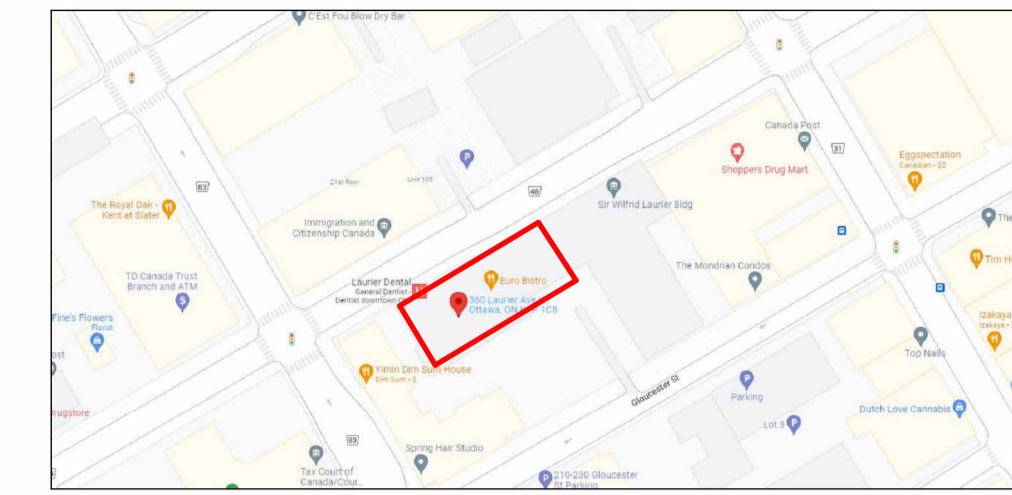


360 LAURIER AVE W

SITE PLAN APPLICATION - ARCHITECTURAL DRAWINGS



ARCHITECT

Linebox Studio Inc.
 Address: 150 Elgin Street, Level 10, Ottawa, ON, K2P 1L4
 Tel: 613.216.2609
 Architect: Andrew Reeves
 Point of Contact: Josée Anne Provost

STRUCTURAL ENGINEERS

Cleland Jardine Engineering Ltd.
 Address: 580 Terry Fox Drive, Kanata, ON, K2L 4B9
 Tel: 613.591.1533
 Engineer: Bourtos Aoun
 Point of Contact: Sharon Hagen

MECHANICAL ENGINEERS

Smith + Andersen
 Address: 1600 Carling Avenue #530, Ottawa, ON, K1Z 1G3
 Tel: 613.230.1186
 Engineer & Point of Contact: Adrienne Mitani

ELECTRICAL ENGINEERS

Smith + Andersen
 Address: 1600 Carling Avenue #530, Ottawa, ON, K1Z 1G3
 Tel: 613.230.1186
 Engineer: Andre Drauin
 Point of Contact: Josephine Jordan

CIVIL ENGINEERS

LRL Associates Ltd.
 Address: 5430 Canotek Road, Gloucester, ON K1J 9G2
 Tel: 613.842.3434
 Engineer & Point of Contact: Virginia Johnson

LANDSCAPE ARCHITECT

CSW Landscape Architects Limited.
 Address: 319 McRae Avenue, Ottawa, ON K1Z 0B9
 Tel: 613.729.4536
 Architect & Point of Contact: Christian Matteau

ARCHITECTURAL DRAWING LIST

DWG NO.	DRAWING TITLE
A0 GENERAL	
A0-000	COVER SHEET
A0-801	SITE PLAN
A2 PLANS	
A2-098	P5 BASEMENT FLOOR PLAN
A2-099	P3 AND P4 BASEMENT FLOOR PLAN
A2-100	P1 AND P2 BASEMENT FLOOR PLAN
A2-101	LEVEL 01 FLOOR PLAN
A2-102	LEVEL 02 FLOOR PLAN
A2-103	LEVELS 03 TO 11 (TYPICAL) FLOOR PLAN
A2-112	LEVEL 12 (MAIN ROOF) FLOOR PLAN
A2-113	LEVEL 13 (MECH. PENTHOUSE) FLOOR PLAN
A2-120	ROOF PLAN (LOWER)
A2-121	ROOF PLAN (UPPER)
A4 BUILDING ELEVATIONS	
A4-100	NORTH (LAURIER AVE W) ELEVATION
A4-101	EAST ELEVATION
A4-102	SOUTH ELEVATION
A4-103	WEST ELEVATION
A4-110	ENLARGED ELEVATIONS



client | client



structural engineers | ingénieur structure



MEP engineers | ingénieur MEP



civil engineers | ingénieur civil



landscape architect | architecte paysagiste

ISSUED FOR SITE PLAN CONTROL 230504

no revisions date

stamp | timbre



architect | architecte



general notes | note générale

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- NOT FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.

project title

360 LAURIER AVE W
 PROPOSED MIXED-USE RENOVATION

360 LAURIER AVE W | OTTAWA | ON | K1P 1C8

drawing title | titre du dessin

COVER SHEET

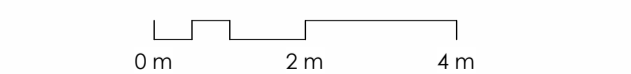
project number | numéro du projet **2225**

drawn | dessiné **JH**

checked | vérifié **JAP / MAR / AR**

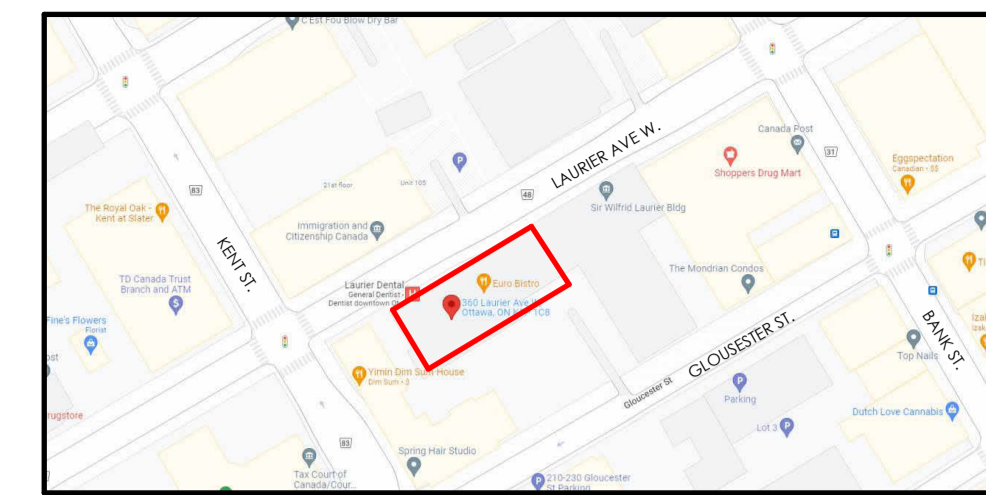
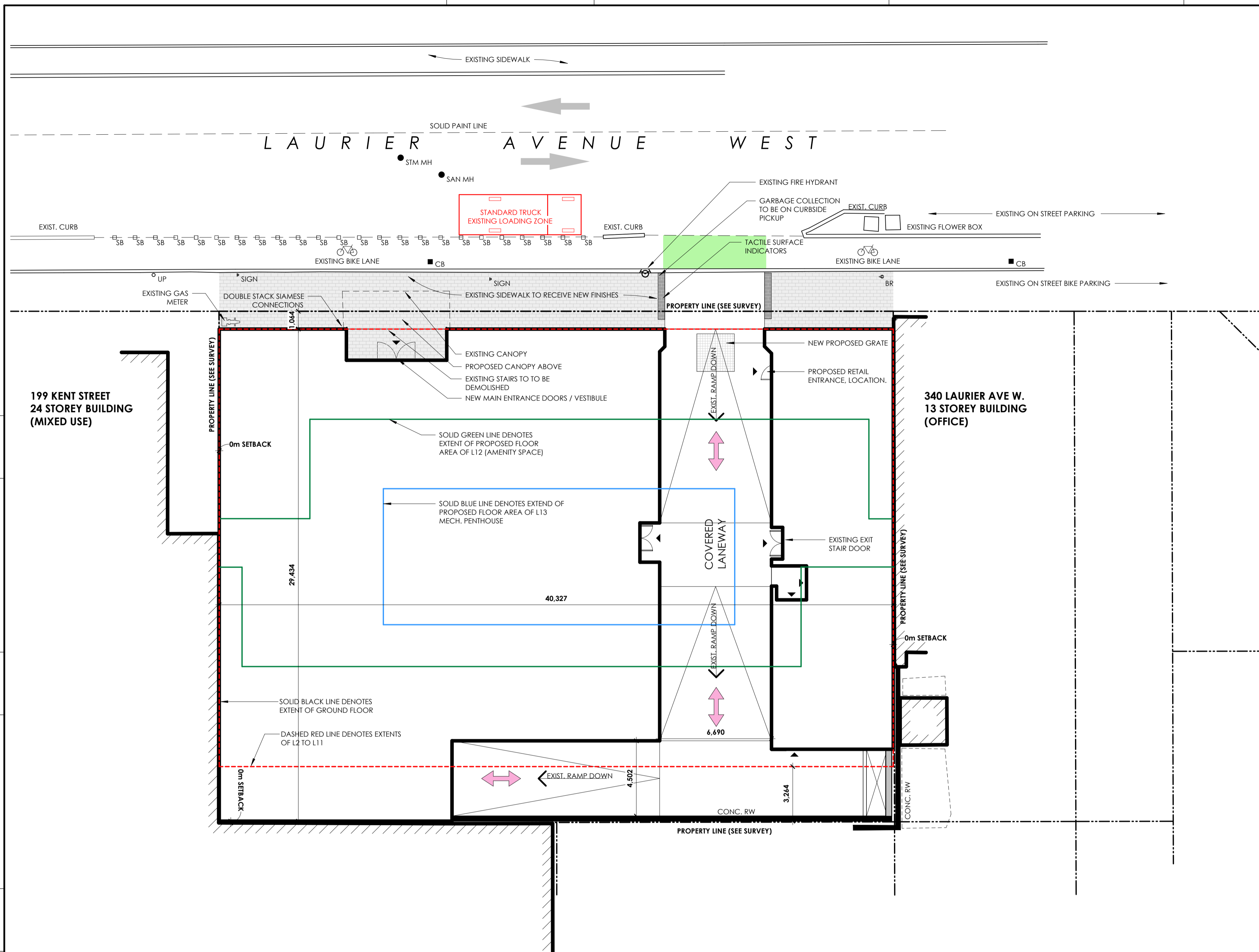
date | date **11/29/22**

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drawing number | numéro du dessin

A0-000



KEY PLAN

SITE PLAN LEGEND

■ CB	CATCH BASIN
● SAN MH	SANITARY MAN HOLE
▲	BUILDING ENTRANCE
○ UP	UTILITY POLE
□ SIGN	TRAFFIC SIGN
⊙	FIRE HYDRANT
⊙ BR	SINGLE BIKE RACK BOLLARD
□ SB	COLLAPSIBLE SAFETY BOLLARD 3'-0" - 5'-0" O.C.
🚲	BICYCLE LANE

VEHICLE PARKING PROVIDED (BY FLOOR)

TYPE	COUNT
LEVEL P5 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	6
LEVEL P4 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	4
LEVEL P3 BASEMENT	
ACCESSIBLE (3400x5200)	2
COMPACT (2438x5300)	7
STANDARD (2600x5200)	3
LEVEL P2 BASEMENT	
COMPACT (2438x5300)	6
STANDARD (2600x5200)	3
LEVEL P1 BASEMENT	
ACCESSIBLE (3400x5200)	1
COMPACT (2438x5300)	7
STANDARD (2600x5200)	2
GRAND TOTAL	59

BICYCLE PARKING PROVIDED (BY FLOOR)

TYPE	COUNT
LEVEL P4 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (OPEN PARKING)	2
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL P2 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL 01	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	54
VERTICAL BICYCLE SPACE (SECURE)	10
GRAND TOTAL	78
REQUIRED	70

1 SITE PLAN - PROPOSED
1:150
A0-200

GENERAL NOTES:
UNLESS OTHERWISE NOTED:

- SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE AND CIVIL PACKAGE DRAWINGS.
- ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.
- PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
- ANY PARKING SIGNAGE MOVED OR REMOVED DURING CONSTRUCTION WILL BE REINSTATED.
- SIDEWALK/CURB TO BE REINSTATED WHERE PRIVATE DRIVEWAYS HAVE BEEN DEMOLISHED OR WHERE DAMAGED THROUGH CONSTRUCTION PROCESS.

RESIDENTIAL SUITE COUNTS

TYPE	COUNT
1 BDRM	4
1 BDRM (B.F.)	19
1 BDRM (B.F.) + DEN	19
1 BDRM + DEN	30
2 BDRM	10
2 BDRM (B.F.)	19
2 BDRM + DEN	40
STUDIO	143
TOTAL	225

GFA AREA SCHEDULE

LEVEL	EXISTING AREA	PROPOSED AREA	DIFFERENCE
P5-BASEMENT (PARK./MECH.)	-	-	-
P4-BASEMENT (PARK./MECH.)	-	-	-
P3-BASEMENT (PARK./MECH.)	-	-	-
P2-BASEMENT (PARK./MECH.)	-	-	-
P1-BASEMENT (PARK./MECH.)	-	-	-
LEVEL 01 (RETAIL/AMNITY.)	728.31 m ²	569.14 m ²	-159.17 m ²
LEVEL 02 (RESIDENTIAL)	831.90 m ²	807.53 m ²	-24.37 m ²
LEVEL 03 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 04 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 05 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 06 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 07 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 08 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 09 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 10 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 11 (RESIDENTIAL)	916.17 m ²	893.20 m ²	-22.97 m ²
LEVEL 12 (FFL (AMENITIES))	293.40 m ²	404.75 m ²	111.35 m ²
LEVEL 13 (MECH.)	-	-	-
TOTAL	10,099.12 m²	9,820.26 m²	-278.86 m²

RESIDENTIAL SUITE AREAS

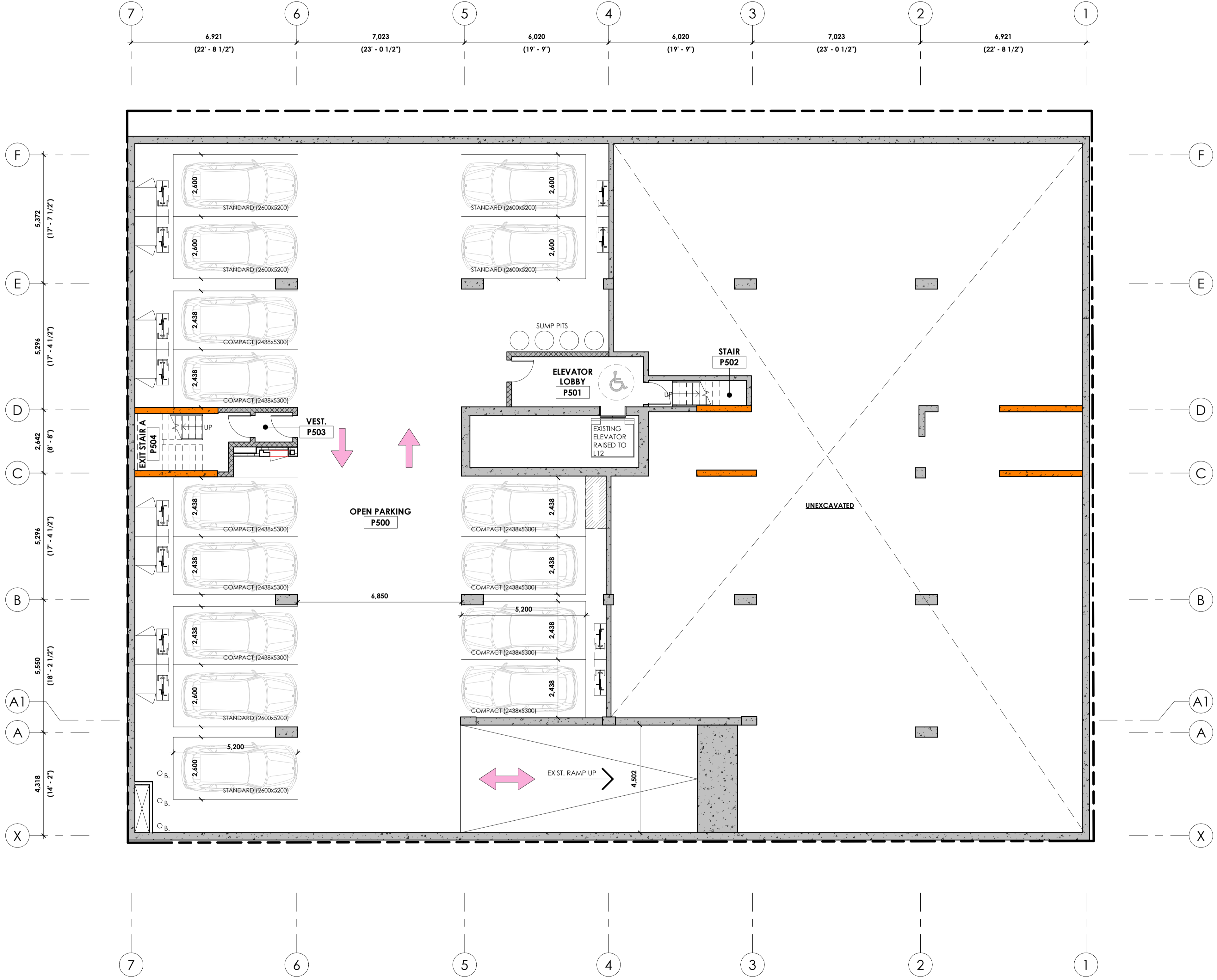
LEVEL	SUITE	TYPE	AREA (SQ.M)	AREA (SF)
LEVEL 02	SUITE 01	1 BDRM (B.F.) + DEN	54.72 m ²	588.96 ft ²
	SUITE 02	2 BDRM	65.54 m ²	705.50 ft ²
	SUITE 03	2 BDRM (B.F.)	62.54 m ²	673.13 ft ²
	SUITE 04	2 BDRM (B.F.)	45.26 m ²	487.16 ft ²
	SUITE 05	STUDIO	38.93 m ²	419.04 ft ²
	SUITE 06	1 BDRM	47.52 m ²	511.49 ft ²
	SUITE 07	1 BDRM + DEN	59.15 m ²	636.69 ft ²
	SUITE 08	STUDIO	38.95 m ²	419.30 ft ²
	SUITE 09	STUDIO	45.05 m ²	484.91 ft ²
	SUITE 10	2 BDRM	62.71 m ²	675.05 ft ²
	SUITE 11	2 BDRM	70.20 m ²	755.58 ft ²
	SUITE 12	2 BDRM + DEN	72.25 m ²	777.67 ft ²
	SUITE 13	1 BDRM (B.F.)	52.31 m ²	563.11 ft ²
	SUITE 14	1 BDRM (B.F.)	52.31 m ²	563.11 ft ²
LEVEL 03 TO LEVEL 11 (TYPICAL)				
SUITE 01	1 BDRM (B.F.)	52.55 m ²	565.64 ft ²	
SUITE 02	2 BDRM + DEN	72.20 m ²	777.17 ft ²	
SUITE 03	2 BDRM	70.51 m ²	759.00 ft ²	
SUITE 04	2 BDRM (B.F.)	62.54 m ²	673.13 ft ²	
SUITE 05	STUDIO	45.26 m ²	487.16 ft ²	
SUITE 06	STUDIO	38.93 m ²	419.04 ft ²	
SUITE 07	1 BDRM + DEN	56.87 m ²	612.12 ft ²	
SUITE 08	1 BDRM + DEN	56.62 m ²	609.44 ft ²	
SUITE 09	STUDIO	38.97 m ²	419.42 ft ²	
SUITE 10	STUDIO	44.26 m ²	476.41 ft ²	
SUITE 11	2 BDRM	63.92 m ²	688.08 ft ²	
SUITE 12	2 BDRM	70.48 m ²	758.65 ft ²	
SUITE 13	2 BDRM + DEN	72.55 m ²	780.87 ft ²	
SUITE 14	1 BDRM (B.F.)	52.59 m ²	566.07 ft ²	
TOTAL		8,232.44 m²	88,613.24 ft²	

ZONING MATRIX

ITEM	FIELD	DATA	ITEM	FIELD	DATA
1	LEGAL DESCRIPTION	LOTS 28 AND 29 REGISTERED PLAN 2996	9	LOADING ZONE	REQUIRED: RESIDENTIAL: 0 spaces (min) PROPOSED: 1 SHARED LOADING ZONE
2	CURRENT ZONING PERMITTED USES:	MD S25 APARTMENT DWELLINGS (HIGH RISE), RESTAURANT (CONDITIONAL), OFFICE (CURRENT EXCEPTION)	10	PARKING	REQUIRED: RESIDENTIAL: 0 MAXIMUM: 1.5 PER UNIT = 209 spots VISITOR: 0.1 PER SUITE AFTER FIRST 12 UNITS = 13 spots TOTAL: 13 PROPOSED: TOTAL: 59
3	LOT AREA	1,233.35 m ² (EXISTING UNCHANGED)	11	BICYCLE PARKING	REQUIRED: RESIDENTIAL: 0 0.5 / UNIT = 70 SPACES TOTAL: 70 SPACES + 1 RETAIL SPACES (REFER TO SITE PLAN) PROPOSED: TOTAL: 78
4	LOT FRONTAGE	40.32 m (EXISTING UNCHANGED)	12	LANDSCAPED AREAS	REQUIRED: NONE NOTED FOR THIS SITE
5	BUILDING AREA	1,057.83 m ² (EXISTING UNCHANGED)	13	DRIVE AISLES	REQUIRED: SINGLE TRAFFIC LANE: 3m DOUBLE TRAFFIC LANE: MINIMUM: 6m; MAXIMUM: 3.6m FOR LESS THAN 20 PARKING SPACES, 6.7m FOR 20 OF MORE PARKING SPACES PROPOSED: SEE PLANS
6	BUILDING SETBACKS	FRONT YARD REQUIRED: NO MINIMUM FRONT YARD (EXISTING): 1.02m REAR YARD (REQUIRED): NO MINIMUM REAR YARD (EXISTING): 0m INTERIOR SIDE YARD (REQUIRED): NO MINIMUM INTERIOR SIDE YARD (EXISTING): 0m			
7	AMENITY SPACE	REQUIRED: 6m ² x 139 DWELLING UNITS = 834 m ² PROPOSED COMMUNAL AMENITY: GROUND LEVEL INTERIOR: 238.48 m ² L12 INTERIOR: 424.47 m ² L12 EXTERIOR: 452.60 m ² TOTAL: 1,115.55 m ²			
8	BUILDING HEIGHT	HEIGHTS: PROPOSED CHANGE TO USE AS FOLLOWS: 36.39 m TO TOP OF MAIN ROOF AMENITY 40.26 m TO TOP OF AMENITY PENTHOUSE (L12) 44.75 m TO TOP OF MECHANICAL PENTHOUSE (L13)			

VEHICLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P5 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	6
LEVEL P4 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	4
LEVEL P3 BASEMENT	
ACCESSIBLE (3400x5200)	2
COMPACT (2438x5300)	7
STANDARD (2600x5200)	3
LEVEL P2 BASEMENT	
COMPACT (2438x5300)	6
STANDARD (2600x5200)	3
LEVEL P1 BASEMENT	
ACCESSIBLE (3400x5200)	1
COMPACT (2438x5300)	7
STANDARD (2600x5200)	2
GRAND TOTAL	59

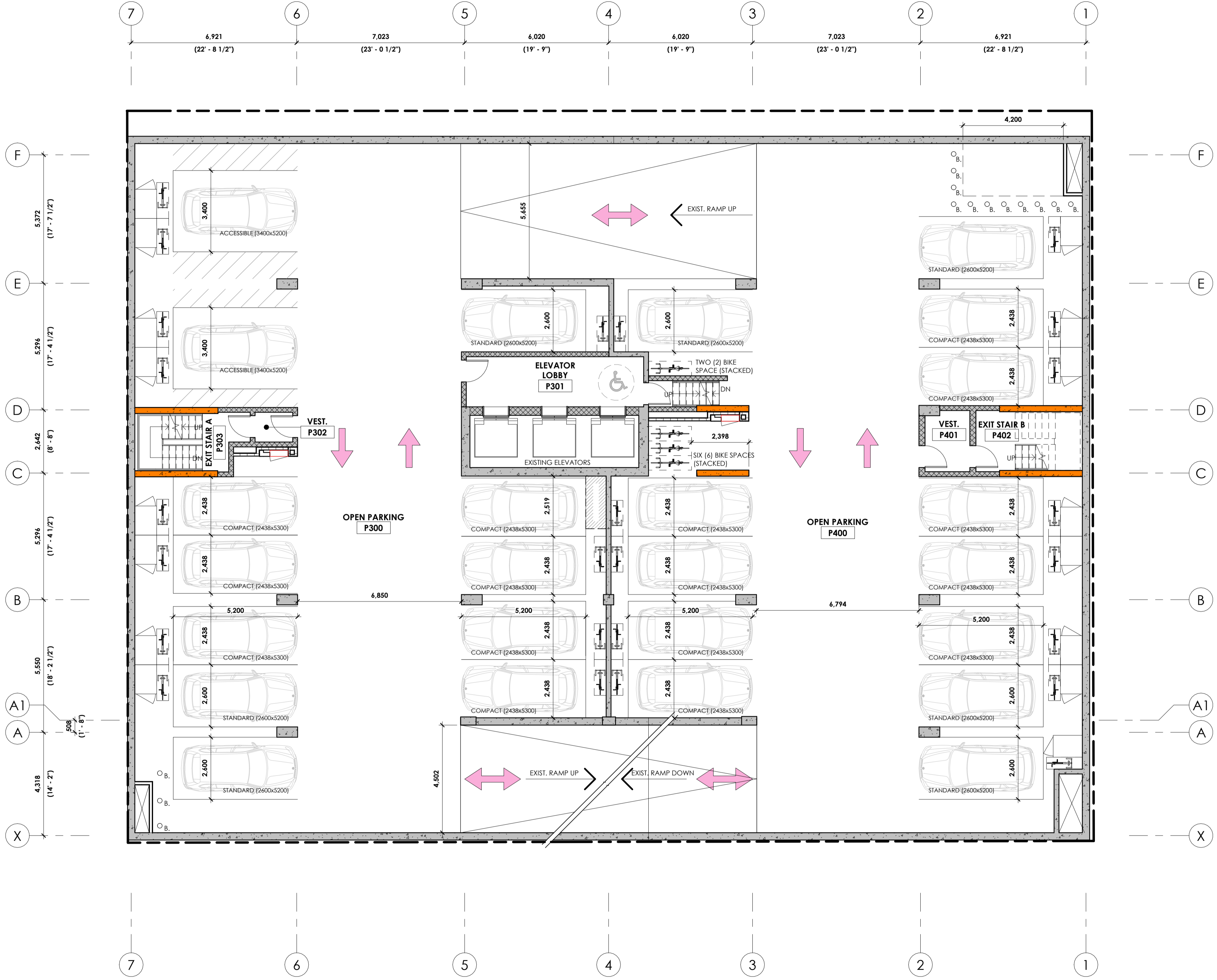
BICYCLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P4 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (OPEN PARKING)	2
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL P2 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL 01	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	54
VERTICAL BICYCLE SPACE (SECURE)	10
GRAND TOTAL	78
REQUIRED	70



EXISTING TO REMAIN
 NEW (PROPOSED)

VEHICLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P5 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	6
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LEVEL P2 BASEMENT	
COMPACT (2438x5300)	6
STANDARD (2600x5200)	3
LEVEL P1 BASEMENT	
ACCESSIBLE (3400x5200)	1
COMPACT (2438x5300)	7
STANDARD (2600x5200)	2
GRAND TOTAL	59

BICYCLE PARKING PROVIDED (BY FLOOR)	
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VERTICAL BICYCLE SPACE (SECURE)	10
GRAND TOTAL	78
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EXISTING TO REMAIN
 NEW (PROPOSED)



ISSUED FOR SITE PLAN CONTROL 230504
 no revisions date



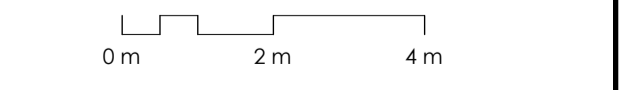
- general notes | note générale
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360 LAURIER AVE W
PROPOSED MIXED-USE RENOVATION

360 LAURIER AVE W | OTTAWA | ON | K1P 1C8

P3 AND P4 BASEMENT FLOOR PLAN

project number | numéro du projet **2225**
 drawn | dessiné **JH**
 checked | vérifié **JAP / MAR / AR**
 date | date **11/28/22**
 scale | échelle **1 : 100**



drawing number | numéro du dessin
A2-099

VEHICLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P5 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	6
LEVEL P4 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	4
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ACCESSIBLE (3400x5200)	2
COMPACT (2438x5300)	7
STANDARD (2600x5200)	3
LEVEL P2 BASEMENT	
COMPACT (2438x5300)	6
STANDARD (2600x5200)	3
LEVEL P1 BASEMENT	
ACCESSIBLE (3400x5200)	1
COMPACT (2438x5300)	7
STANDARD (2600x5200)	2
GRAND TOTAL	59

BICYCLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P4 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (OPEN PARKING)	2
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL P2 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL 01	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	54
VERTICAL BICYCLE SPACE (SECURE)	10
GRAND TOTAL	78
REQUIRED	70



VEHICLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P4 BASEMENT	
COMPACT (2438x5300)	9
STANDARD (2600x5200)	4
LEVEL P2 BASEMENT	
ACCESSIBLE (3400x5200)	2
COMPACT (2438x5300)	7
STANDARD (2600x5200)	3
LEVEL P1 BASEMENT	
ACCESSIBLE (3400x5200)	1
COMPACT (2438x5300)	7
STANDARD (2600x5200)	2
GRAND TOTAL	59

BICYCLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P4 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (OPEN PARKING)	2
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL P2 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL 01	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	54
VERTICAL BICYCLE SPACE (SECURE)	10
GRAND TOTAL	78
REQUIRED	70

CLV GROUP DEVELOPMENTS
485 BANK STREET, SUITE 200, OTTAWA K2P 1Z2
client | client

CLELAND JARDINE ENGINEERING LTD.
PROFESSIONAL ENGINEER (P.ENG.)
REG. NO. 19111
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Smith + Andersen
MEP engineers | ingénieur MEP

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ENGINEERING | INGENIERIE
civil engineers | ingénieur civil

C SW
landscape architect | architecte paysagiste

nord du projet / project north
nord actuel / true north

ISSUED FOR SITE PLAN CONTROL 230504
no revisions date

stamp | firme
ONTARIO ASSOCIATION OF ARCHITECTS
ANDREW REEVES
LICENCE 6464

architect | architecte
linebox
STUDIO

general notes | note générale
1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
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project title
360 LAURIER AVE W
PROPOSED MIXED-USE RENOVATION

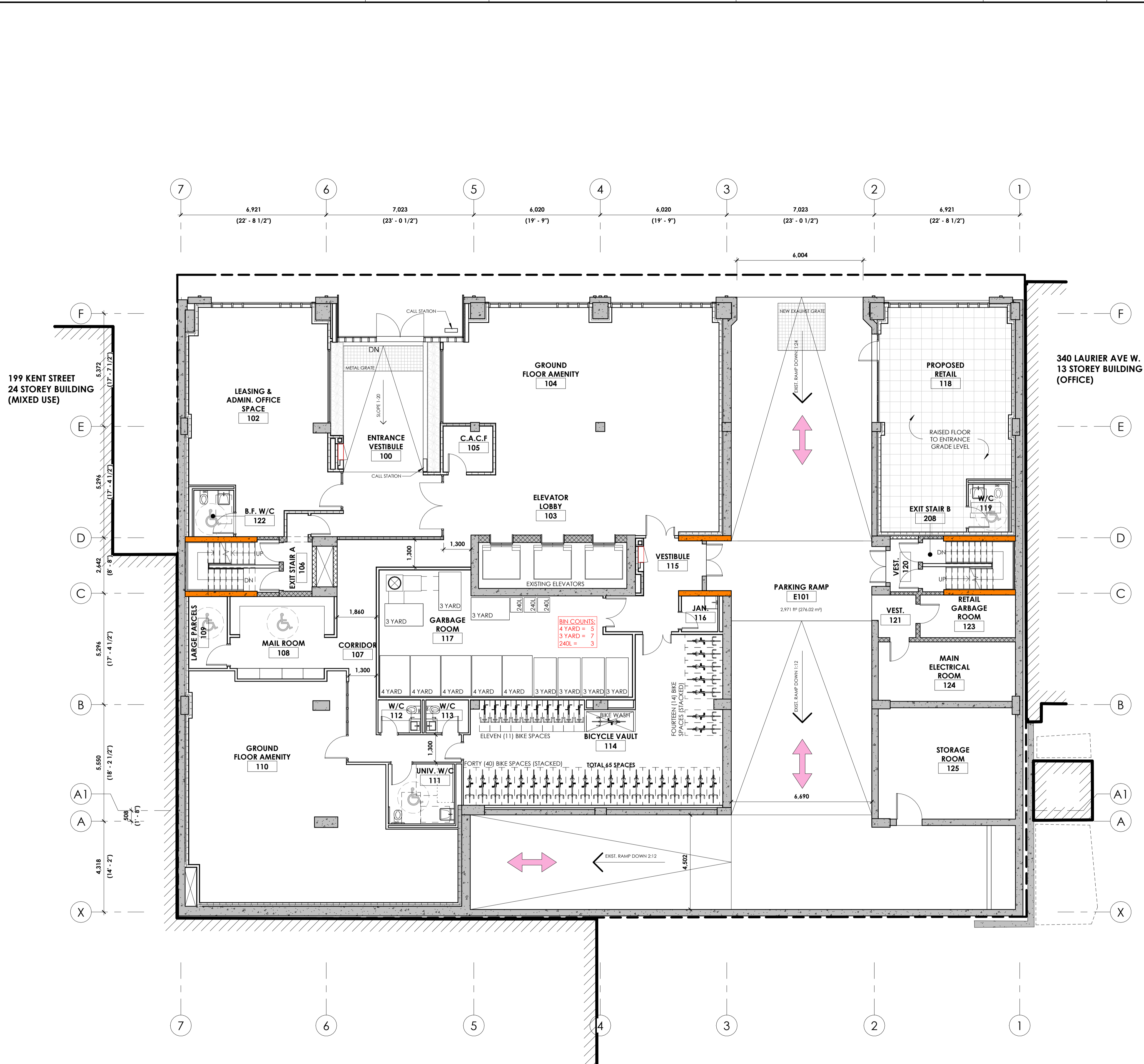
360 LAURIER AVE W | OTTAWA | ON | K1P 1C8
drawing title | titre du dessin

P1 AND P2 BASEMENT FLOOR PLAN

project number | numéro du projet 2225
drawn | dessiné JH
checked | vérifié JAP / MAR / AR
date | date 11/28/22
scale | échelle 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin
A2-100



BICYCLE PARKING PROVIDED (BY FLOOR)	
TYPE	COUNT
LEVEL P4 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (OPEN PARKING)	2
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL P2 BASEMENT	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	6
LEVEL 01	
HORIZONTAL DBL STACKED BICYCLE SPACE (SECURE)	54
VERTICAL BICYCLE SPACE (SECURE)	10
GRAND TOTAL	78
REQUIRED	70

CLV GROUP DEVELOPMENTS
485 BANK STREET, SUITE 200, OTTAWA K2P 1Z2

client | client

CLELAND JARDINE ENGINEERING LTD.
PROFESSIONAL ENGINEER
P. ENG. REG. NO. 10111
C. ENG. REG. NO. 11533

structural engineers | ingénieur structure

Smith + Andersen

MEP engineers | ingénieur MEP

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civil engineers | ingénieur civil

C SW

landscape architect | architecte paysagiste

nord du projet / project north
nord actuel / true north

ISSUED FOR SITE PLAN CONTROL 230504
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stamp | fibre

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project title

360 LAURIER AVE W
PROPOSED MIXED-USE RENOVATION

360 LAURIER AVE W | OTTAWA | ON | K1P 1C8

drawing title | titre du dessin

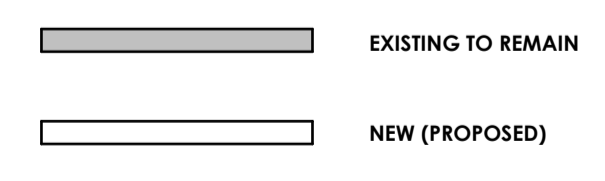
LEVEL 01 FLOOR PLAN

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checked | vérifié JAP / MAR / AR
date | date 11/28/22
scale | échelle 1 : 100



drawing number | numéro du dessin

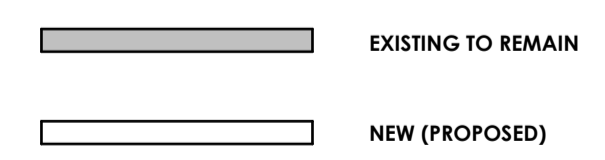
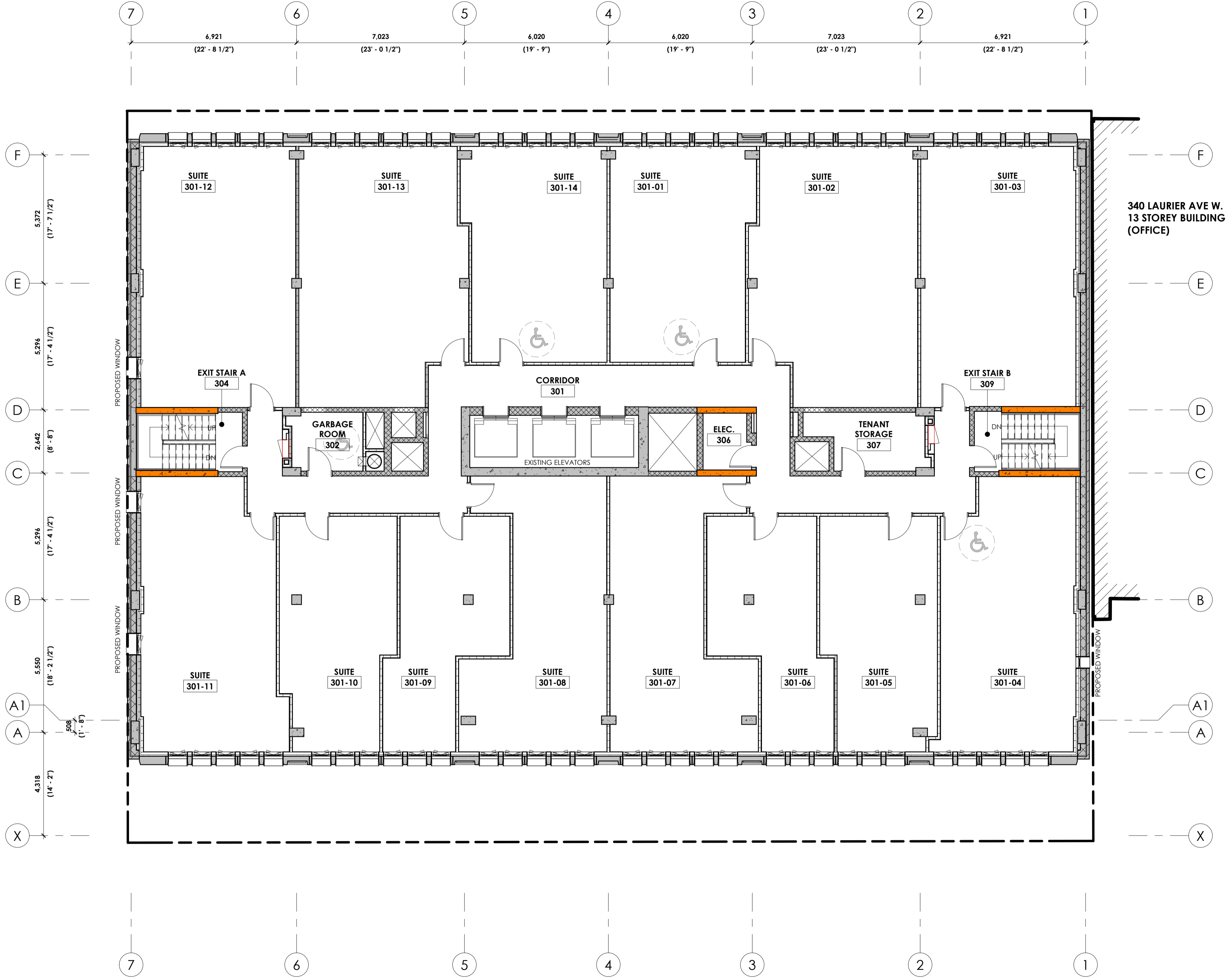
A2-101



RESIDENTIAL SUITE AREAS			
	TYPE	AREA (SQ.M)	AREA (SF)
LEVEL 02			
SUITE 01	1 BDRM (B.F.) + DEN	54.72 m ²	588.96 ft ²
SUITE 03	2 BDRM	65.54 m ²	705.50 ft ²
SUITE 04	2 BDRM (B.F.)	62.54 m ²	673.13 ft ²
SUITE 05	STUDIO	45.26 m ²	487.16 ft ²
SUITE 06	STUDIO	38.93 m ²	419.04 ft ²
SUITE 07	1 BDRM	47.52 m ²	511.49 ft ²
SUITE 08	1 BDRM + DEN	59.15 m ²	636.69 ft ²
SUITE 09	STUDIO	38.95 m ²	419.30 ft ²
SUITE 10	STUDIO	45.05 m ²	484.91 ft ²
SUITE 11	2 BDRM	62.71 m ²	675.05 ft ²
SUITE 12	2 BDRM	70.20 m ²	755.58 ft ²
SUITE 13	2 BDRM + DEN	72.25 m ²	777.67 ft ²
SUITE 14	1 BDRM (B.F.)	52.31 m ²	563.11 ft ²
LEVEL 03 TO LEVEL 11 (TYPICAL)			
SUITE 01	1 BDRM (B.F.)	52.55 m ²	565.64 ft ²
SUITE 02	2 BDRM + DEN	72.20 m ²	777.17 ft ²
SUITE 03	2 BDRM	70.51 m ²	759.00 ft ²
SUITE 04	2 BDRM (B.F.)	62.54 m ²	673.13 ft ²
SUITE 05	STUDIO	45.26 m ²	487.16 ft ²
SUITE 06	STUDIO	38.93 m ²	419.04 ft ²
SUITE 07	1 BDRM + DEN	56.87 m ²	612.12 ft ²
SUITE 08	1 BDRM + DEN	56.62 m ²	609.44 ft ²
SUITE 09	STUDIO	38.97 m ²	419.42 ft ²
SUITE 10	STUDIO	44.26 m ²	476.41 ft ²
SUITE 11	2 BDRM	63.92 m ²	688.08 ft ²
SUITE 12	2 BDRM	70.48 m ²	758.65 ft ²
SUITE 13	2 BDRM + DEN	72.55 m ²	780.87 ft ²
SUITE 14	1 BDRM (B.F.)	52.59 m ²	566.07 ft ²
TOTAL		8,232.44 m²	88,613.24 ft²



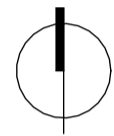
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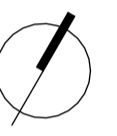


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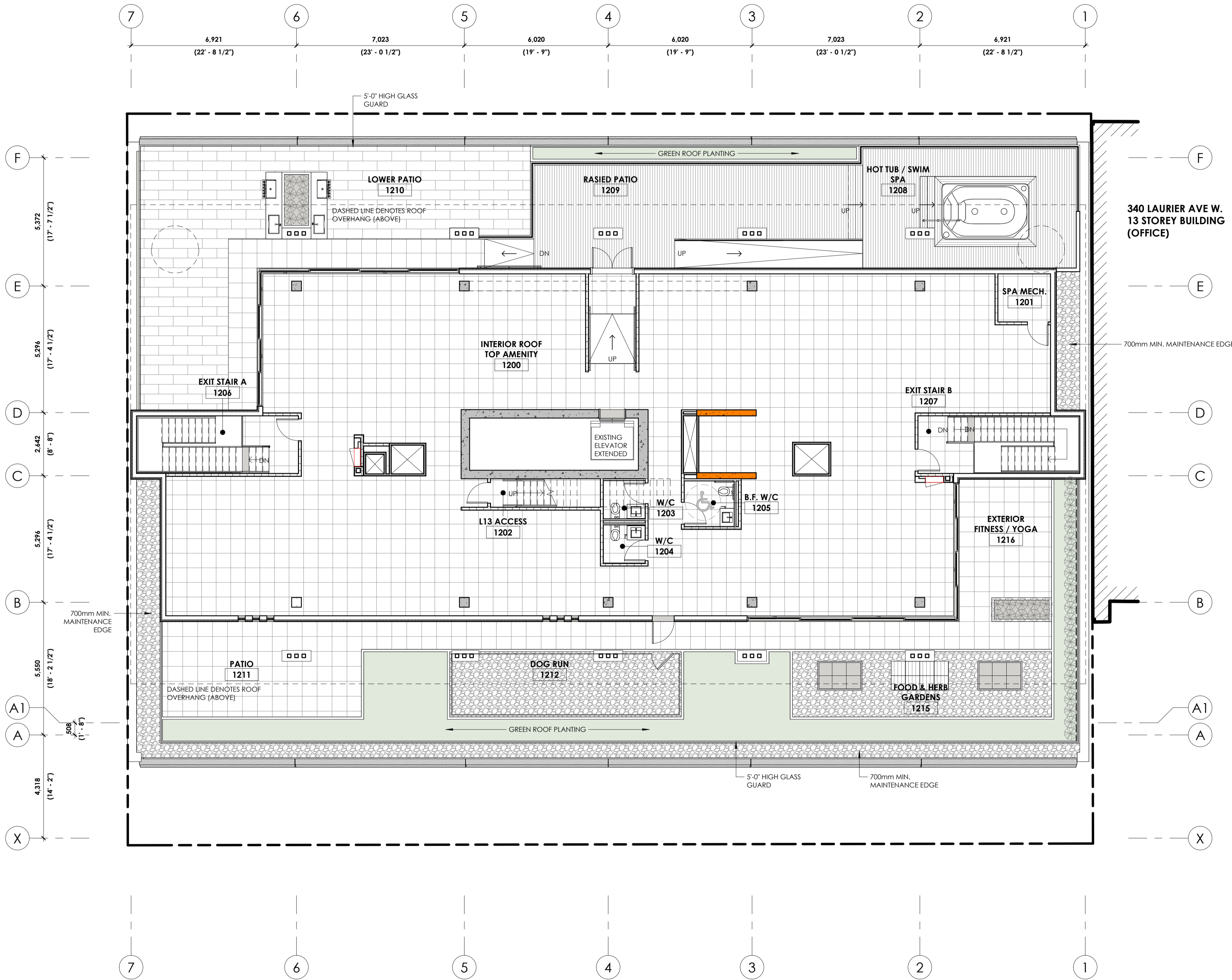
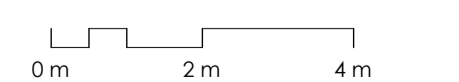
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project north



