



**SITE PLAN CONTROL APPLICATION  
DELEGATED AUTHORITY REPORT  
PLANNING, REAL ESTATE AND ECONOMIC DEVELOPMENT DEPARTMENT**

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Site Location: 2140 Baseline Road

File No.: D07-12-22-0164

Date of Application: December 1, 2022

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This SITE PLAN CONTROL application submitted by Evan Saunders - Fotenn Consultants, on behalf of Theberge Development Ltd., is APPROVED as shown on the following plan(s):

1. South Elevation, A303, prepared by Fabiani Architects Ltd., dated 20-06-30, revision 15 dated 23-02-28.
2. East Elevation, A302, prepared by Fabiani Architects Ltd., dated 20-06-30, revision 13 dated 23-02-28.
3. North Elevation, A301, prepared by Fabiani Architects Ltd., dated 20-06-30, revision 13 dated 23-02-28.
4. West Elevation, A304, prepared by Fabiani Architects Ltd., dated 20-06-30, revision 14 dated 23-02-28.
5. Roof Plan, A207, prepared by Fabiani Architects Ltd., dated 20-06-30, revision 9 dated 23-02-28.
6. Site Plan, A100, prepared by Fabiani Architects Ltd., dated 18-05-25, revision 12 dated 22-11-23

And as detailed in the following report(s):

1. Stormwater Management Roof Drain Updates, prepared by EXP, dated November 21, 2022.

And subject to the following Requirements, General and Special Conditions:

### **General Conditions**

#### **1. Previous Site Plan Agreement**

The Owner acknowledges and agrees that all terms and conditions of the Site Plan Approval for the previous site plan application D07-12-18-0084, registered as

OC2403899 on September 24, 2021, are reconfirmed and are in full force and effect except as otherwise varied or amended in this Report. The Owner further acknowledges and agrees that the relevant portion of the Approved Plans and Studies referenced in Schedule "E" hereto shall supersede and replace and/or be in addition to, as the case may be, the relevant sections of the corresponding Plans and Studies contained in the previous Site Plan Agreement.

May 9, 2023



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Date

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Allison Hamlin  
Manager, Development Review, West  
Planning, Real Estate and Economic  
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information

## SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

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**File Number:** D07-12-22-0164

### **SITE LOCATION**

2140 Baseline Road at the southwest corner of the intersection of Baseline Road and Constellation Drive, and as shown on Document 1.

### **SYNOPSIS OF APPLICATION**

- The site was previously vacant and the 14-storey apartment building is currently under construction on the site. The irregularly shaped site was created when Constellation Drive was realigned. The site is located at the intersection of Baseline Road, a major arterial, and Constellation Drive.
- The site has low-rise apartment buildings to the north, an eight-storey office building with associated parking to the east, high school playing fields to the south, and a four-storey office building with associated parking to the west.
- The 14-storey, mixed-use building will contain 267 apartments and 548 sq. m. of ground floor retail. A penthouse shared between mechanical and amenity spaces is proposed as a permitted projection. 163 parking space and 286 bicycle parking spaces are proposed.
- The Site Plan Control revision was to slightly increase floor heights, change the exterior cladding and to show the indoor amenity space as a permitted projection above the building's maximum height of 45m.
- The L-shaped, 14-storey building is flanked by six-storey podiums on the south and western ends. The building will be finished by brick and aluminum cladding.
- No changes to site servicing were proposed as part of this Site Plan Control revision.
- The existing agreement must be amended, and the new plans and studies will supersede, replace or add to the previous approval.

### **Residential Units and Types**

<b>Dwelling Type</b>	<b>Number of Units</b>
Apartment	267

### **Related Applications**

The following applications are related to this proposed development:

- Zoning By-law Amendment – D02-02-22-0113

## **DECISION AND RATIONALE**

This application is approved for the following reasons:

- The revision conforms to the Official Plan policies for amenity areas in section 4.6.6.4.
- The building conforms to the Zoning By-law. A Zoning By-law Amendment to permit an indoor amenity space as a permitted projection above the maximum height was approved on April 12, 2023
- The revisions to the previously approved Site Plan Control application are minor and are zoning compliant. They will allow a considerable expansion of indoor amenity space for the residents of the building.
- The proposed site design reflects good planning.

## **PARKLAND DEDICATION**

Parkland dedication, in accordance with By-law 2022-280, was satisfied with the previous Site Plan Control application for the site.

## **CONSULTATION DETAILS**

### **Public Comments**

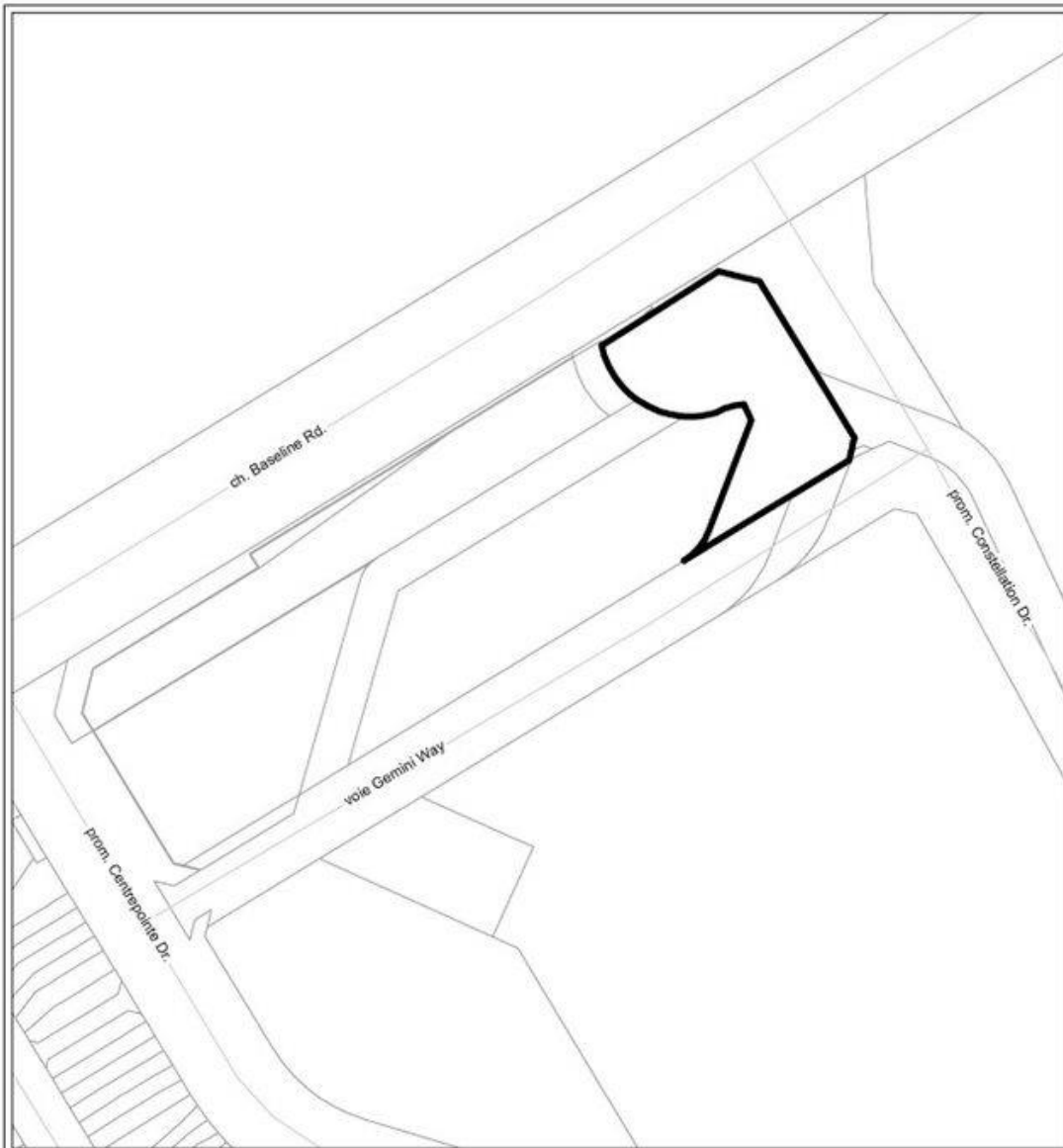
This application was not subject to public circulation under the Public Notification and Consultation Policy. There was no public comment received online.



## **APPLICATION PROCESS TIMELINE STATUS**

This Site Plan application was processed by the On Time Decision Date.

**Contact:** Alex Gatien Tel: 613-580-2424, ext. 26838 or e-mail: alex.gatien@ottawa.ca

# Document 1 – Location Map



		LOCATION MAP / PLAN DE LOCALISATION ZONING KEY PLAN / SCHÉMA DE ZONAGE SITE PLAN / PLAN DE EMPLACEMENT	
D02-02-22-0113	22-1168-X		
D07-12-22-0164			
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REVISION / RÉVISION - 2022 / 12 / 01		 <b>2140 chemin Baseline Road</b>	
			