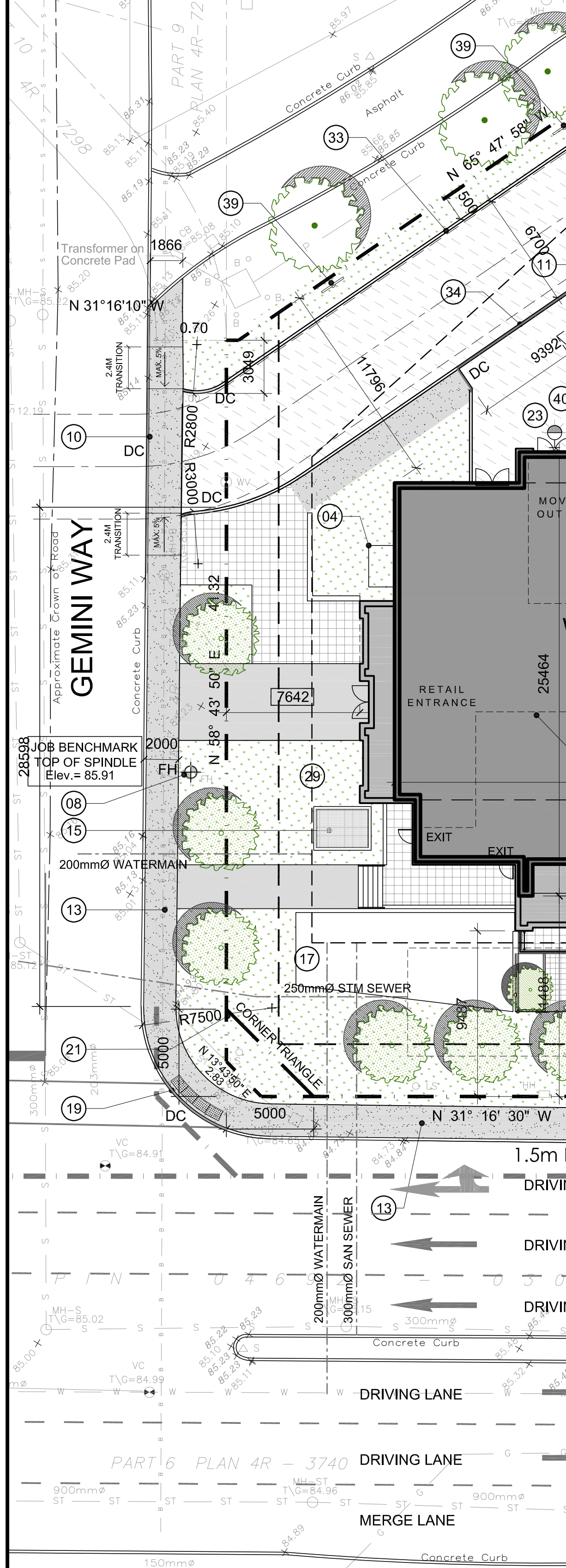


KEY MAP



NOTATION SYMBOLS:

- (01) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (02) INDICATES ASSEMBLY TYPE: REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- (03) INDICATES WINDOW TYPE: REFER TO WINDOW ELEVATIONS AND DETAILS ON A100 SERIES.
- (04) INDICATES DOOR TYPE: REFER TO DOOR SCHEDULE AND DETAILS ON A100 SERIES.
- (05) TITLE
- (06) DETAIL REFERENCE PAGE
- (07) DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- (A) REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A100 SERIES.
- (C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W' UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

Allan Hamlin
ALLISON HAMLIN
 MANAGER (A), DEVELOPMENT REVIEW WEST
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
 DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Allison Hamlin at 10:10 am, Apr 26, 2023

NO.	DESCRIPTION	DATE
1	SPC UPDATE	Apr. 14, 23
2	SPC UPDATE	Jan. 31, 23
3	ISSUED FOR PERMIT	Dec. 13, 22
4	ISSUED FOR ZONING COMMENTS	Sept. 23, 22
5	ISSUED FOR REVISED BUILDING STATS	Jul. 22, 22
6	ISSUED FOR SPC 3rd COMMENTS RESPONSE	Apr. 22, 22
7	ISSUED FOR SPC 2nd COMMENTS RESPONSE	Dec. 17, 21
8	ISSUED FOR GENERAL DETAIL CHANGES	Oct. 25, 21
9	ISSUED FOR SPC 1st COMMENTS RESPONSE	Sept. 17, 21
10	ISSUED FOR SITE PLAN CONTROL	Apr. 30, 21
11	REVISED AS PER ROUND 2 ZA COMMENTS	Feb. 02, 21
12	ADDED BUILDING STATS	Sept 08 20
13	NEW CONCEPT DESIGN - GENERAL REVISION	Mar. 13 20
14	NEW CONCEPT DESIGN	Feb. 21 20

PROJECT INFORMATION

ZONING	Zoning By-Law 2008-250	MC (2007) F4.8 S299
SITE AREA	7,547.9 sq. m. 81,245 sq. ft.	
REQUIRED ZONING		
DENSITY - FLOOR SPACE INDEX	4.8	
BUILDING SETBACKS - ALL YARDS	0.0m	
BUILDING HEIGHT TOWER 'A' - 21 STOREYS	65.4m	
BUILDING HEIGHT TOWER 'B' - 23 STOREYS	71.8m	
RESIDENTIAL PARKING - PER UNIT	0	
VISITOR PARKING - PER UNIT	0.1 / max 60	
MINIMUM PARKING SPACE SIZE	2.6 x 5.2 m	
aisle & DRIVEWAY - GARAGE	6.0m	
aisle & DRIVEWAY - SURFACE	6.7m	
BICYCLE PARKING - PER UNIT	0.5	
AMENITY AREA PER UNIT	6.0m ²	
AMENITY AREA - COMMUNAL PER UNIT	3.0m ²	

CAR PARKING

REQUIRED	PARKING AREA Z - AS PER TABLE 1A	
RESIDENCE	- NO REQUIREMENT	60
VISITOR	- MAX OF 30 PER BUILDING	0
COMMERCIAL	- NO REQUIREMENT	0
TOTAL		60

PROPOSED PROJECT STATISTICS

BUILDING HEIGHT TOWER 'A' - 21 STOREYS	65.4m
BUILDING HEIGHT TOWER 'B' - 23 STOREYS	71.8m
FRONT YARD SETBACK	5.3m
CORNER YARD SETBACK	3.9m
INTERIOR YARD SETBACK	5.8m
REAR YARD SETBACK	33.0m
DENSITY - FLOOR SPACE INDEX = 28,648.2 sq. m.	3.80
UNIT COUNT	424
RESIDENTIAL PARKING	311
VISITOR PARKING	60
CAR SHARE SERVICE PARKING SPACE	2
BICYCLE PARKING SPACE	514
PARKING SPACE SIZE - STANDARD	2.6m x 5.2m
PARKING SPACE SIZE - SMALL CAR	2.4m x 4.6m
aisle & DRIVEWAY - GARAGE	6.0m
aisle & DRIVEWAY - SURFACE	6.7m
AMENITY AREA	3,250m ²
AMENITY AREA - COMMUNAL	1,320m ²

BICYCLE PARKING

REQUIRED		
RESIDENCE	- 0.5 PER UNIT (424 UNITS)	212
COMMERCIAL	- 1 PER 250m ² OF GFA	1
PROVIDED		
UNDERGROUND AT GRADE		504
AT GRADE		10

LOT COVERAGE

PAVED SURFACE =	1,370.9 sq. m.	18.2%
BUILDING FOOTPRINT =	2,863.4 sq. m.	37.8%
LANDSCAPE OPEN SPACE =	3,323.6 sq. m.	44.0%
TOTAL =	7,547.9 sq. m.	100.0%

GROSS BUILDING - AREAS

AT GRADE PRIVATE BALCONIES (CITY OF OTTAWA ZONING AREA)	0.0 sq. m.
PARKING LEVEL - TYPICAL	(000) sq. ft.
TOWER 'B' - 23 STOREYS	14,842.9 sq. ft. (1,378.78 sq. m.)
TOWER 'A' - 21 STOREYS	13,805.3 sq. m. (148,599) sq. ft.
TOTAL AREA (ABOVE GRADE)	28,648.2 sq. m. (308,387) sq. ft.

