

**SITE PLAN LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER
- CURB DEPRESSION
- ENTRY EXIT ACCESS POINT
- EXISTING TOWN HYDRANT
- PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS
- FIRE DEPARTMENT CONNECTION
- HOSE BR (REFER TO MECHANICAL DWGS)
- PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS
- DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE
- SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE
- SNOW STORAGE AREA
- REFUSED EXTERIOR LIGHT FIXTURE 8 SOFFIT & PROTE COCHERE
- NEW HEAVY DUTY ASPHALT PAVING FINANCING OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING
- DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE
- LANDSCAPED AREA
- FOURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
- STEEL BOLLARD (REFER TO GRG 33-1)
- PARKING CURB
- FRB
- CONDENSING UNIT ON CONCRETE PAD (REFER TO MECH DWGS)
- SNOW STORAGE AREA (REFER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY)

**CREDIT NOTES**

**SITE PLAN - GENERAL NOTES**

- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS, AND DRIVEWAYS ARE TO REMAIN UNLESS OTHERWISE INDICATED BY THE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/RESTORATION DURING CONSTRUCTION.
- ALL BARBER FREE ENTRANCES AND BARBER FREE PAIRS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER'S CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARBER FREE SIGNS AS SET OUT IN THE TOWN OF OTTAWA BY-LAW AND DESIGN CRITERIA.
- ALL EXTERIOR LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS SHAWD AND DESIGNED TO HARMONIZE WITH THE ARCHITECTURE AT THE PROJECT SITE.
- ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
- WHERE POSSIBLE SIGNS ARE TO BE PROTECTED FROM CONSTRUCTION.

**SITE STATISTICS**

ITEM	REQ'D	PROVIDED
<b>COVERAGES CALCULATIONS</b>		
TOTAL SITE AREA	5008.0	5395.6
BUILDING AREA	1864.0	20063.9
Building coverage as a percentage of property area		37.22%
COMMERCIAL AREA	76.8	826.66
<b>GLAZING CALCULATIONS</b>		
GROUND FLOOR ELEVATION AREA (NOT INCLUDING RESIDENTIAL UP TO 9' CEILING)	101.2	
WINDOW AREA (NOT INCLUDING RESIDENTIAL)	83.2	82.213%
TRANSPARENT GLAZING AREA	80.8	97.115%
<b>SETBACKS</b>		
MAX FRONT YARD	3.0	2.00
MIN REAR YARD	10.0	17.95
MIN REAR 45d ANGULAR PLANE	12.85	13.365
MIN SIDE YARD SECTION 197(3)(4)	3.0	3.45
MIN INTERIOR SIDE ABUTTING A RESIDENTIAL ZONE	7.5	10.15
WIDTH OF LANDSCAPE STRIP		
(i) ABUTTING A RESIDENTIAL ZONE MAY BE REDUCED TO 1m WHERE A MINIMUM 1.4m HIGH OPAQUE FENCE IS PROVIDED	1m	1.43m (fence requirement has been met by retaining the existing cedar hedge which is playing the role of 1.4m high opaque fence)
(ii) IN ALL OTHER CASES	NOMIN	VARIABLE (1.5m to 2m)
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING MORE THAN 10 BUT FEWER THAN 100 SPACES		
(a) ABUTTING A STREET	3.0	3.135
(b) NOT ABUTTING A STREET	1.5	1.65
<b>HEIGHT OF BUILDING</b>	MAX	PROVIDED
(MEASURED TO 1)0' ROOF DECK	15m	14.173m
<b>GROSS FLOOR AREA (GFA) WITHOUT BALCONIES</b>	SM	SF
GROUND FLOOR	11,28.00	12,120.2
SECOND FLOOR	1,864.00	20,063.9
THIRD FLOOR	1,864.00	20,063.9
FOURTH FLOOR	1,780.00	19,159.6
TOTAL GFA	6,836.00	71,407.6
<b>PARKING REQUIREMENTS</b>		
REQ'D (USE 1:0 PARKING/UNIT)	71	71
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES		29
TYPICAL PARKING STALLS PROVIDED		38
ACC PARKING PROVIDED		4
<b>VISITOR PARKING - 0.2 PARKING / UNIT</b>	14.2	15
TOTAL NO. OF SPACES	85.2	86
<b>BIKE RACKS</b>		
0.5 PARKING/UNIT	35.5	36
<b>Amenities REQUIREMENTS</b>		
Residential use	426	458.29
<b>ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)</b>		
76-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	4	4
TYPE A, MIN WIDTH=3400	2	2
TYPE B, MIN WIDTH=2400	2	2
<b>DRIVEWAYS AND AISLE REQUIREMENTS</b>		
TW O-WAY DRIVEWAY AT	6.7	6.7
TW O-WAY PARKING AISLE	6.7	6.7
<b>LOADING REQUIREMENTS</b>		
IN THE TM ZONE, A VEHICULAR LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 SQ M OR MORE	1	1

**SITE STATISTICS**

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**ROOM MIX**

	AREA(SQ m)	AREA(SQ ft)	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL	Total	PERCENTAGE		
1 BDRM TYPE A	56	602	0	3	3	3	9	25	35%		
1 BDRM TYPE B	56	605	0	1	1	1	3				
1 BDRM TYPE C	57	616	1	1	1	1	4				
1 BDRM TYPE D W/DEN	64	683	0	1	1	1	3				
1 BDRM ACC	56	602	1	2	2	1	6				
2 BDRM TYPE A / 1.5 Washroom	72	775	0	1	1	1	3				
2 BDRM TYPE B / 2 Washroom	80	864	1	8	8	8	25				
2 BDRM TYPE C / 2 Washroom	93	1007	1	1	1	0	3				
2 BDRM TYPE D / 2 Washroom	79	852	0	1	1	1	3				
2 BDRM TYPE E / 1.5 Washroom	70	750	0	1	1	1	3				
2 BDRM TYPE F / 2 Washroom	83	895	1	1	1	1	4	46	65%		
2BDRM ACC	77	833	1	1	1	2	5				
TOTAL			6	22	22	21	71			71	100%
TOTAL ACC UNITS							11				15.5%

