

LIST OF DRAWINGS

| ARCHITECTURAL |                   |
|---------------|-------------------|
| A100          | SITE PLAN         |
| A400          | BUILDING SECTIONS |
| A401          | BUILDING SECTIONS |

**COURTYARD**  
BY MARRIOTT

**KANATA - MARRIOTT  
COURTYARD & RESTAURANT  
(SHELL ONLY)**

6 STOREY 115 ROOM HOTEL & RESTAURANT

40 FRANK NIGHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

LIST OF CONSULTANTS

ARCHITECT

Saplys Architects Inc.  
60 St Clair Ave East, Suite 806  
TORONTO, ONTARIO, M4T 1N5



DEVELOPMENT CONSULTANT

API DEVELOPMENT CONSULTANTS INC.  
1464 Cornwall Road, Unit 7  
Oakville ON, L6J 7W4  
P: 905-337-7249



CIVIL

LANDSCAPE

STRUCTURAL

MECHANICAL & ELECTRICAL

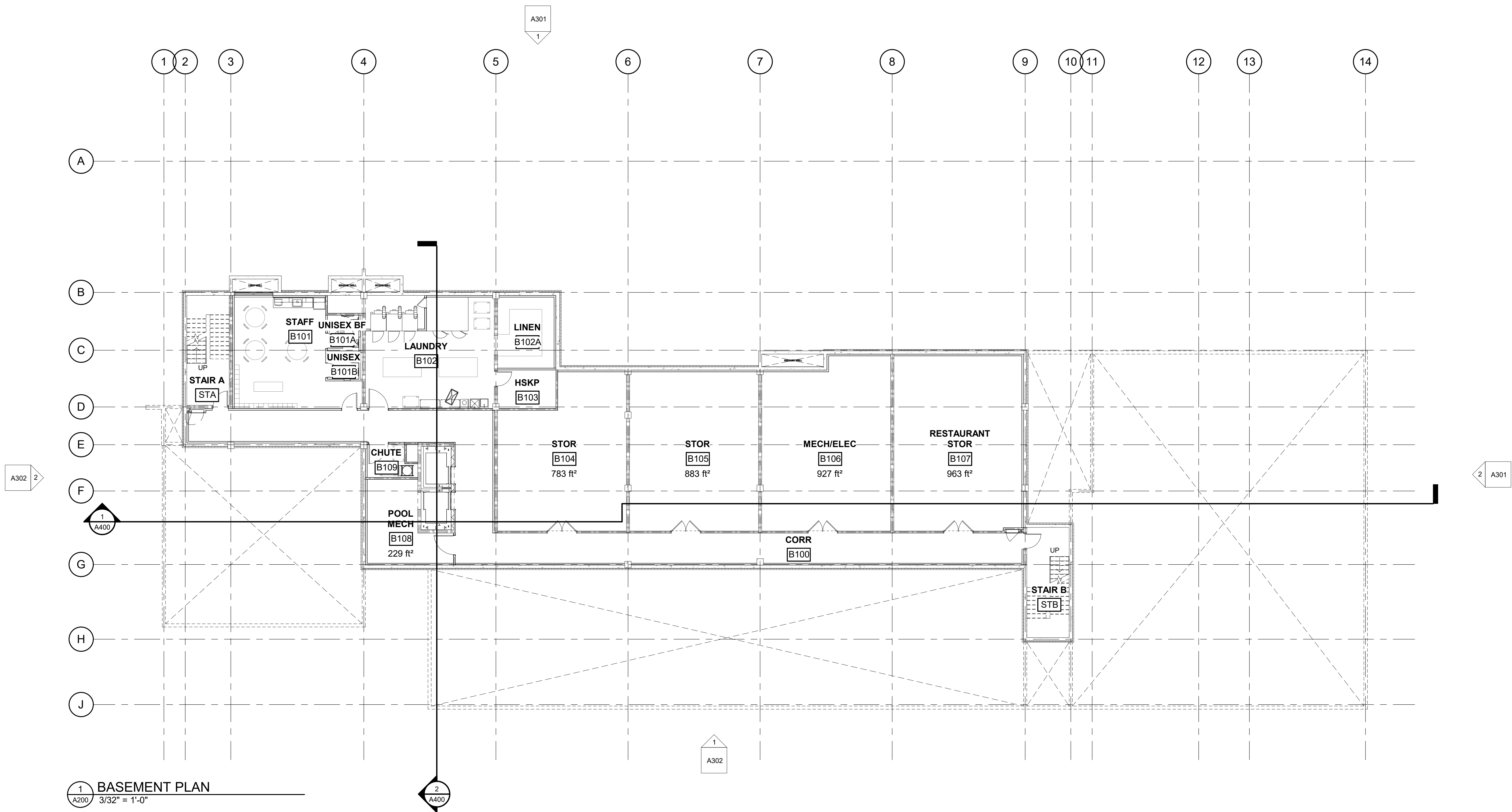
PROJECT NO.  
**S22-029**

**KANATA - MARRIOTT COURTYARD  
& RESTAURANT (SHELL ONLY)**

40 FRANK NIGHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DATE  
**23-02-22**  
**23-04-14**

ISSUED FOR  
**CLIENT REVIEW &  
APPROVAL**  
**ISSUED FOR SPA I**



1 BASEMENT PLAN  
A200 3/32" = 1'-0"

| No. | By | Description              | Date<br>YY-MM-DD |
|-----|----|--------------------------|------------------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14         |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22         |

ISSUANCE SCHEDULE

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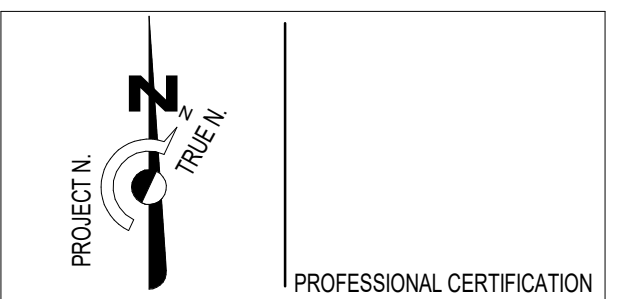
DEVELOPMENT CONSULTANT:  
API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



ARCHITECT:  
SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE. W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



CLIENT:  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7



PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**BASEMENT PLAN**

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: S22-029 | SHEET NO.: A200 | 2

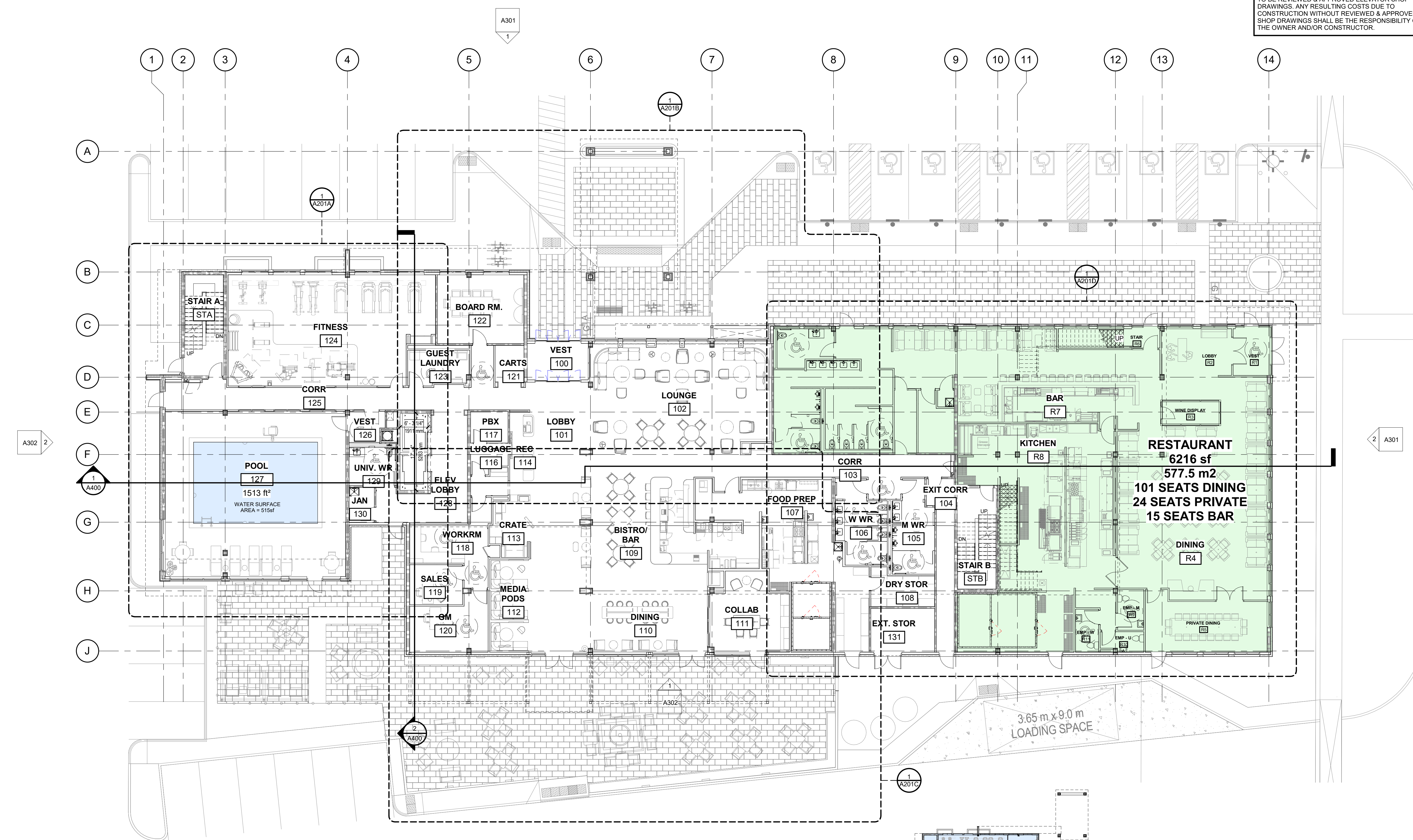
SCALE: 3/32" = 1'-0" | SHEET ISSUE No.

