

KEY PLAN  
NTS.

*Allison Hamlin*

**ALLISON HAMLIN**  
MANAGER (A), DEVELOPMENT REVIEW WEST  
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Allison Hamlin at 10:40 am, May 09, 2023

SITE INFORMATION		ZONING INFORMATION		REQUIRED	PROVIDED
SITE AREA : (LOTS 26 AND 27)	2,864.31m <sup>2</sup>	ZONING = IG		1,000 m <sup>2</sup>	2,864.31 m <sup>2</sup>
BUILDING AREA : EXISTING =	296.96m <sup>2</sup>	MIN. LOT AREA	n/a		
	PROPOSED =	MIN. LOT WIDTH	65%	23.88%	
LOT COVERAGE :	23.94%	MAX. LOT COVERAGE		3.0 m	3.65 m
GROSS FLOOR AREAS : OFFICE =	261.43m <sup>2</sup>	MIN. FRONT YARD SETBACK	3.0 m	N/A	
	GARAGE =	MIN. CORNER SIDEYARD SETBACK	3.0 m	4.60m/ 48.96m	
PARKING REQUIRED : LIGHT INDUSTRIAL	535.02m <sup>2</sup> @ 0.80/100m <sup>2</sup> =	MIN. INTERIOR YARD SETBACK	3.0 m	3.07 m	
	4.28 SPACES	MIN. REAR YARD SETBACK	22.0 m	8.32 m	
OFFICE	261.43m <sup>2</sup> @ 2.4/100m <sup>2</sup> =	MAX. BUILDING HEIGHT	3.0 m	3.00 m	
	6.27 SPACES	MIN. WIDTH OF LANDSCAPED AREA	3.0 m		
TOTAL PARKING REQUIRED :	10.55 SPACES	SITE BOUNDARIES DERIVED FROM: PARTIAL TOPOGRAPHIC SURVEY PROVIDED BY OWNER & PLAN OF SUBDIVISION			
PARKING PROVIDED :	19 SPACES	SURVEYOR TO VERIFY MIN. YARD REQUIREMENTS PRIOR TO LAYOUT OF BUILDING.			
LOADING SPACES REQUIRED:	1 SPACE				
LOADING SPACES PROVIDED:	1 SPACE				

LEGAL DESCRIPTION - LOTS 25 & 26 - PLAN OF SUBDIVISION PART OF LOT 26  
CONCESSION 1 (R.F.) TOWNSHIP OF NEPEAN,  
PREPARED BY H.R. FARLEY O.L.S.

**EXTERIOR LIGHTING SCHEDULE:**

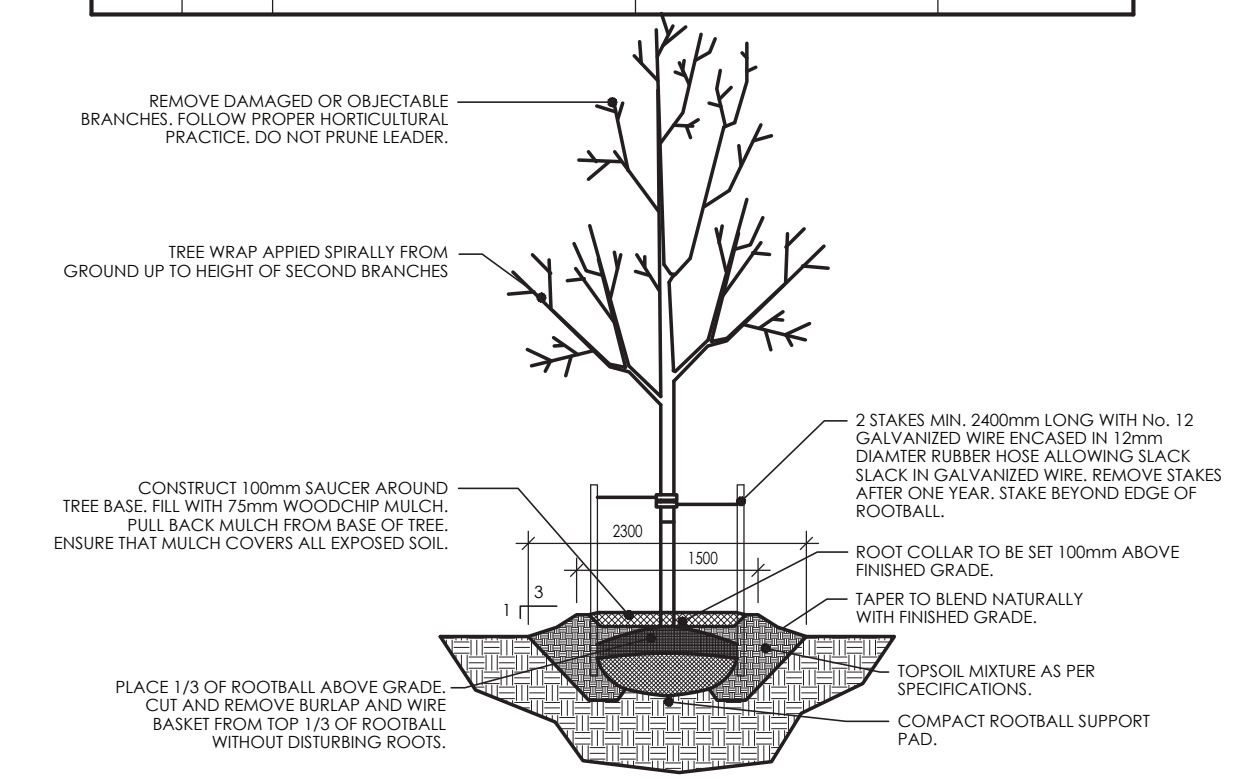
- 'A' - PROPOSED DOWN LIGHT w/ CUT OFF  
LITHONIA WDG3 LED DOWN LIGHT  
3000 K WITH CUT-OFF
- 'B' - WALL MOUNTED SCONCE  
STANDARD RESIDENTIAL STYLE SCONCE
- 'C' - EXISTING DECORATIVE WALL SCONCE  
STANDARD RESIDENTIAL STYLE

**Landscaping Notes:**

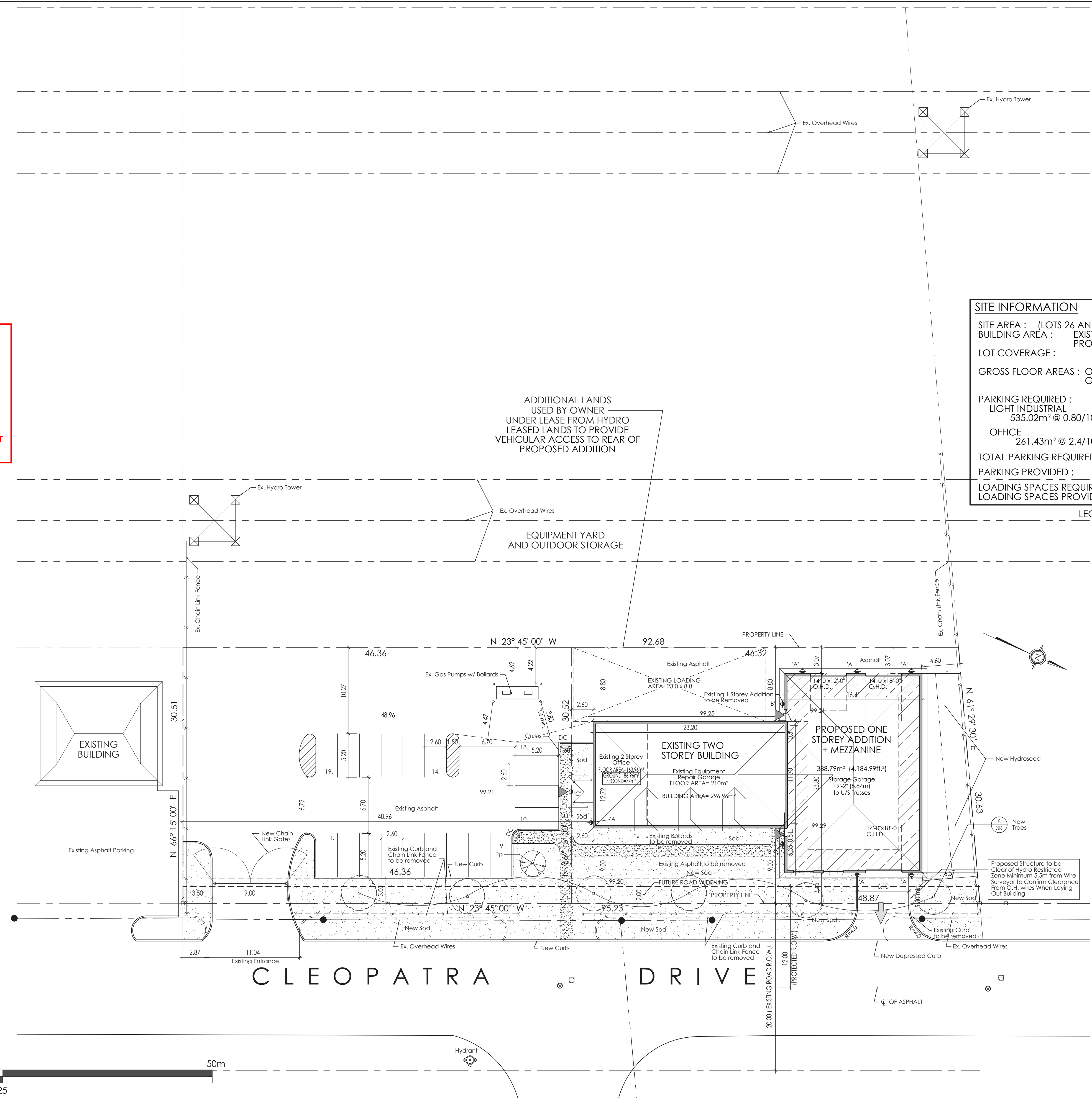
1. No Existing Vegetation on Site

**Plant List:**

Tree				
Key	No.	Botanical Name	Common Name	Size
SR	6	Syringa Recticulata "Ivory Silk"	Ivory Silk Tree Lilac	70mm
Pg	1	Picea Glauca	White Spruce	250cm ht.

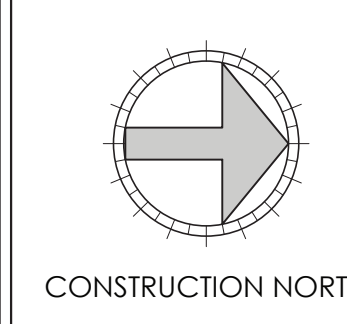


Tree Planting Detail



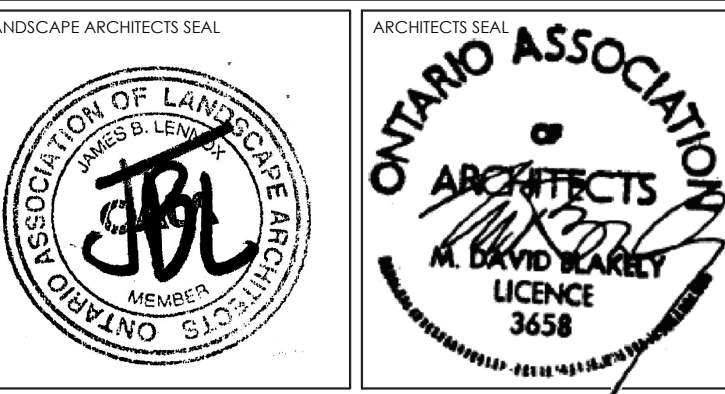
**GENERAL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
7. THIS REPRODUCTION SHALL NOT BE ALTERED.



No.	DATE	DESCRIPTION	INIT.
10.			
9.			
8.	01/04/21	EXTERIOR LIGHTING ADDED	JB
7.	05/04/19	PER CITY COMMENTS/FOR SITE PLAN CONTROL	JB
6.	06/04/18	FOR SITE PLAN CONTROL	JB
5.	08/12/15	FOR SITE PLAN CONTROL	JB
4.	24/04/15	REVISED PER OWNER	JB
3.	21/03/14	PER CITY COMMENTS/ FOR SITE PLAN CONTROL	JB
2.	24/02/14	PER PRE-CONSULTATION MEETING	JB
1.	11/02/14	FOR REVIEW	JB

A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)



PROJECT: BUILDING ADDITION  
64 CLEOPATRA DRIVE  
OTTAWA (NEPEAN), ONT.

CLIENT: 2336925 ONTARIO INC.

DRAWING TITLE: **SITE & LANDSCAPING PLAN**

DATE: JULY, 2011. SCALE: 1:250 SHEET NO.: **SP1**

DRAWN BY: JB CHECKED: MDB

**M. David Blakely Architect Inc.**  
2200 Prince of Wales Dr., Suite 101 Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7940

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