AMENITY SPACE

EXTERIOR AT GRADE =	1,002.9 sq. m.
AT GRADE PRIVATE BALCONIES =	150.0 sq. m.
GROUND FLOOR COMMUNAL INTERIOR =	457.4 sq. m.
3rd FLOOR COMMUNAL INTERIOR =	380.0 sq. m.
3rd FLOOR COMMUNAL EXTERIOR =	1,132.5 sq. m.
PRIVATE BALCONIES =	1,400.0 sq. m.
PRIVATE TERRACES =	380.0 sq. m.
TOTAL =	4,822.8 sq. m.
TOTAL COMMUNAL =	2,962.8 sq. m.
REQUIRED - 6.0M² PER UNIT (424) =	2,544.0 sq. m.
REQUIRED COMMUNAL @ 50% =	1,272.0 sq. m.

COMMERCIAL AREA

GROUND FLOOR RETAIL	164.0 sq. m. (1,765) sq. ft.
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UNIT TYPE

STUDIO UNIT	2
1 BEDROOM UNIT	249
2 BEDROOM UNIT	168
3 BEDROOM UNIT	5
TOTAL	424

SOLID WASTE

GARBAGE - COMP.	0.053 Y ³ PER UNIT	23 Y ³
RECYCLING - GMP	0.018 Y ³ PER UNIT	8 Y ³
RECYCLING - FIBRE	0.038 Y ³ PER UNIT	17 Y ³
ORGANICS	1 - 240 L BIN PER 50 UNITS	9

ARCHITECT SEAL
 ARCHITECT: *rla/architecture*
 56 beech street, ottawa, ontario K1S 3J6
 1.613.724.9932 | 1.613.724.1209 | rlaarchitecture.ca

PROJECT TITLE:
19 CENTREPOINTE DRIVE

OTTAWA **ONTARIO**

SHEET TITLE:
SITE PLAN

DRAWN: RV **CHECKED:** R.L.A.
SCALE: 1:200 **SHEET No.:**
PROJECT No.: 1910 **SP-1**

DRAWING NOTES:

- PROPERTY LINE
- BUILDING SETBACK ALONG STREET FRONTAGE
- OUTLINE OF TOWER
- LINE OF TOWER BALCONIES ABOVE
- PODIUM LEVEL EXTERIOR AMENITY TERRACE
- LINE OF PARKING GARAGE BELOW
- RAMP TO LUG GARAGE WITH TRENCH DRAIN AND BELOW SLAB HEATING SYSTEM
- EXISTING FIRE HYDRANT
- METAL FENCE - SEE LANDSCAPE
- DEPRESSED CONCRETE CURBS AND SIDEWALK AS PER CITY DETAIL SGT.1
- BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
- REPLACE EXISTING SIDEWALK WITH 0.9m BOULEVARD, 2.0m CONCRETE SIDEWALK, TO CITY STANDARDS
- REPLACE EXISTING SIDEWALK WITH 2.0m CONCRETE SIDEWALK, TO CITY STANDARDS
- SIAMSE CONNECTION
- INTAKE / EXHAUST AIR SHAFT FOR GARAGE
- 2.6 X 5.2m SHORT TERM PARKING SPACE
- SOFT LANDSCAPING / PLANTING
- HARD LANDSCAPING - PAVERS
- NEW STREET CURB LOCATION, WITH DEPRESSED CURB & TWSI
- AT GRADE AMENITY AREA
- SIGHT TRIANGLE
- OUTLINE OF CISTERN
- SERVICE AREA (GARBAGE / COURIER / MOVE IN-OUT)
- RAISED GARDEN BEDS
- 6.0 METRE WIDE FIRE ROUTE
- GAS PRESSURE RELEASE STATION
- 1.5 METRE WIDE CONCRETE WALK
- 2.5m HT. NOISE BARRIER FENCE
- PRIVATE TERRACE AT GRADE
- LIGHTING, AS DESIGNED AND LOCATED BY ELECTRICAL
- LOW DECORATIVE CONCRETE SEAT WALL
- SEASONAL SITE FURNITURE
- 150mm WIDE CONCRETE CURB
- DEPRESSED CONCRETE CURB
- PRIVACY FENCE, SEE LANDSCAPE
- TEMPORARY SNOW STORAGE AREA
- ACCESSIBLE PARKING SPACE WITH DEPRESSED CURB & TWSI
- CAR SHARE SERVICE SPACE
- SIGN - FIRE ROUTE NO PARKING - 15kPa UNDERGROUND PARKING STRUCTURE
- SOLID WASTE CONTAINER PICK-UP AREA
- NO PARKING AREA - PAINTED LINES ON ASPHALT
- GROUND FLOOR COMMERCIAL RETAIL AREA
- HYDRO DUCT BANK

SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE FOR PRIVATE TERRACES
- CONCRETE UNIT PAVERS SURFACE FOR AMENITY TERRACES
- CONCRETE UNIT PAVERS SURFACE AT MAIN ENTRIES / COMMON WALKS
- ASPHALT DRIVING SURFACE
- SOFT LANDSCAPING
- CONCRETE SIDEWALK
- PODIUM LEVEL SOFT LANDSCAPING AT AMENITY TERRACES
- WALL MOUNTED LIGHT
- TWO WAY VEHICLE CIRCULATION
- SERVICE AND/OR FIRE EXIT
- BIKE RACK / BIKE PARKING SPACE
- PROPERTY LINE
- 2.2m HT. SOUND BARRIER FENCE
- 1.1m TO 1.5m HT. METAL FENCE
- PRIVACY FENCE
- BARRIER FREE PARKING SPACE AS PER PARKING BY-LAW SECTION 3.1
- TYPE 'A' = 3.4M X 5.2M
- TYPE 'B' = 2.4M X 5.2M
- ACCESS AISLE = 1.5M WIDE

PROJECT DEVELOPER RICHCRAFT Group of Companies 2280 St. Laurent Blvd., Suite 201 Ottawa, Ontario K1G 4K1 Tel: (613) 739-7111 Fax: (613) 739-7102	SURVEYOR Annis O'Sullivan Vollebek Ltd. Ontario Land Surveyors 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 727-0850 Fax: (613) 836-7183	CIVIL ENGINEER David Schaeffer Engineering Ltd. 120 Iber Road, Unit 203 Stittsville, ON K2S 1E9 Tel: (613) 836-0856 Fax: (613) 836-7183 Email: MWingate@dsel.ca
LEGAL DESCRIPTION TOPOGRAPHICAL PLAN OF PART OF BLOCK 25 REGISTERED PLAN 4M- 623 CITY OF OTTAWA Prepared by Annis, O'Sullivan, Vollebek Ltd.	TRANSPORTATION ENGINEER CGH Transportation Inc. 13 Markham Avenue Ottawa, ON K2G 3Z1 Tel: (343) 999-9117 Email: Andrew.Harte@CGHTransportation.com	LANDSCAPE ARCHITECT NAK Design Strategies 1285 Wellington St. West Ottawa, Ontario K1Y 3A8 Tel: (613) 237-2345 Cell: (613) 997-6416 Email: tmedeiros@nak-design.com

SITE PLAN

0m 10 20 30

SCALE 1: 200