ISSUE DATE: 23-04-14

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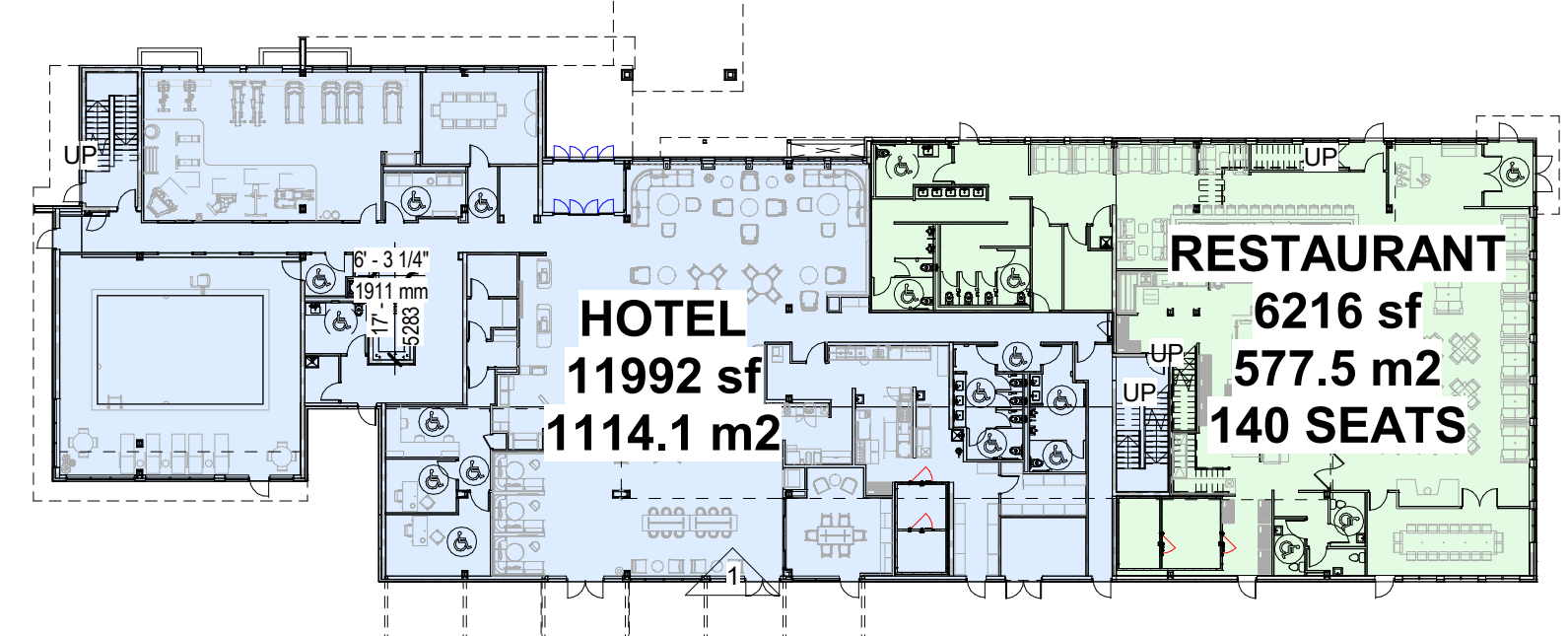
PLOT DATE: 2023-04-13 4:15:02 PM

**NOTE:**  
 THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.



**1** GROUND FLOOR PLAN  
 3/32" = 1'-0"

**2** GROUND FLOOR AREA KEY  
 1/32" = 1'-0"



| No. | By | Description              | Date     |
|-----|----|--------------------------|----------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14 |
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**ARCHITECT:**  
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 55 ST. CLAIR AVE W., SUITE 205  
 TORONTO, ONTARIO M4V 2Y7  
 P: 905.510.0995

**CLIENT:**  
 401 REAL ESTATE TRUST INC  
 2225 Eagle Street N  
 Cambridge, ON  
 N3H 4R7

**PROJECT N.**  
 PROFESSIONAL CERTIFICATION

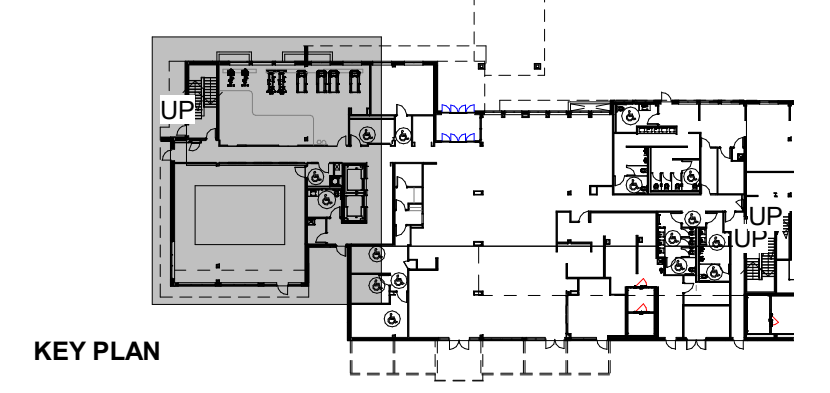
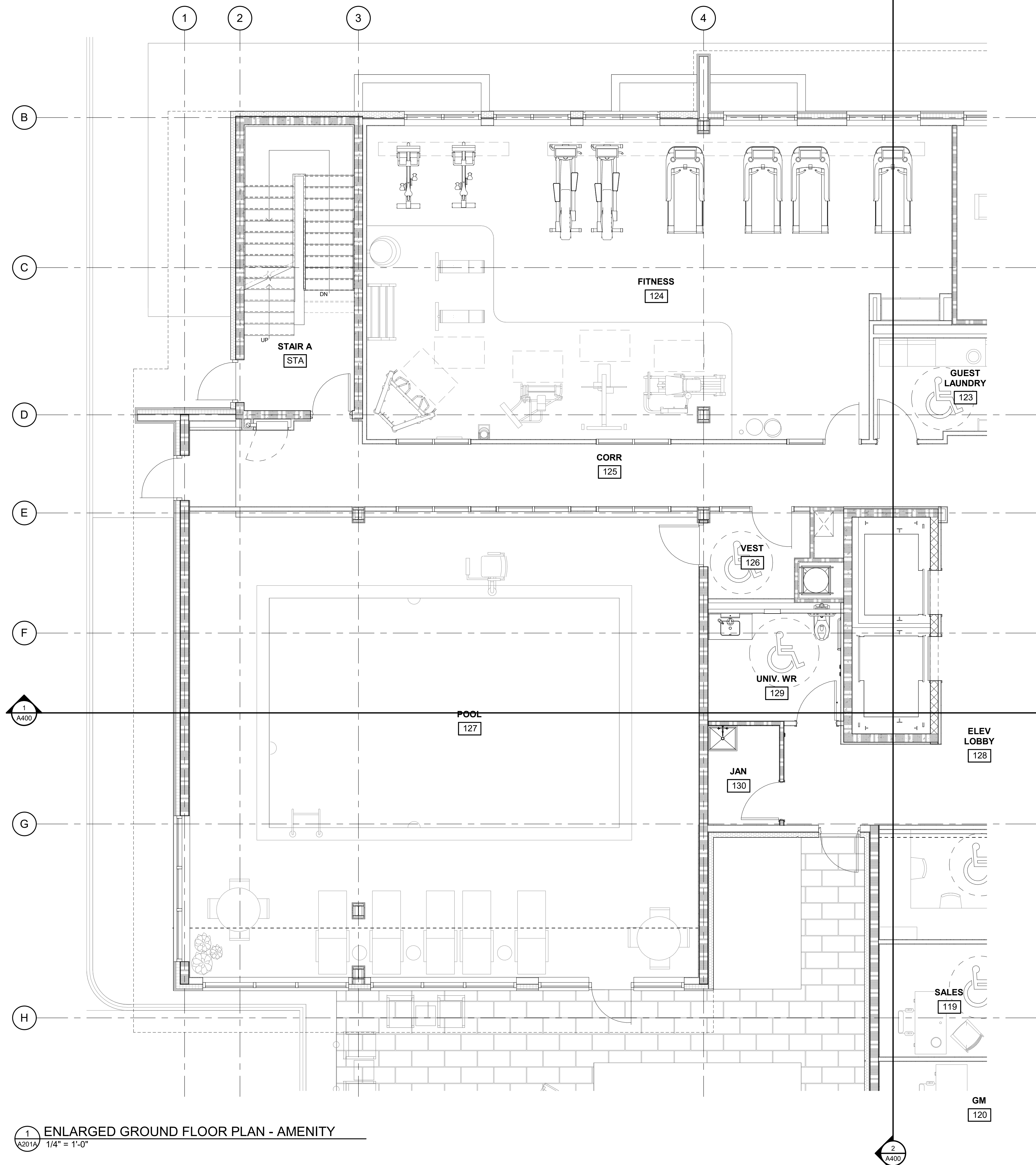
**PROJECT**  
**COURTYARD**  
 BY MARRIOTT  
 KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
**DRAWING TITLE**  
**GROUND FLOOR PLAN**

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I  
 PROJECT NO.: S22-029 | SHEET NO.:  
 SCALE: As indicated  
 ISSUE DATE: 23-04-14

**A201** 2  
 SHEET ISSUE NO.

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PLOT DATE: 2023-04-13 4:15:08 PM



**FIRE RATING LEGEND**

1 HR FIRE RESISTANCE RATING

ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 1 HOUR FIRE RATED ASSEMBLY. FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.

FLOOR PLAN LEGEND

| No. | By | Description              | Date<br>YY-MM-DD |
|-----|----|--------------------------|------------------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14         |
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2225 Eagle Street N  
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N3H 4R7

PROJECT N.

PROFESSIONAL CERTIFICATION

**PROJECT**

**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

**DRAWING TITLE**

**ENLARGED GROUND FLOOR PLAN - AMENITY**

---

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: S22-029 | SHEET NO.:

SCALE: As indicated

ISSUE DATE: 23-04-14

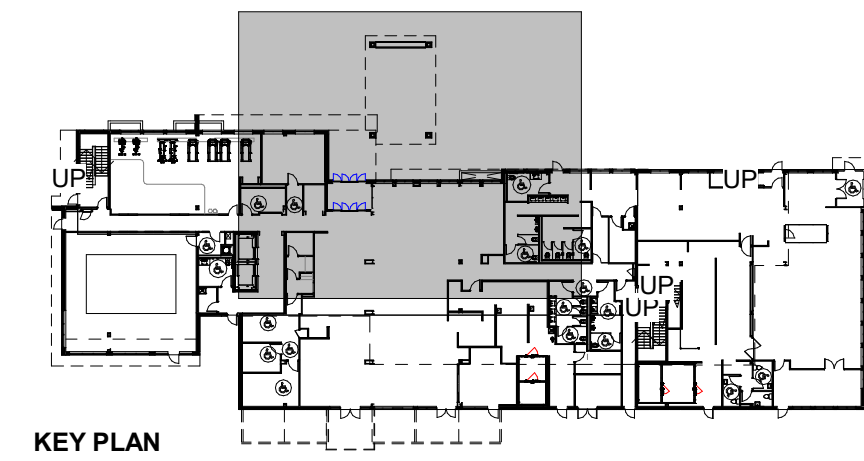
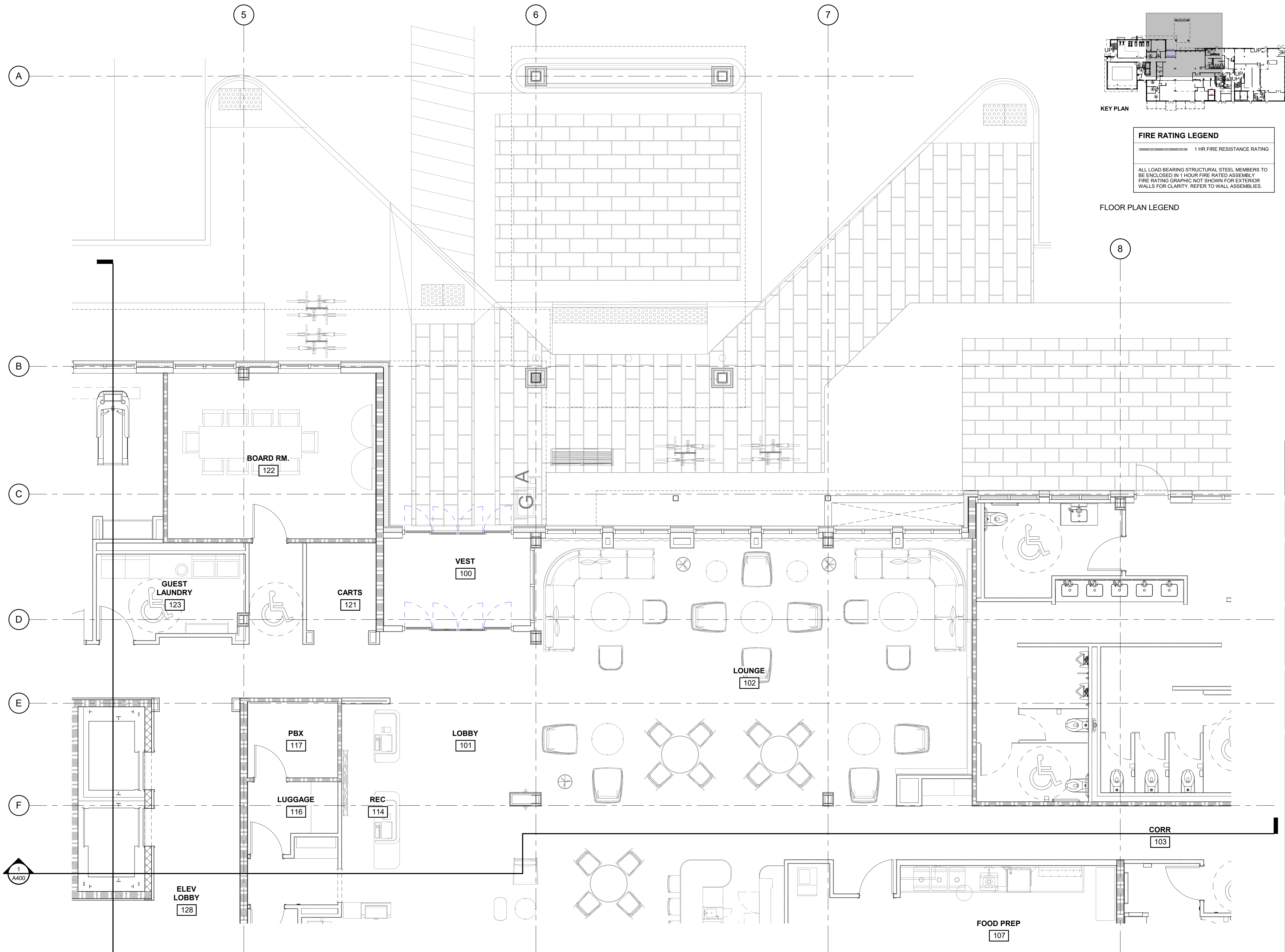
**A201A** | 2 SHEET ISSUE No.

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1 ENLARGED GROUND FLOOR PLAN - AMENITY  
A201A 1/4" = 1'-0"

2 A400

PLOT DATE: 2023-04-13 4:15:11 PM



**FIRE RATING LEGEND**

1 HR FIRE RESISTANCE RATING

ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 1 HOUR FIRE RATED ASSEMBLY. FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.

FLOOR PLAN LEGEND

| No. | By | Description              | Date     |
|-----|----|--------------------------|----------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14 |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22 |

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P: 905.337.7249

**ARCHITECT:**

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TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

**CLIENT:**

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2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROJECT N. PROFESSIONAL CERTIFICATION

**PROJECT**

**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

**DRAWING TITLE**

**ENLARGED GROUND FLOOR PLAN - LOBBY I**

BY: MJA | CHECK: VP | ISSUED FOR: SPA I

PROJECT NO.: S22-029 | SHEET NO.:

SCALE: As indicated

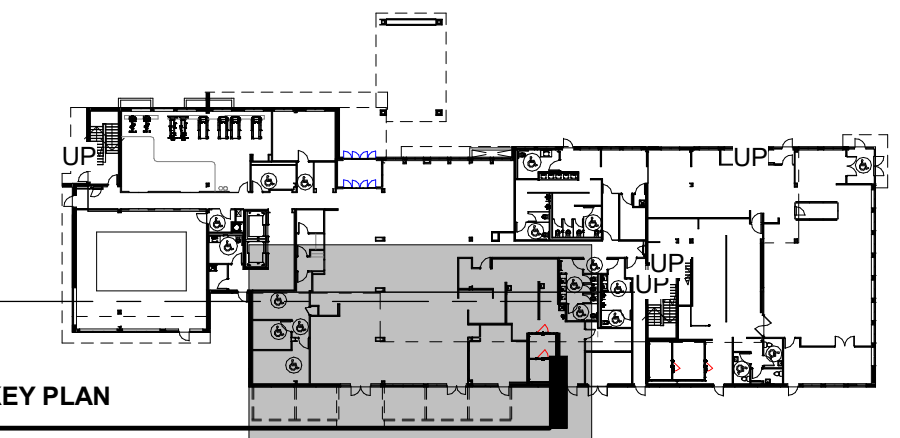
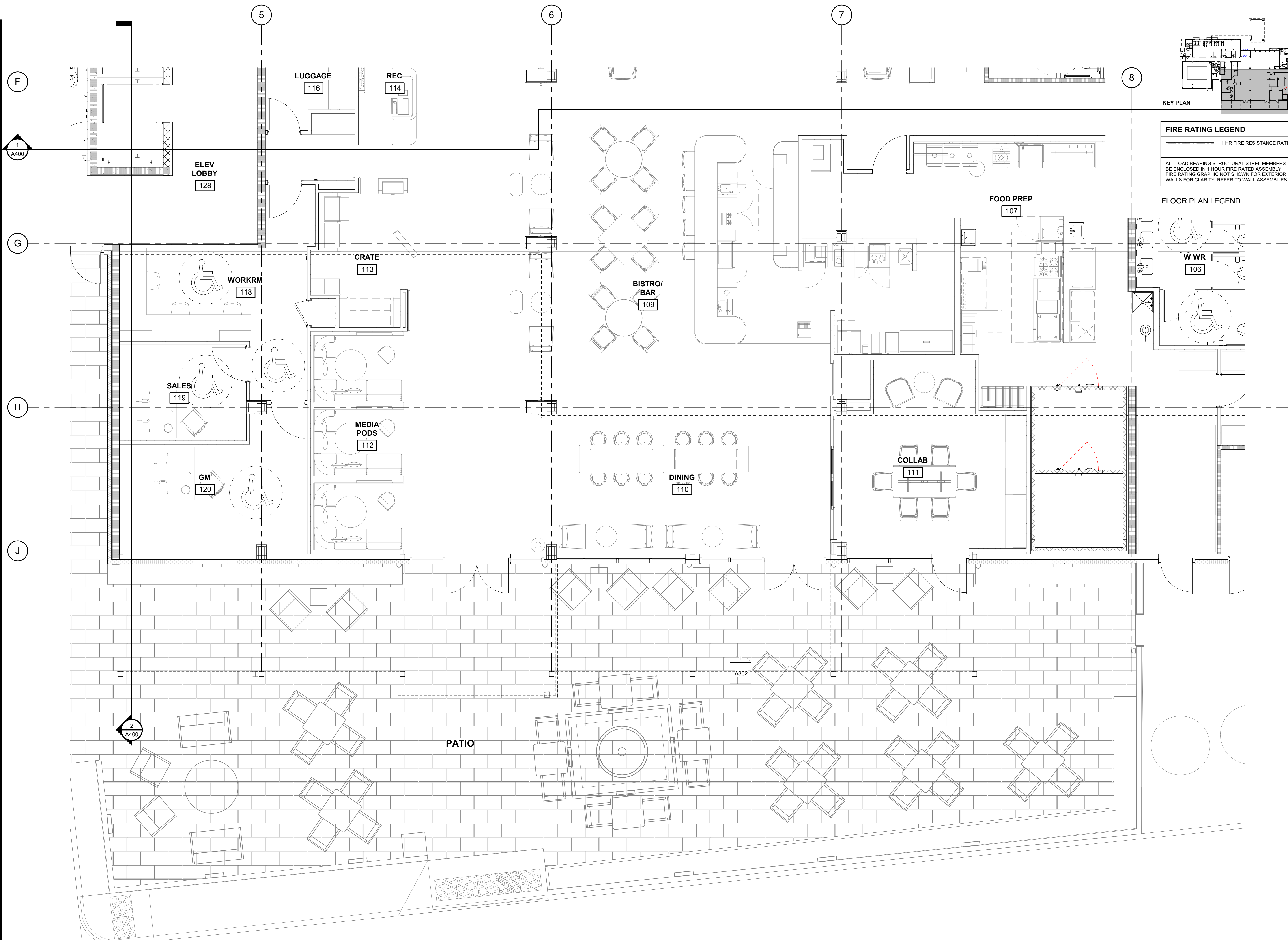
ISSUE DATE: 23-04-14

**A201B** | 2 SHEET ISSUE No.

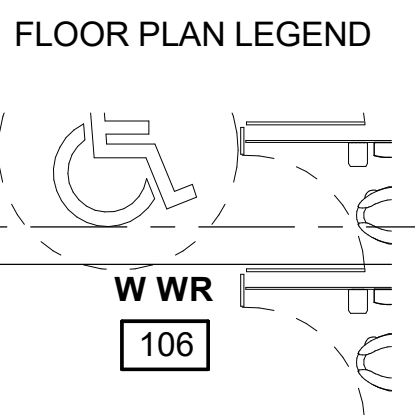
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1 ENLARGED GROUND FLOOR PLAN - LOBBY I  
A201B 1/4" = 1'-0"

PLOT DATE: 2023-04-13 4:15:14 PM



**FIRE RATING LEGEND**  
 1 HR FIRE RESISTANCE RATING  
 ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 1 HOUR FIRE RATED ASSEMBLY FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.



| No. | By | Description              | Date YY-MM-DD |
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| 2   | MA | ISSUED FOR SPA I         | 23-04-14      |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22      |

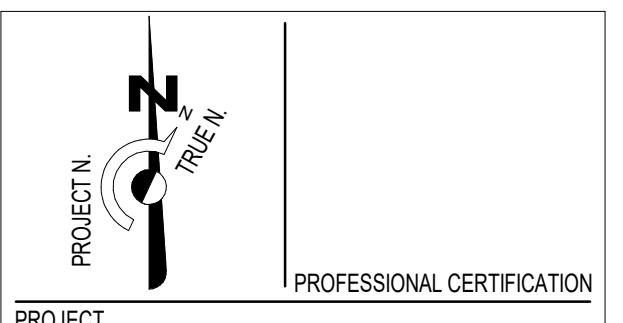
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 N3H 4R7



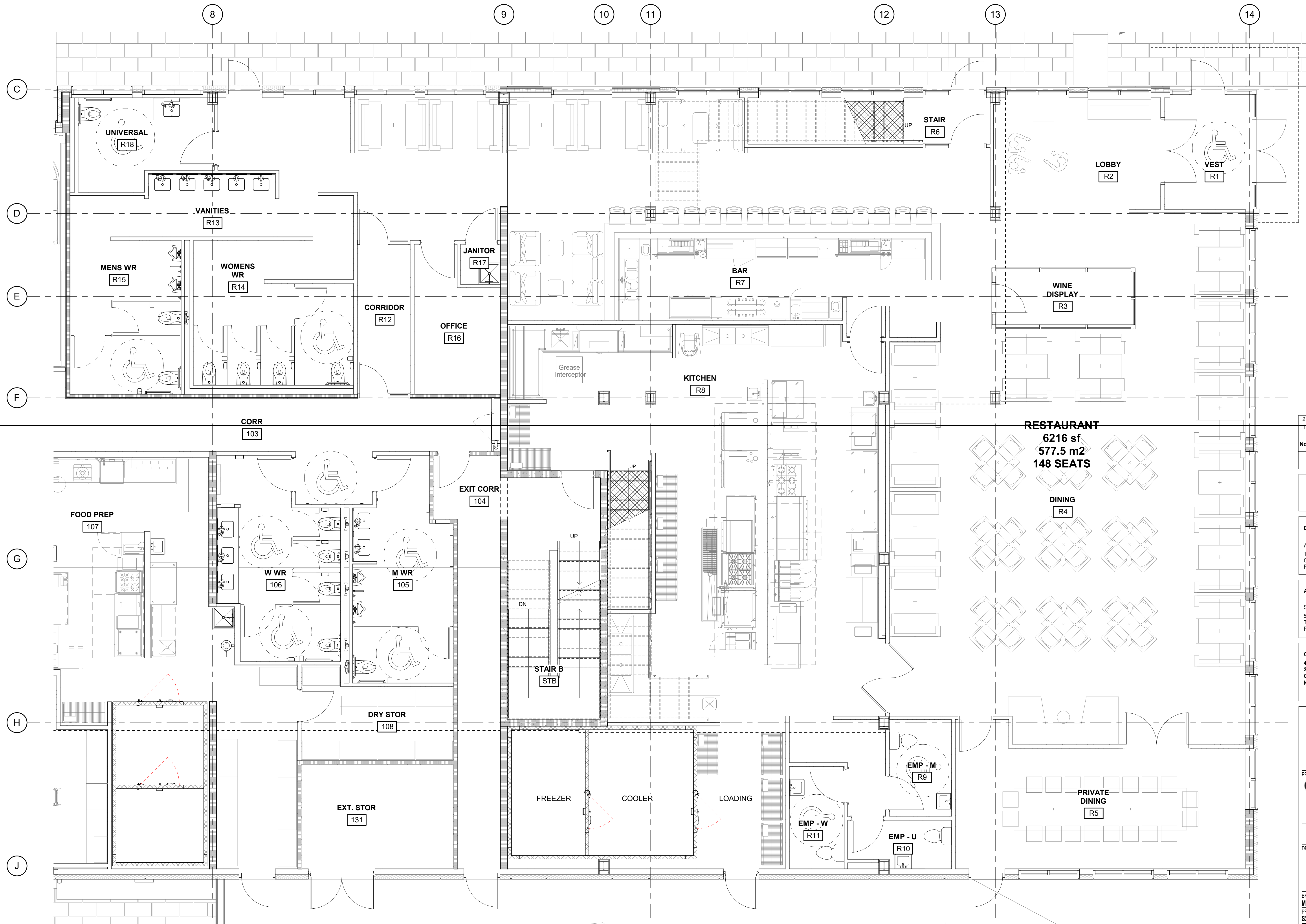
**PROJECT**  
**COURTYARD**  
 BY MARRIOTT  
 KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
**DRAWING TITLE**  
**ENLARGED GROUND FLOOR PLAN - LOBBY II**

BY: MJA | CHECK: JVP | ISSUED FOR: ISSUED FOR SPA I  
 PROJECT NO.: S22-029 | SHEET NO.:  
 SCALE: As indicated  
 ISSUE DATE: 23-04-14

**A201C** 2 SHEET ISSUE No.

1 ENLARGED GROUND FLOOR PLAN - LOBBY II  
 A201C 1/4" = 1'-0"

PLOT DATE: 2023-04-13 4:15:17 PM



| No. | By | Description              | Date     |
|-----|----|--------------------------|----------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14 |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22 |

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**DEVELOPMENT CONSULTANT:**

API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



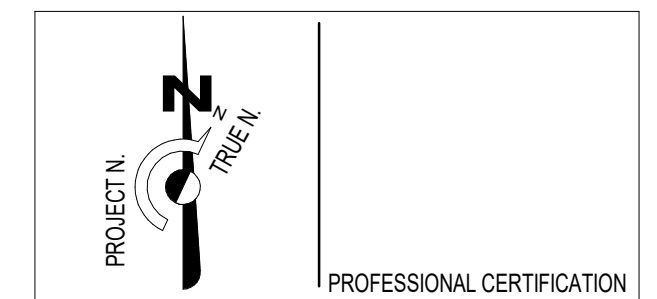
**ARCHITECT:**

SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE. W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



**CLIENT:**

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7



**PROJECT**

**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

**DRAWING TITLE**

**ENLARGED GROUND FLOOR PLAN - RESTAURANT**

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: S22-029 | SHEET NO.: 2

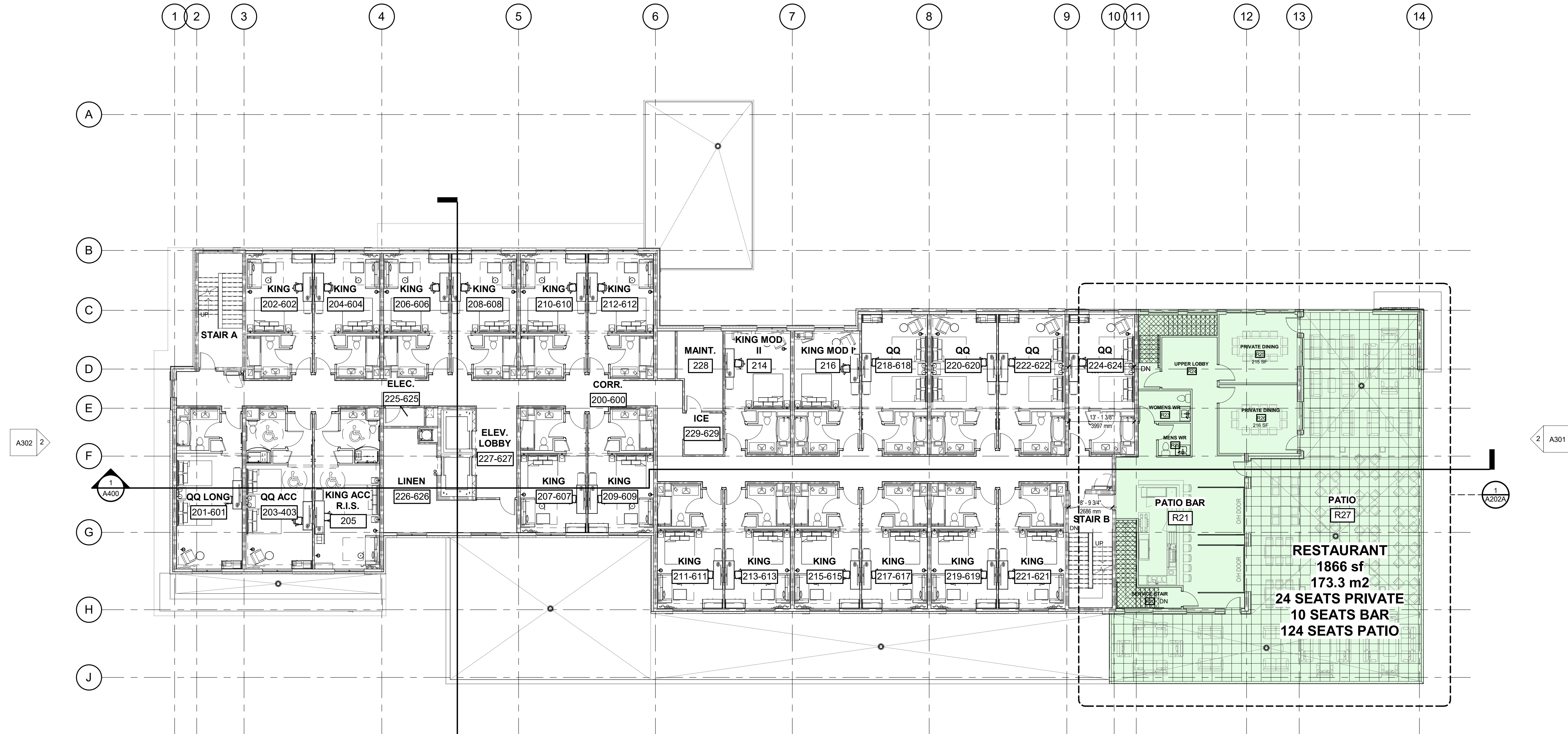
SCALE: 1/4" = 1'-0"

ISSUE DATE: 23-04-14

**A201D** | SHEET ISSUE NO. 2

1 ENLARGED GROUND FLOOR PLAN - RESTAURANT  
A201D 1/4" = 1'-0"

PLOT DATE: 2023-04-13 4:15:19 PM



A302 2

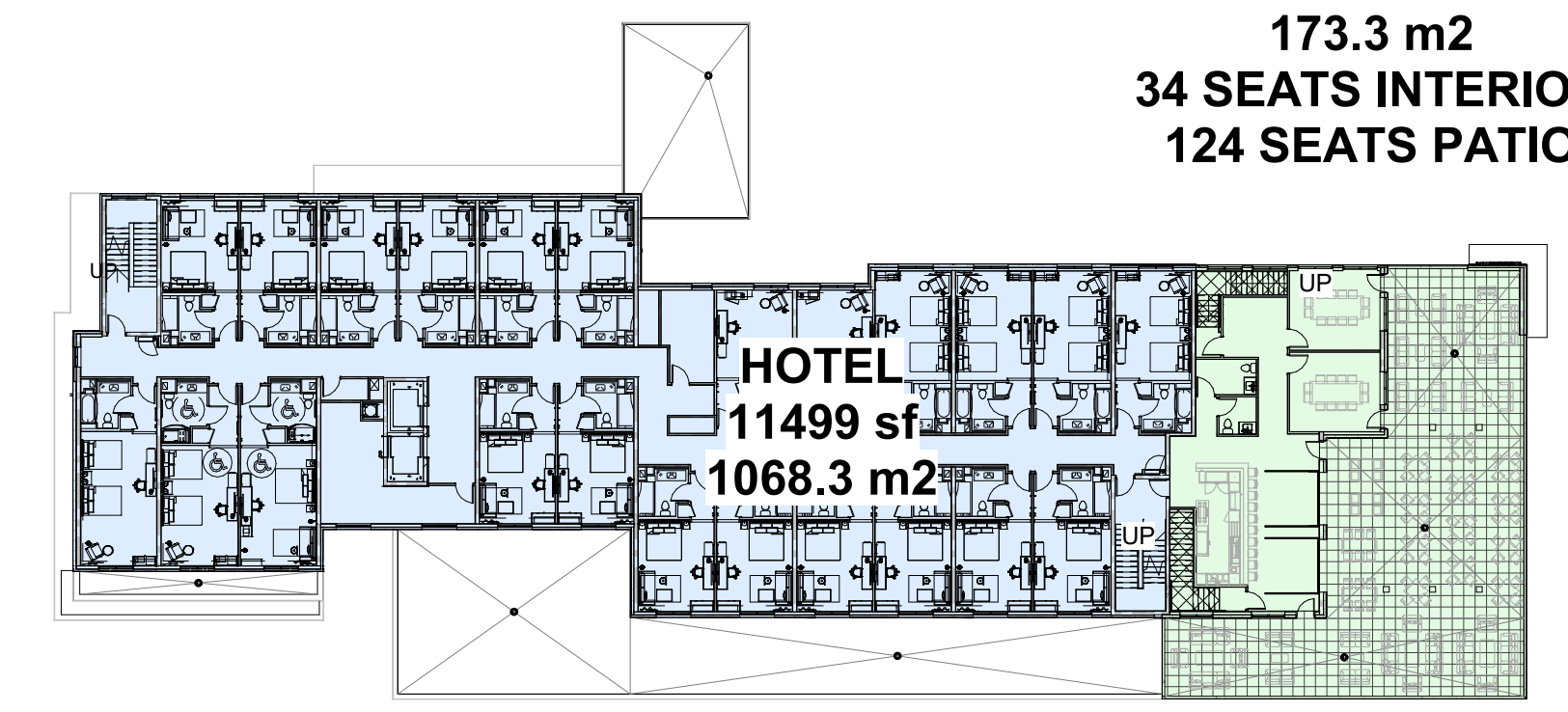
A301

1 2ND FLOOR - OVERALL PLAN  
A202 3/32" = 1'-0"