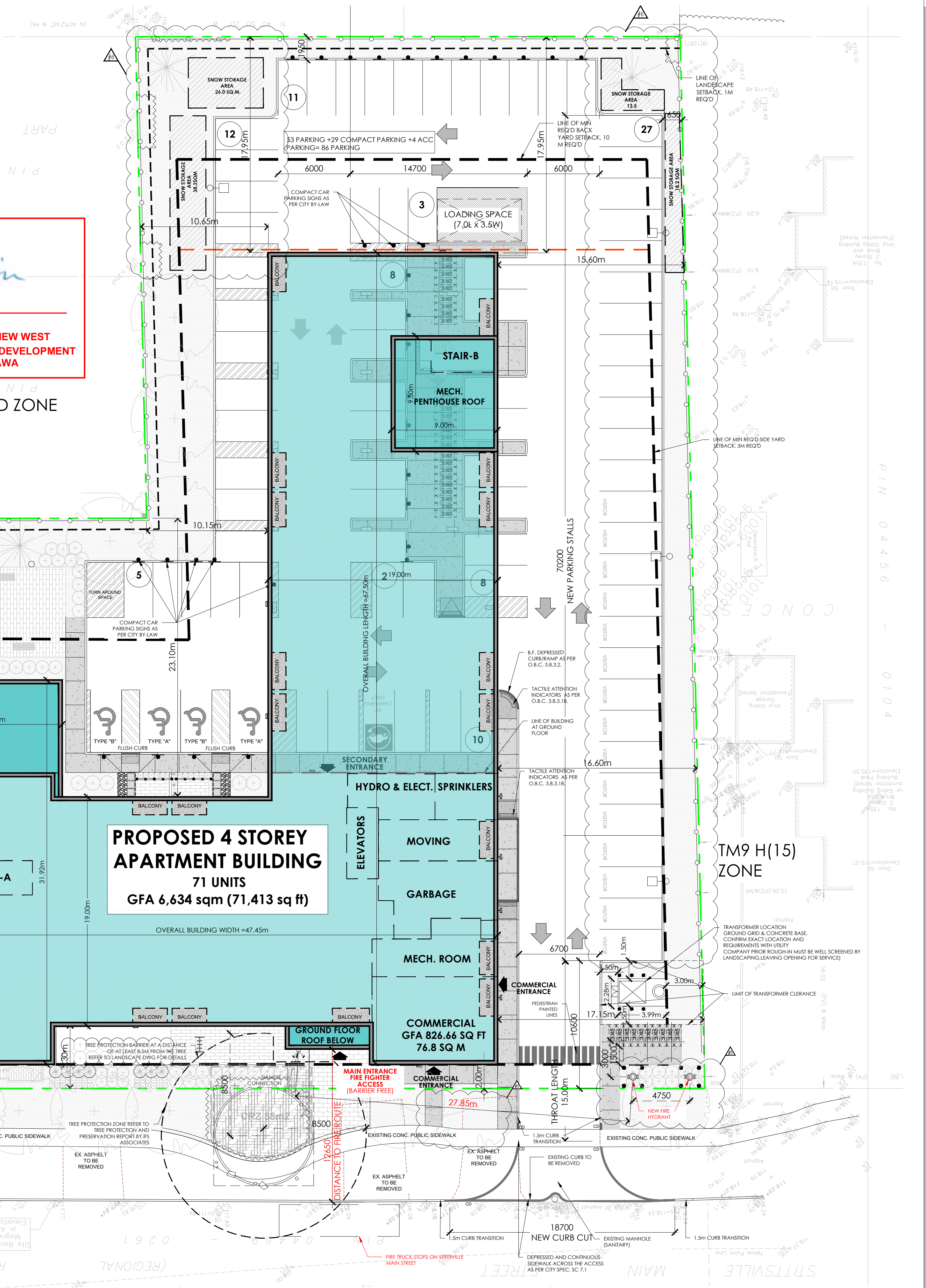
**ROOM MIX**

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*Allison Hamlin*

**ALLISON HAMLIN**  
**MANAGER (A), DEVELOPMENT REVIEW WEST**  
**PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT**  
**DEPARTMENT, CITY OF OTTAWA**

**APPROVED**  
 By Allison Hamlin at 12:50 pm, Apr 28, 2023



Project North: True North:

Key Plan:

No.	Date:	Issue/Revision	By:
6	22/12/09	Snow Storage Rearrangement	AB
5	22/10/14	ADD NEW FIRE HYDRANT	AB
4	22/09/22	Issued for Building Permit	BL
3	22/09/30	Issued for SPA - 3rd submission	AB
2	22/06/29	Issued for SPA - 2nd submission	AB
1	22/03/18	Issued for Site plan Application	AB

Drawing Issues/Revisions:

**Notes:**  
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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**ONTARIO ASSOCIATION OF ARCHITECTS**  
**MATAJ ARCHITECTS INC**

Architect's Stamp

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Project:

**THE LANDING ON MAIN APARTMENT BUILDING**  
 1364-1370 Stittville Main St, Stittville, ON K2S 1V4

**SITE PLAN - ROOF LEVEL**

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:200	22-03-25	21-061
Drawing No.:		

**ASP-1**

City's Application Number D07-12-22-0059  
 City's Plan Number: