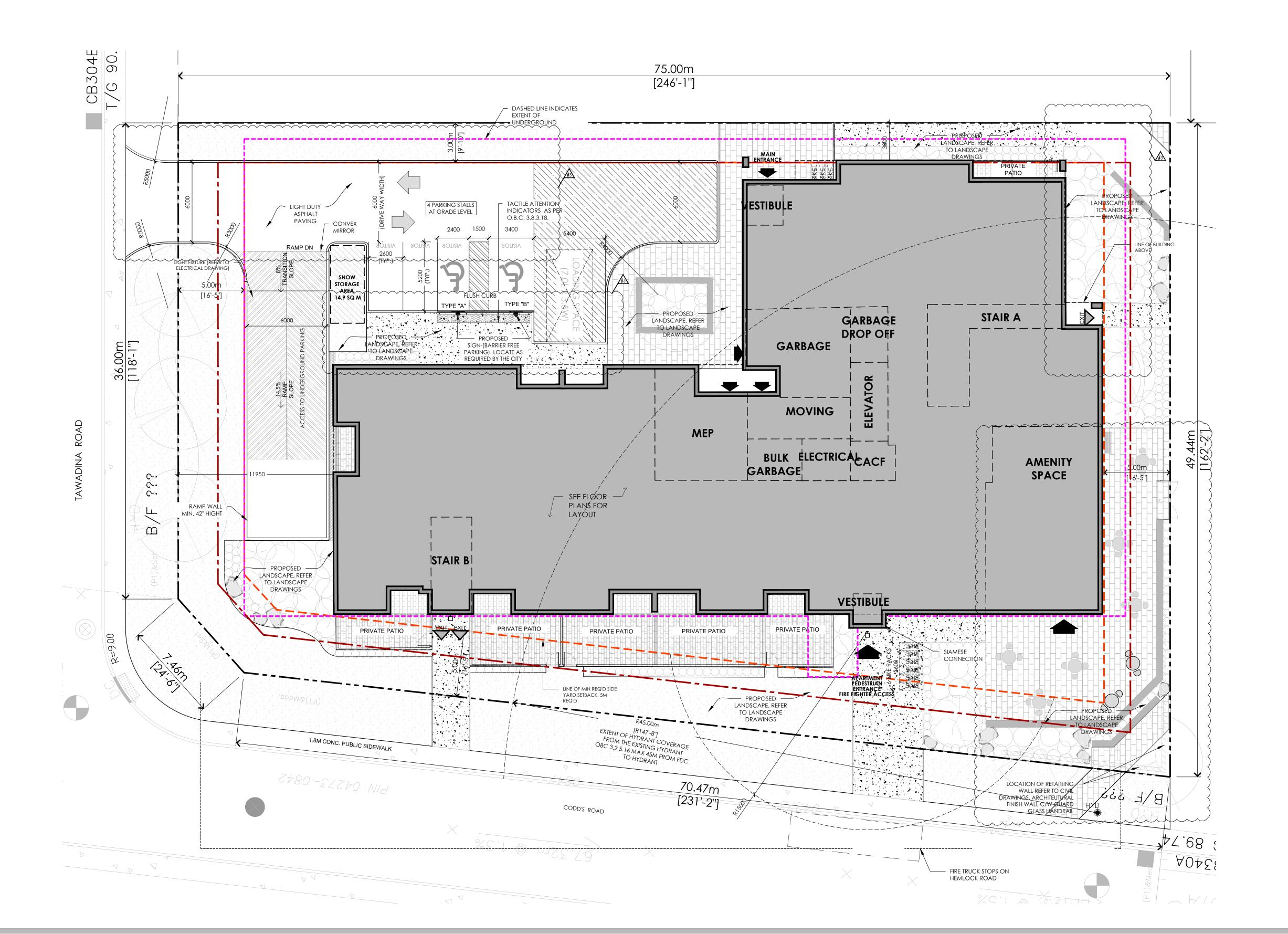
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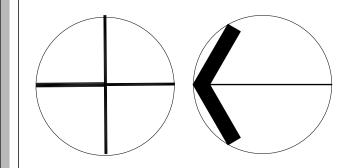
ASP-7

City's Application Number: D07-12-22-0122

City's Plan Number:

		SITE PLA	N LEGEND				CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
PROPERTY LINE	^ ±	FIRE DEPARTMENT CONNECTION	ů	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WITH	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROL AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN
BUILDING SETBACK LINE	√ -			RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE	\bigcirc	PARKING COUNT	THE SURVEY FOR THIS PROPERTY. ONTAR	ONTARIO LAND SURVERYORS	CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION	BY-LAWS AND DESIGN CRITERIA
BOLESING SCIENCE CINE	4×1	HOSE BIB (REFER TO MECHANICAL DWGS)	#	-REFER TO ELECTRICAL DWGS			MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY,	ANNIS, O'SULLIVAN, VOLLEBEKK LTD 14 CONCOURSE GATE, SUITE 500	OF THE TOWN 6	ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWA
LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	111:111	, NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT	NEPEAN, ONTARIO K2E 7S6 (613) 727-0850	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
CD CURB DEPRESSION		PAD MOUNTED HTDRO TRANSFORMER W/ STEEL BOLLARDS	1//////	LIGHT DUTY ASPHALT PAVING)	104.04×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.	MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS THE	ALL DOWNSPOUTS TO BE CONNECTED TO THE STORE	
ENTRY/ EXIT ACCESS POINTS		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE	1-1-1-1-1-1-1	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LEGAL LAND DESCRIPTION:		RESPONSIBILITY OF THE DEVELOPER/ OWNER	DRAINAGE SYSTEM
EXISTING TOWN HYDRANT		-REFER TO ELECTRICAL	1577	(REFER TO LANDSCAPE DWGS)		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	BLOCKS 11, 12 and		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL	ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR
	Гю	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE	Annual Company			SNOW REMOVAL COMPANYI REGISTERED PL	REGISTERED PLAN 4M -1651 CITY OF OTTAWA		UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING CONSTRUCTION.	SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAC
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS		-REFER TO ELECTRICAL DWGS		LANDSCAPED AREA					4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS	ON THE PROPERY
-REFER TO CIVIL DWGS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET	the two stills						OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM
		-REFER TO ELECTRICAL DWGS	11.44.4	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION						CONSTRUCTION





3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM			
2	22/06/30	Issued for CLC- Reply	EM			
1	22/05/20	Issued for CLC	EM			
No.	Date:	Issue/Revision	By:			
Drawing Issues/Revisions:						

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Architect's Stamp



WATERIDGE

APARTMENT BUILDING
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

SITE PLAN - BLDG 3 **GRADE LEVEL**

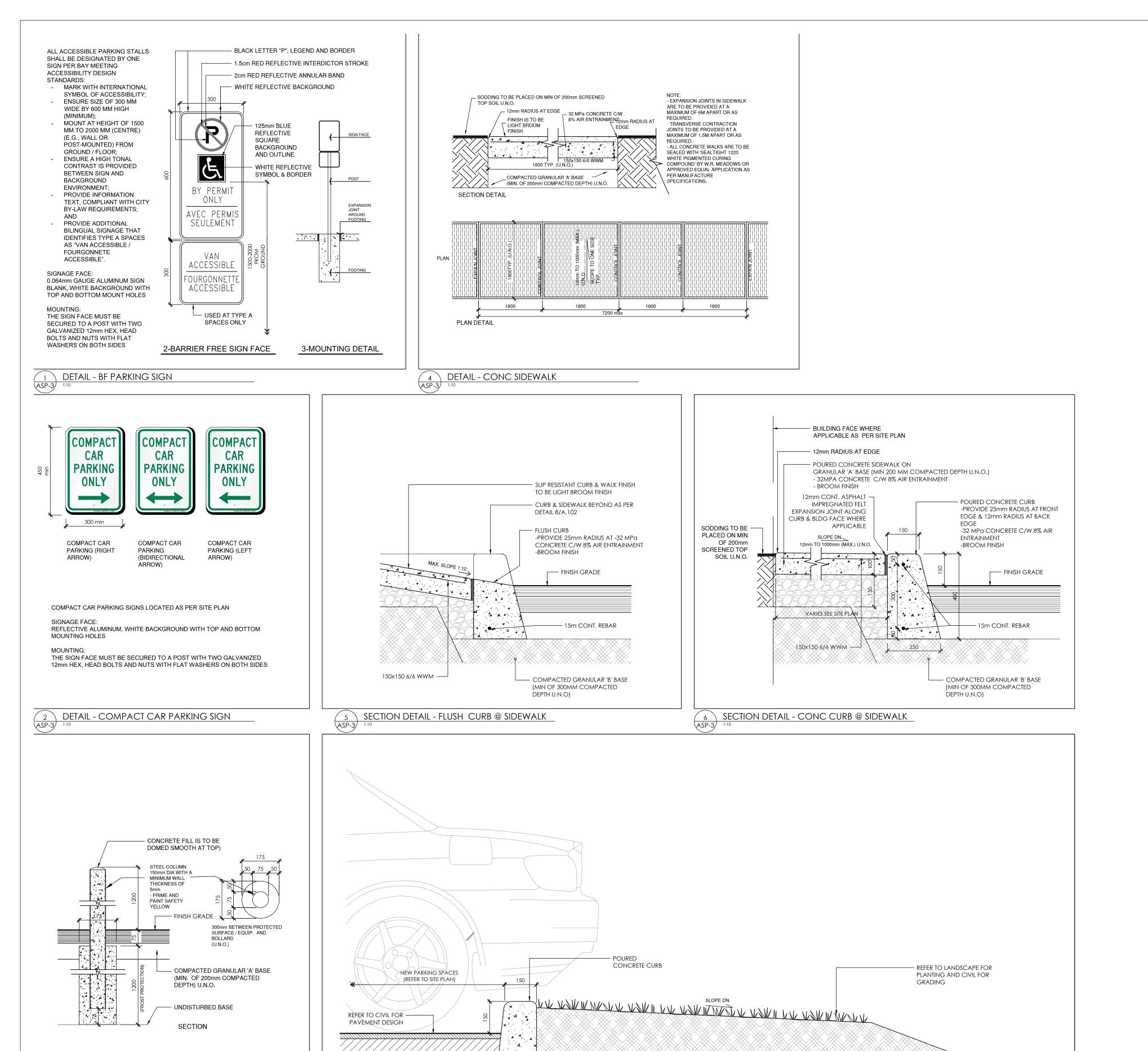
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		Design By:	Drawn By:	Approved By:		
	ı	EM	SF	EM		
		Scale:	Date:	Project No.:		
		1:150	22-06-29	22-004		

Drawing No:

ASP-8

City's Application Number: D07-12-22-0122

City's Plan Number:



3 DETAIL - TYP BOLLARD
ASP-3 1:10

7 DETAIL - CURB AT PARKING

WATERIDGE **APARTMENT BUILDING**

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VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE

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23/03/17

22/06/30

22/05/20

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SITE PLAN-**DETAILS**

Design By: Drawn By: Approved By: EM $\mathsf{E}\mathsf{M}$ Project No.: 22-004 1:10 22-06-29

Drawing No:

Sheet Title:

Key Plan:

ASP-9