| GFA (ZONING)              |                 |                       |
|---------------------------|-----------------|-----------------------|
| Name                      | Area (Imperial) | Area (Metric)         |
| BASEMENT                  | 6248 SF         | 766.3 m <sup>2</sup>  |
| GROUND FLOOR - HOTEL      | 11992 SF        | 1114.1 m <sup>2</sup> |
| GROUND FLOOR - RESTAURANT | 6216 SF         | 577.5 m <sup>2</sup>  |
| 2ND FLOOR - HOTEL         | 11499 SF        | 1068.3 m <sup>2</sup> |
| 2ND FLOOR - RESTAURANT    | 1866 SF         | 173.3 m <sup>2</sup>  |
| 3RD FLOOR                 | 11670 SF        | 1084.2 m <sup>2</sup> |
| 4TH FLOOR                 | 11670 SF        | 1084.2 m <sup>2</sup> |
| 5TH FLOOR                 | 11670 SF        | 1084.2 m <sup>2</sup> |
| 6TH FLOOR                 | 11674 SF        | 1084.5 m <sup>2</sup> |
| GFA per ZONING            | 86504 SF        | 8036.4 m <sup>2</sup> |

FLOOR PLAN LEGEND

| UNIT TYPE              | SUITE MIX |    |    |    |    |    | T   | MIX %  | Total Mix | Mix %  | Total Acc. |
|------------------------|-----------|----|----|----|----|----|-----|--------|-----------|--------|------------|
|                        | 1         | 2  | 3  | 4  | 5  | 6  |     |        |           |        |            |
| KING                   | -         | 14 | 14 | 14 | 14 | 14 | 70  | 60.9%  | 81        | 70.4%  | 7.8%       |
| KING MOD 1             | -         | 1  | -  | -  | -  | -  | 1   | 0.9%   |           |        |            |
| KING MOD 2             | -         | 1  | -  | -  | -  | -  | 1   | 0.9%   |           |        |            |
| KING ACC               | -         | -  | 1  | 1  | 1  | 1  | 4   | 3.5%   |           |        |            |
| KING ACC - RIS         | -         | 1  | -  | -  | -  | -  | 1   | 0.9%   |           |        |            |
| KING ACC SUITE         | -         | -  | 1  | 1  | 1  | 1  | 4   | 3.5%   |           |        |            |
| TOTAL KING GUESTROOMS  | 0         | 17 | 16 | 16 | 16 | 16 | 81  | 70.4%  |           |        |            |
| QQ                     | -         | 4  | 4  | 4  | 4  | 4  | 20  | 17.4%  | 34        | 29.6%  | 2.6%       |
| QQ MOD                 | -         | -  | 1  | 1  | 1  | 1  | 4   | 3.5%   |           |        |            |
| QQ LONG                | -         | 1  | 1  | 1  | 2  | 2  | 7   | 6.1%   |           |        |            |
| QQ ACC                 | -         | 1  | 1  | 1  | -  | -  | 3   | 2.6%   |           |        |            |
| TOTAL QUEEN GUESTROOMS | 0         | 6  | 7  | 7  | 7  | 7  | 34  | 29.6%  |           |        |            |
| TOTAL PER FLOOR        | 0         | 23 | 23 | 23 | 23 | 23 | 115 | 100.0% | 115       | 100.0% | 10.4%      |



2 2ND FLOOR AREA KEY  
A202 1/32" = 1'-0"

RESTAURANT  
1866 sf  
173.3 m<sup>2</sup>  
34 SEATS INTERIOR  
124 SEATS PATIO

| No. | By | Description              | Date     |
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P: 905.337.7249

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TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

CLIENT:  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROJECT NO. 218-11  
PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT  
KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
DRAWING TITLE  
**2nd FLOOR PLAN**

BY: [Signature] CHECK: [Signature] ISSUED FOR: ISSUED FOR SPA I  
PROJECT NO.: S22-029 SHEET NO.:  
SCALE: As indicated  
ISSUE DATE: 23-04-14

**A202** 2  
SHEET  
ISSUE No.

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PLOT DATE: 2023-04-13 4:15:25 PM





1 ENLARGED 2nd FLOOR PLAN - RESTAURANT  
 A202A 1/4" = 1'-0"

| No. | By | Description              | Date<br>YY-MM-DD |
|-----|----|--------------------------|------------------|
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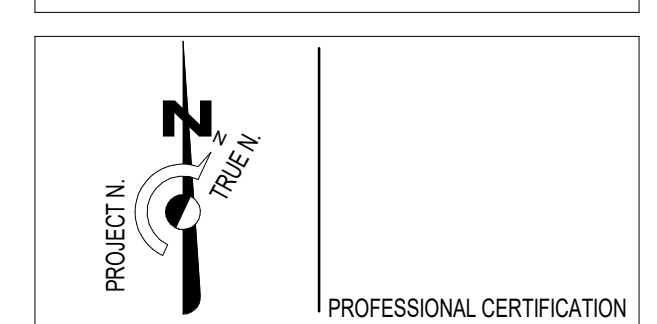
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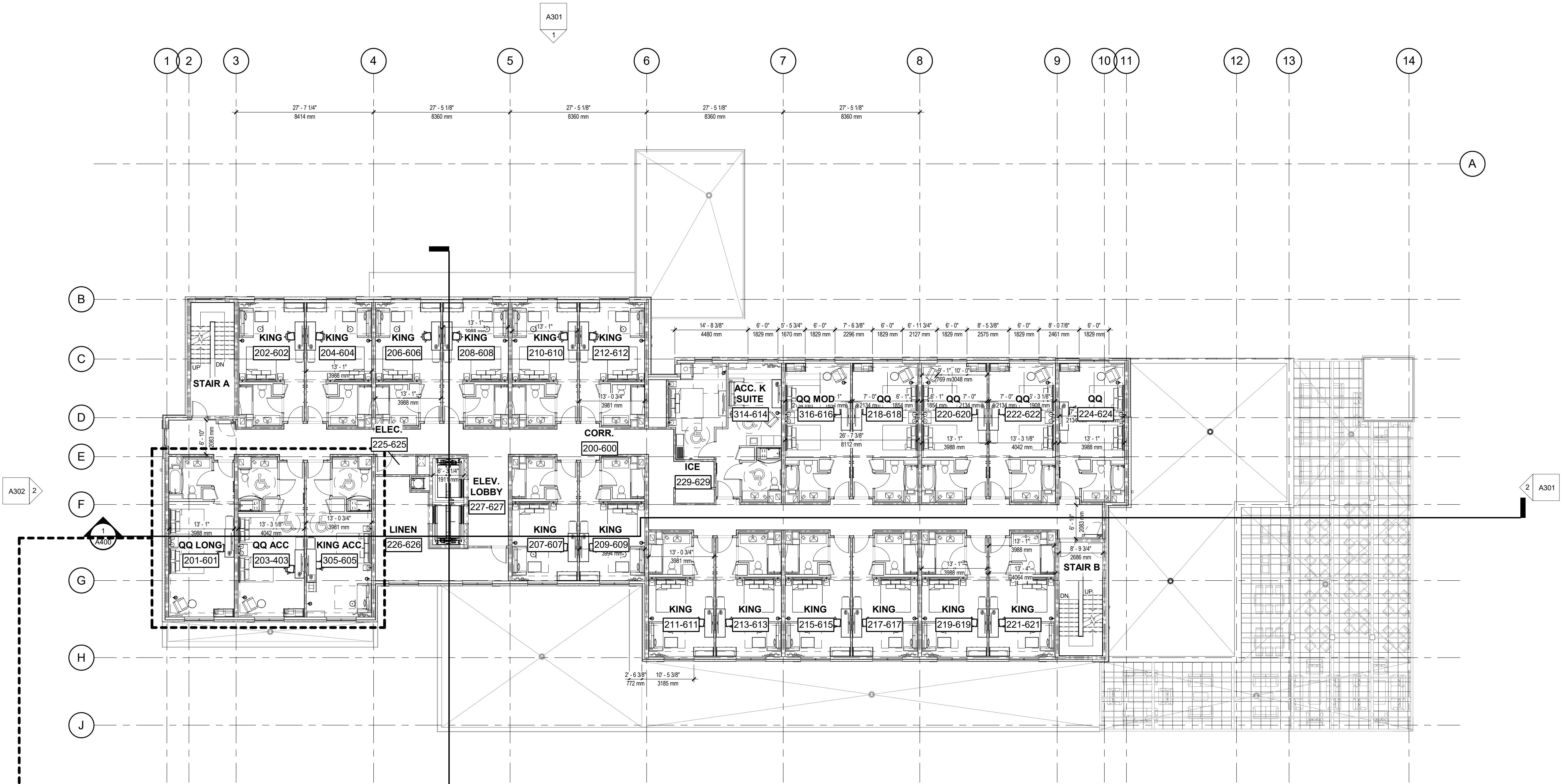
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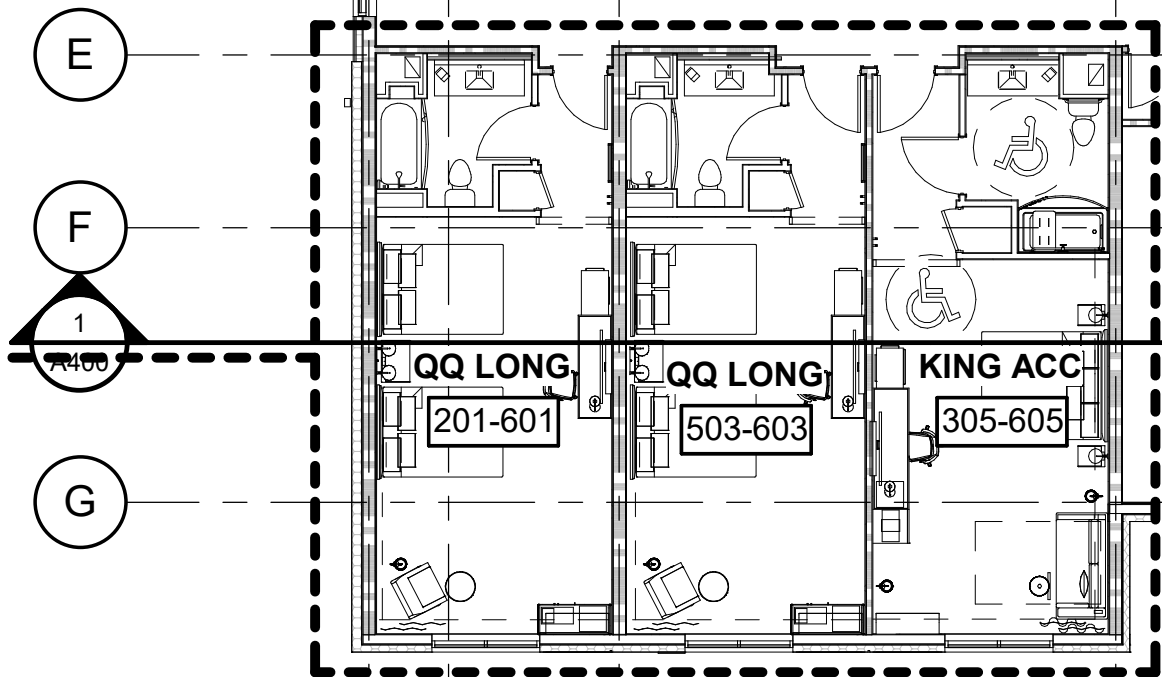
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**COURTYARD**  
 BY MARRIOTT  
 KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
**DRAWING TITLE**  
 ENLARGED 2nd FLOOR PLAN - RESTAURANT

BY: [Signature] CHECK: [Signature] ISSUED FOR: Author Check/ISSUED FOR SPA I  
 PROJECT NO.: S22-029 SHEET NO.: 2  
 SCALE: 1/4" = 1'-0"  
 ISSUE DATE: 23-04-14  
**A202A** SHEET ISSUE No. 2  
 © SAPIYS ARCHITECTS INC.

PLOT DATE: 2023-04-13 4:15:27 PM



1 TYPICAL FLOOR PLAN (3rd & 4th)  
A203 3/32" = 1'-0"



2 TYPICAL FLOOR PLAN (5th & 6th) - PARTIAL PLAN  
A203 3/32" = 1'-0"

| GFA (ZONING)              |                 |                       |
|---------------------------|-----------------|-----------------------|
| Name                      | Area (Imperial) | Area (Metric)         |
| BASEMENT                  | 8248 SF         | 766.3 m <sup>2</sup>  |
| GROUND FLOOR - HOTEL      | 11992 SF        | 1114.1 m <sup>2</sup> |
| GROUND FLOOR - RESTAURANT | 6216 SF         | 577.5 m <sup>2</sup>  |
| 2ND FLOOR - HOTEL         | 11499 SF        | 1068.3 m <sup>2</sup> |
| 2ND FLOOR - RESTAURANT    | 1866 SF         | 173.3 m <sup>2</sup>  |
| 3RD FLOOR                 | 11670 SF        | 1084.2 m <sup>2</sup> |
| 4TH FLOOR                 | 11670 SF        | 1084.2 m <sup>2</sup> |
| 5TH FLOOR                 | 11670 SF        | 1084.2 m <sup>2</sup> |
| 6TH FLOOR                 | 11674 SF        | 1084.5 m <sup>2</sup> |
| GFA per ZONING            | 86504 SF        | 8036.4 m <sup>2</sup> |

| UNIT TYPE              | SUITE MIX |    |    |    |    |    | MIX % | Total Mix | Mix % | Total Acc. |       |
|------------------------|-----------|----|----|----|----|----|-------|-----------|-------|------------|-------|
|                        | 1         | 2  | 3  | 4  | 5  | 6  |       |           |       |            |       |
| KING                   | -         | 14 | 14 | 14 | 14 | 14 | 70    | 60.9%     | 81    | 70.4%      | 7.8%  |
| KING MOD 1             | -         | 1  | -  | -  | -  | -  | 1     | 0.9%      |       |            |       |
| KING MOD 2             | -         | 1  | -  | -  | -  | -  | 1     | 0.9%      |       |            |       |
| KING ACC               | -         | -  | 1  | 1  | 1  | 1  | 4     | 3.5%      |       |            |       |
| KING ACC - RIS         | -         | 1  | -  | -  | -  | -  | 1     | 0.9%      |       |            |       |
| KING ACC SUITE         | -         | -  | 1  | 1  | 1  | 1  | 4     | 3.5%      |       |            |       |
| TOTAL KING GUESTROOMS  | 0         | 17 | 16 | 16 | 16 | 16 | 81    | 70.4%     |       |            |       |
| QQ                     | -         | 4  | 4  | 4  | 4  | 4  | 20    | 17.4%     | 34    | 29.6%      | 2.6%  |
| QQ MOD                 | -         | 1  | 1  | 1  | 1  | 1  | 4     | 3.5%      |       |            |       |
| QQ LONG                | -         | 1  | 1  | 1  | 2  | 2  | 7     | 6.1%      |       |            |       |
| QQ ACC                 | -         | 1  | 1  | 1  | -  | -  | 3     | 2.6%      |       |            |       |
| TOTAL QUEEN GUESTROOMS | 0         | 6  | 7  | 7  | 7  | 7  | 34    | 29.6%     |       |            |       |
| TOTAL PER FLOOR        | 0         | 23 | 23 | 23 | 23 | 23 | 115   | 100.0%    | 115   | 100.0%     | 10.4% |

| No. | By | Description              | Date     |
|-----|----|--------------------------|----------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14 |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22 |

ISSUANCE SCHEDULE

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DEVELOPMENT CONSULTANT:  
API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249

ARCHITECT:  
SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

CLIENT:  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7



PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

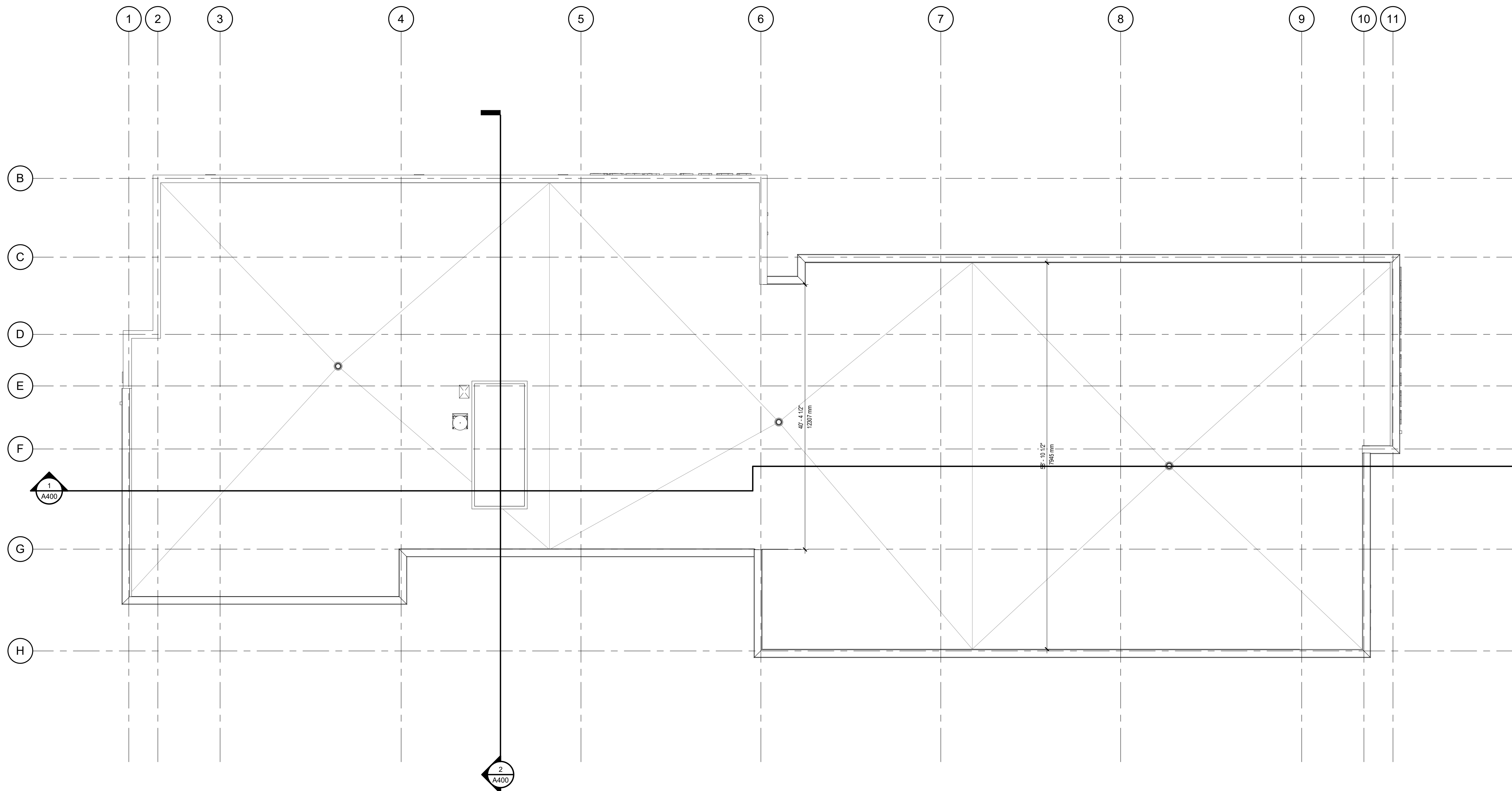
40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
DRAWING TITLE  
**TYPICAL FLOOR PLAN (3rd-6th)**

BY: [CHECK] ISSUED FOR SPA I  
Author: [CHECK] ISSUED FOR SPA I  
PROJECT NO.: S22-029  
SHEET NO.:  
SCALE:  
As indicated  
ISSUE DATE:  
23-04-14

**A203** 2 SHEET  
ISSUE NO.

PLOT DATE: 2023-04-13 4:15:30 PM



1 ROOF PLAN  
A205 1/8" = 1'-0"

| No. | By | Description              | Date<br>YY-MM-DD |
|-----|----|--------------------------|------------------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14         |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22         |

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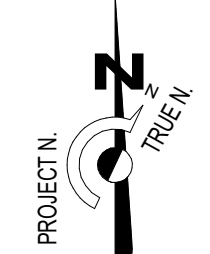
**DEVELOPMENT CONSULTANT:**  
API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



**ARCHITECT:**  
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55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



**CLIENT:**  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7



PROJECT N. 10118  
PROFESSIONAL CERTIFICATION

**PROJECT**  
**COURTYARD**  
BY MARRIOTT

**KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)**  
40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**ROOF PLAN**

BY: [Signature] CHECK: [Signature] ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: S22-029 SHEET NO.: 2

SCALE: 1/8" = 1'-0"  
ISSUE DATE: 23-04-14

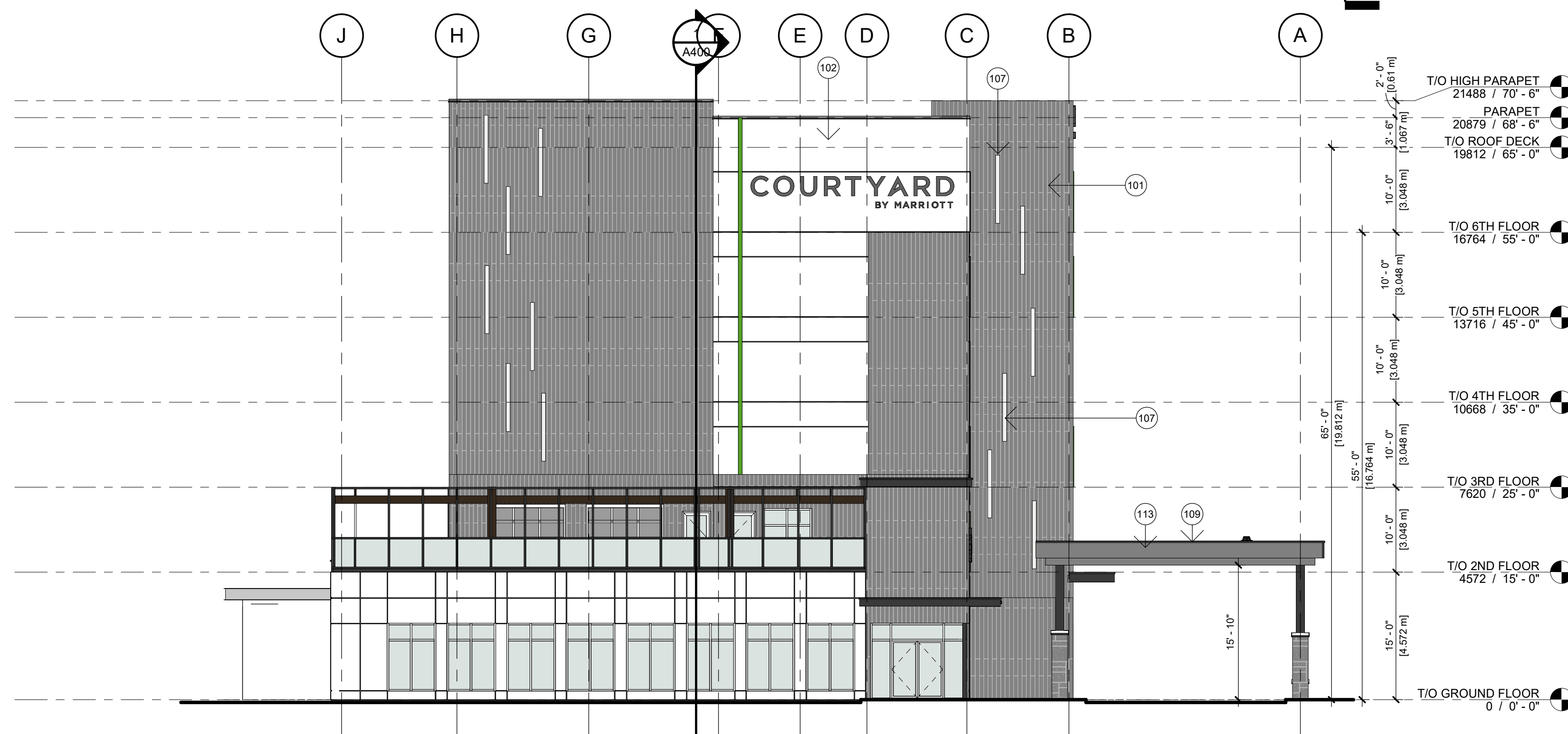
**A205** 2 SHEET ISSUE No.

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PLOT DATE: 2023-04-13 4:15:31 PM



1 NORTH ELEVATION  
A301 3/32" = 1'-0"



2 EAST ELEVATION  
A301 3/32" = 1'-0"

2'-0" T/O HIGH PARAPET 21488 / 70'-6"  
 PARAPET 20879 / 68'-6"  
 T/O ROOF DECK 19812 / 65'-0"  
 1005  
 3'-6"  
 10'-0"  
 3060  
 10'-0"  
 T/O 6TH FLOOR 16764 / 55'-0"  
 3060  
 10'-0"  
 T/O 5TH FLOOR 13716 / 45'-0"  
 3060  
 10'-0"  
 T/O 4TH FLOOR 10668 / 35'-0"  
 19810  
 65'-0"  
 18764 m  
 10'-0"  
 T/O 3RD FLOOR 7620 / 25'-0"  
 3060  
 10'-0"  
 T/O 2ND FLOOR 4572 / 15'-0"  
 4570  
 15'-0"  
 T/O GROUND FLOOR 0 / 0'-0"

**BIRD COLLISION DETERRENCE:**

1. MINIMUM 90% OF ALL GLAZING FROM GRADE LEVEL TO 18M ABOVE GRADE TO RECEIVE 4mm VISUAL MARKERS APPLIED TO FIRST SURFACE OF THE GLASS WITH A MAXIMUM SPACING OF 50mm X 50mm AS PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 2.

2. ALL EXTERIOR BUILDING LIGHTING TO BE:  
 • DARK SKY COMPLAINT, FULL-CUTOFF  
 • CONNECTED TO MOTION DETECTORS OR OTHER AUTOMATIC LIGHTING CONTROLS TO EXTINGUISH NON-ESSENTIAL LIGHTING BETWEEN 11PM AND 6AM  
 • MINIMUM WATTAGE REQUIRED TO MEET ONTARIO BUILDING CODE  
 • PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 6

**EXTERIOR ELEVATION LEGEND**

- 101 ALUMINIUM COMPOSITE MATERIAL (ACM)(COLOUR: GREY)
- 102 FIELD APPLIED EXTERIOR INSULATED FINISH SYSTEM (EIFS) WITH GROOVES (COLOUR: WHITE)
- 107 LIGHT FIXTURE
- 108 STONE VENEER(COLOUR: GREY)
- 109 PREFINISHED METAL CAP FLASHING (FINISH: SEMIGLOSS)
- 110 EIFS (COLOUR: GREEN)
- 112 ILLUMINATED SIGNAGE- WALL MOUNTED AS PER BRAND STANDARD
- 113 PREFINISHED ALUMINIUM PANELS

| No. | By | Description              | Date     |
|-----|----|--------------------------|----------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14 |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22 |

**ISSUANCE SCHEDULE**

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**DEVELOPMENT CONSULTANT:**

API CONSULTANTS INC.  
 1484 CORNWALL ROAD, UNIT 7  
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**ARCHITECT:**

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 55 ST. CLAIR AVE W., SUITE 205  
 TORONTO, ONTARIO M4V 2Y7  
 P: 905.510.0995

**CLIENT:**

401 REAL ESTATE TRUST INC  
 2225 Eagle Street N  
 Cambridge, ON  
 N3H 4R7

PROFESSIONAL CERTIFICATION

**PROJECT**

**COURTYARD**  
 BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.

**DRAWING TITLE**

**ELEVATION I - NORTH & EAST**

BY: MJA | CHECK: [ ] | ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: 22-029 | SHEET NO.:

SCALE: As indicated

ISSUE DATE: 23-04-14

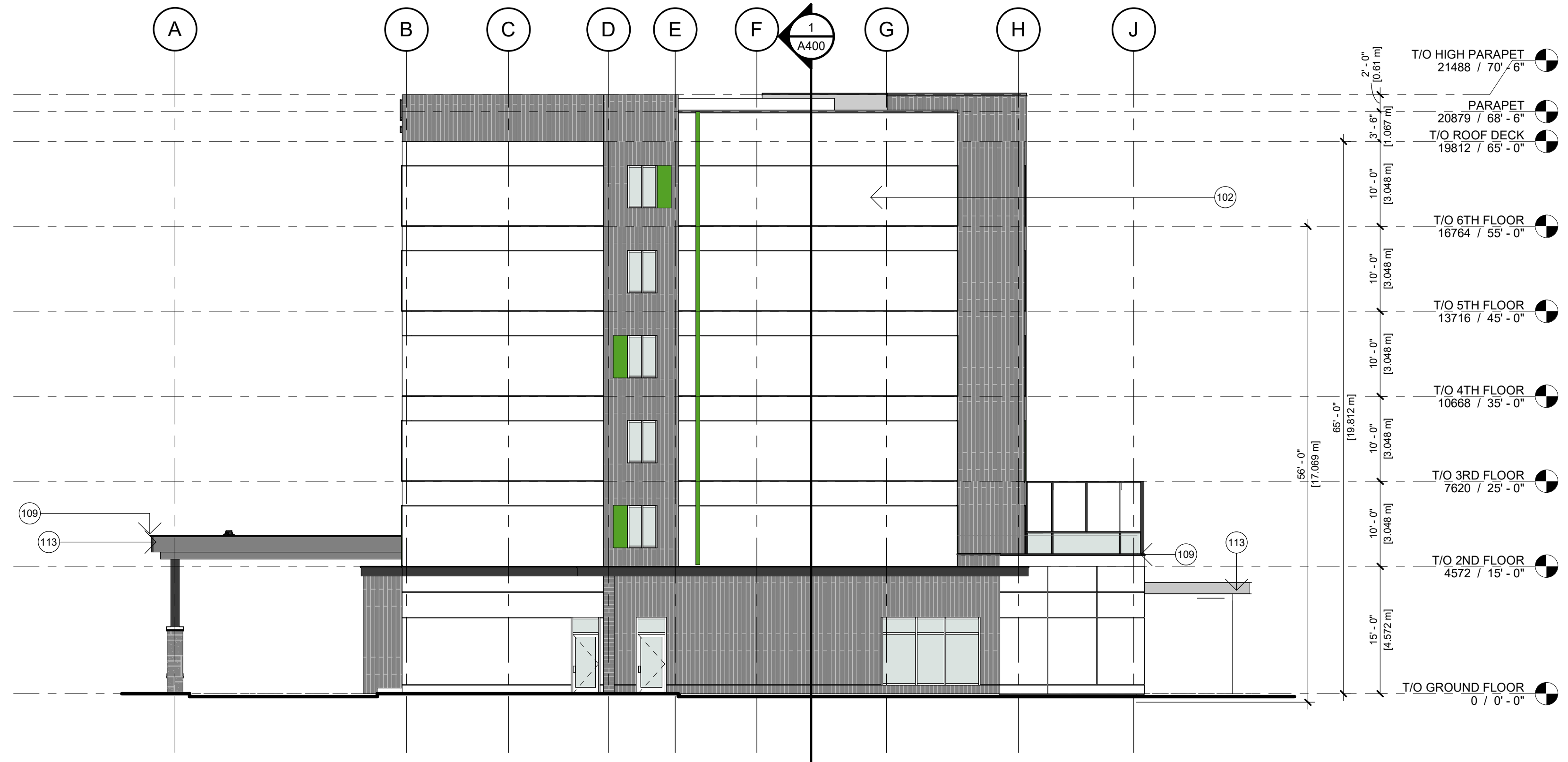
**A301** | 2 SHEET ISSUE No.

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PLOT DATE: 2023-04-13 4:15:35 PM



1 SOUTH ELEVATION  
A302 3/32" = 1'-0"



2 WEST ELEVATION  
A302 3/32" = 1'-0"

**BIRD COLLISION DETERRENCE:**

- MINIMUM 90% OF ALL GLAZING FROM GRADE LEVEL TO 18M ABOVE GRADE TO RECEIVE 4mm VISUAL MARKERS APPLIED TO FIRST SURFACE OF THE GLASS WITH A MAXIMUM SPACING OF 50mm X 50mm AS PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 2.
- ALL EXTERIOR BUILDING LIGHTING TO BE:
  - DARK SKY COMPLIANT, FULL-CUTOFF
  - CONNECTED TO MOTION DETECTORS OR OTHER AUTOMATIC LIGHTING CONTROLS TO EXTINGUISH NON-ESSENTIAL LIGHTING BETWEEN 11PM AND 6AM
  - MINIMUM WATTAGE REQUIRED TO MEET ONTARIO BUILDING CODE
  - PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 6

**EXTERIOR ELEVATION LEGEND**

|     |  |
|-----|--|
| 101 | ALUMINIUM COMPOSITE MATERIAL (ACM) (COLOUR: GREY)                                  |
| 102 | FIELD APPLIED EXTERIOR INSULATED FINISH SYSTEM (EIFS) WITH GROOVES (COLOUR: WHITE) |
| 109 | PREFINISHED METAL CAP FLASHING   FINISH: SEMI-GLOSS                                |
| 110 | EIFS (COLOUR: GREEN)   |
| 113 | PREFINISHED ALUMINIUM PANELS   |

| No. | By | Description              | Date     |
|-----|----|--------------------------|----------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14 |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22 |

**ISSUANCE SCHEDULE**

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**DEVELOPMENT CONSULTANT:**

API CONSULTANTS INC.  
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P: 905.337.7249

**ARCHITECT:**

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55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

**CLIENT:**

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**ELEVATION II - SOUTH & WEST**

|              |              |                  |
|--------------|--------------|------------------|
| BY           | CHECK        | ISSUED FOR       |
| Author:      |              | ISSUED FOR SPA I |
| PROJECT NO.: | S22-029      | SHEET NO.:       |
| SCALE:       | As indicated |                  |
| ISSUE DATE:  | 23-04-14     |                  |

**A302** 2 SHEET  
ISSUE No.

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PLOT DATE: 2023-04-13 4:15:39 PM



1 ISO 01  
A305



2 ISO 02  
A305



4 ISO 04  
A305



3 ISO 03  
A305

| No. | By | Description              | Date<br>YY-MM-DD |
|-----|----|--------------------------|------------------|
| 2   | MA | ISSUED FOR SPA I         | 23-04-14         |
| 1   | MA | CLIENT REVIEW & APPROVAL | 23-02-22         |

ISSUANCE SCHEDULE

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1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



ARCHITECT:

SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE. W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



CLIENT:

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD &  
RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**ISOMETRIC VIEWS**

BY: [ ] CHECK [ ] ISSUED FOR

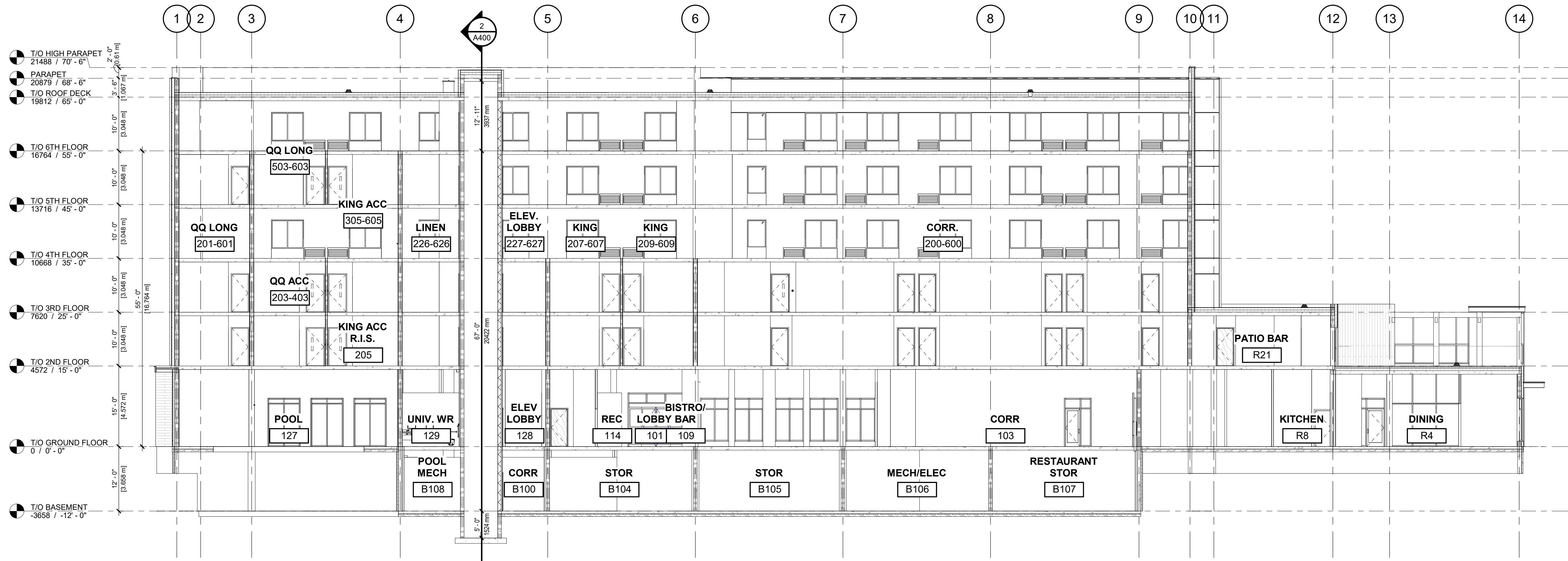
Author Check ISSUED FOR SPA I

PROJECT NO.: S22-029 SHEET NO.:

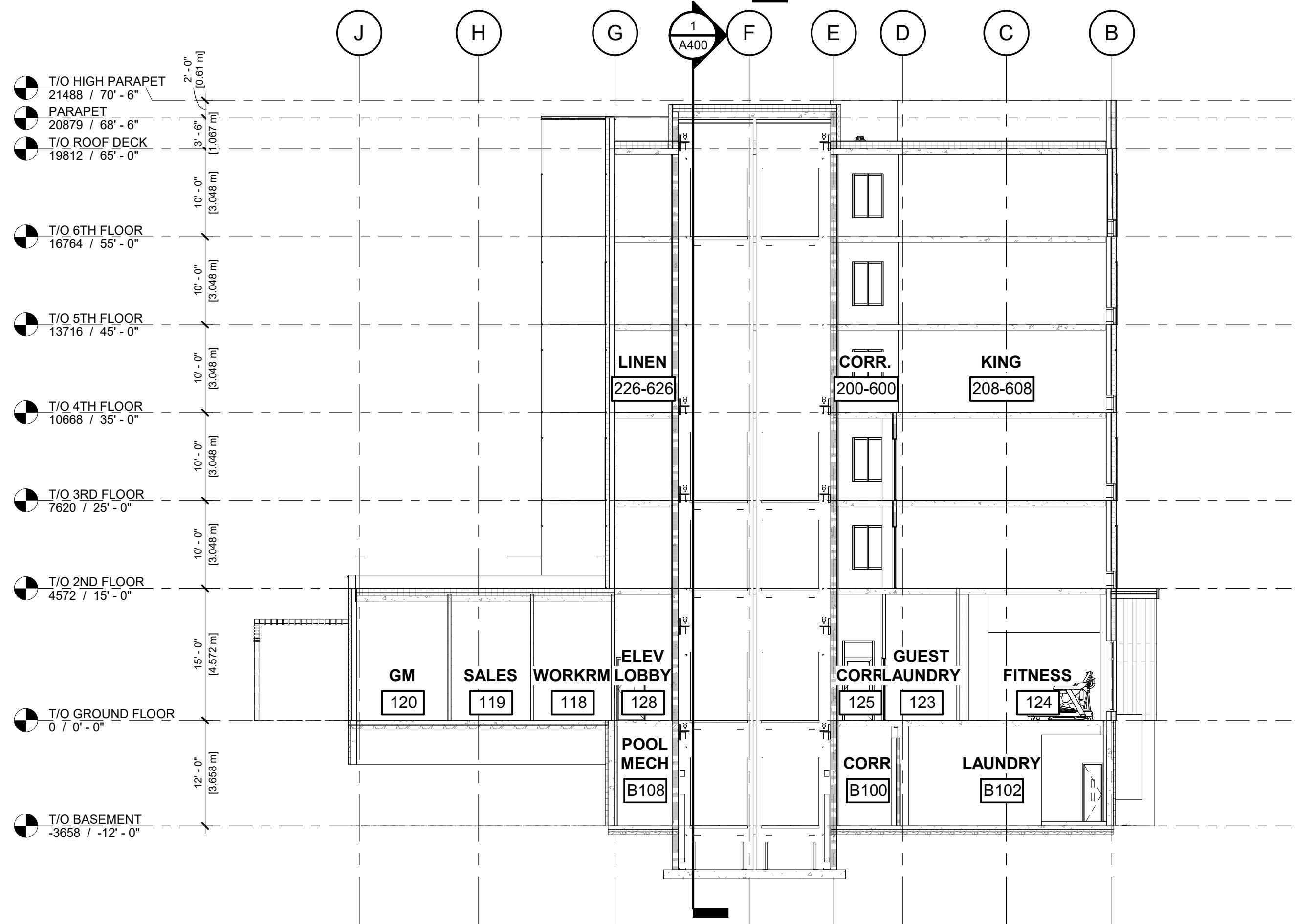
SCALE:

ISSUE DATE: 23-04-14

**A305** | 2  
SHEET  
ISSUE No.



1 BUILDING SECTION 1  
A400 3/32" = 1'-0"



2 BUILDING SECTION 2  
A400 3/32" = 1'-0"

| No. | MA | ISSUED FOR SPA I | 23-04-14      |
|-----|----|------------------|---------------|
|     | By | Description      | Date YY-MM-DD |

ISSUANCE SCHEDULE

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DEVELOPMENT CONSULTANT:  
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OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



ARCHITECT:  
SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



CLIENT:  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**BUILDING SECTIONS**

|               |            |                  |
|---------------|------------|------------------|
| BY            | CHECK      | ISSUED FOR       |
| Author        | Check      | ISSUED FOR SPA I |
| PROJECT NO.:  | SHEET NO.: |                  |
| S22-029       |            |                  |
| SCALE:        |            |                  |
| 3/32" = 1'-0" |            |                  |
| ISSUE DATE:   |            |                  |
| 23-04-14      |            |                  |

**A400** 1  
SHEET  
ISSUE No.

PLOT DATE: 2023-04-13 4:15:57 PM