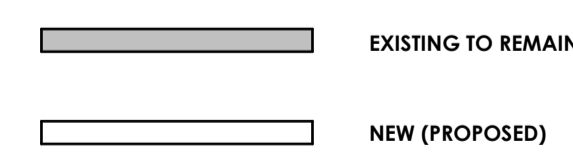
nord actuel
true north



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GENERAL NOTES:
1. REFER TO LANDSCAPE PACKAGE & DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS.



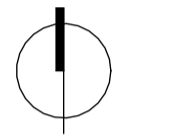


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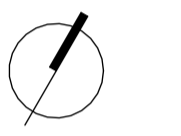
ENGINEERING | INGENIERIE



CSW



nord du projet
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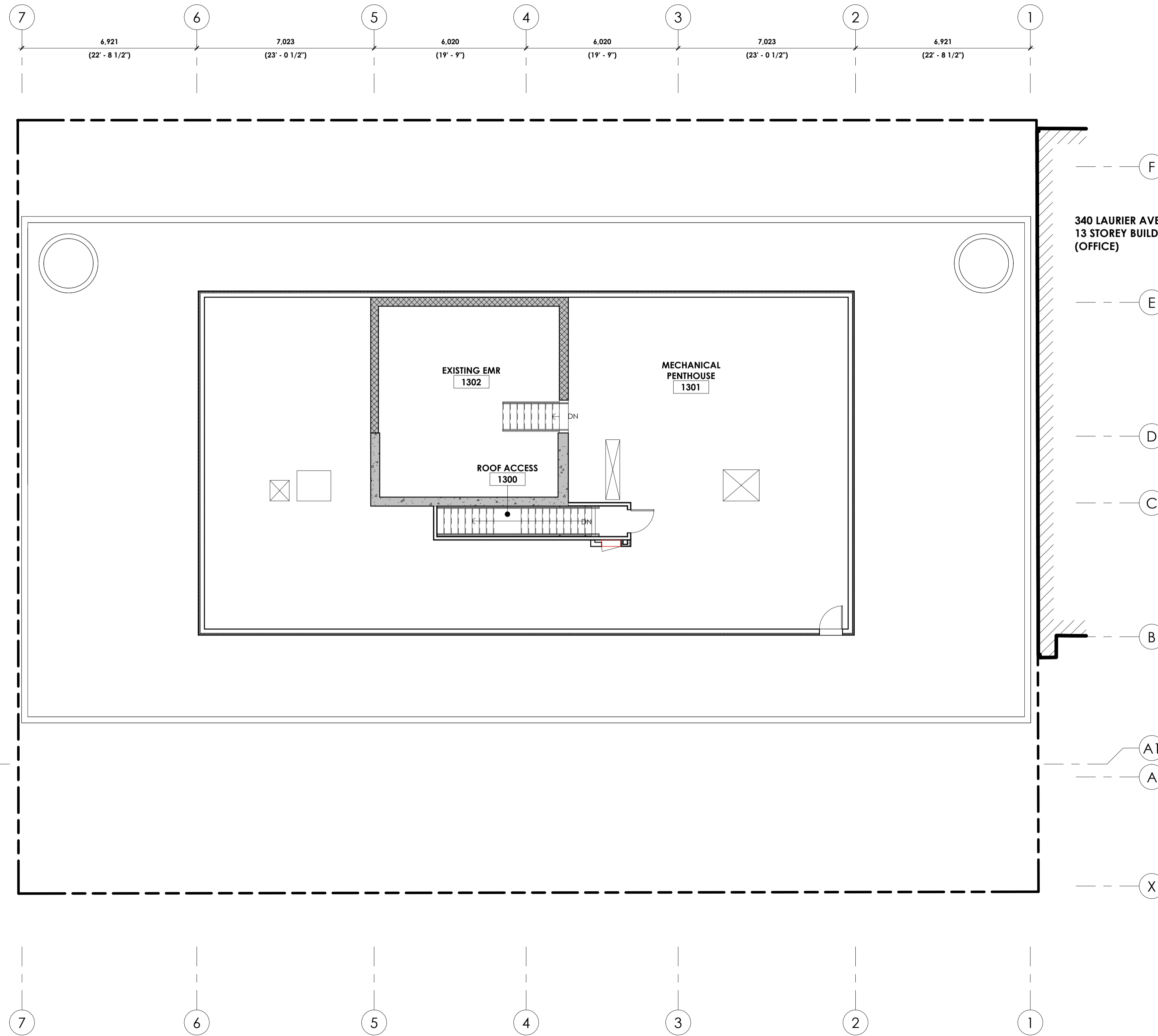
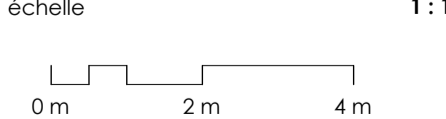
nord actuel
true north



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360 LAURIER AVE W
PROPOSED MIXED-USE RENOVATION

LEVEL 13 (MECH. PENTHOUSE) FLOOR PLAN



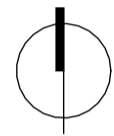


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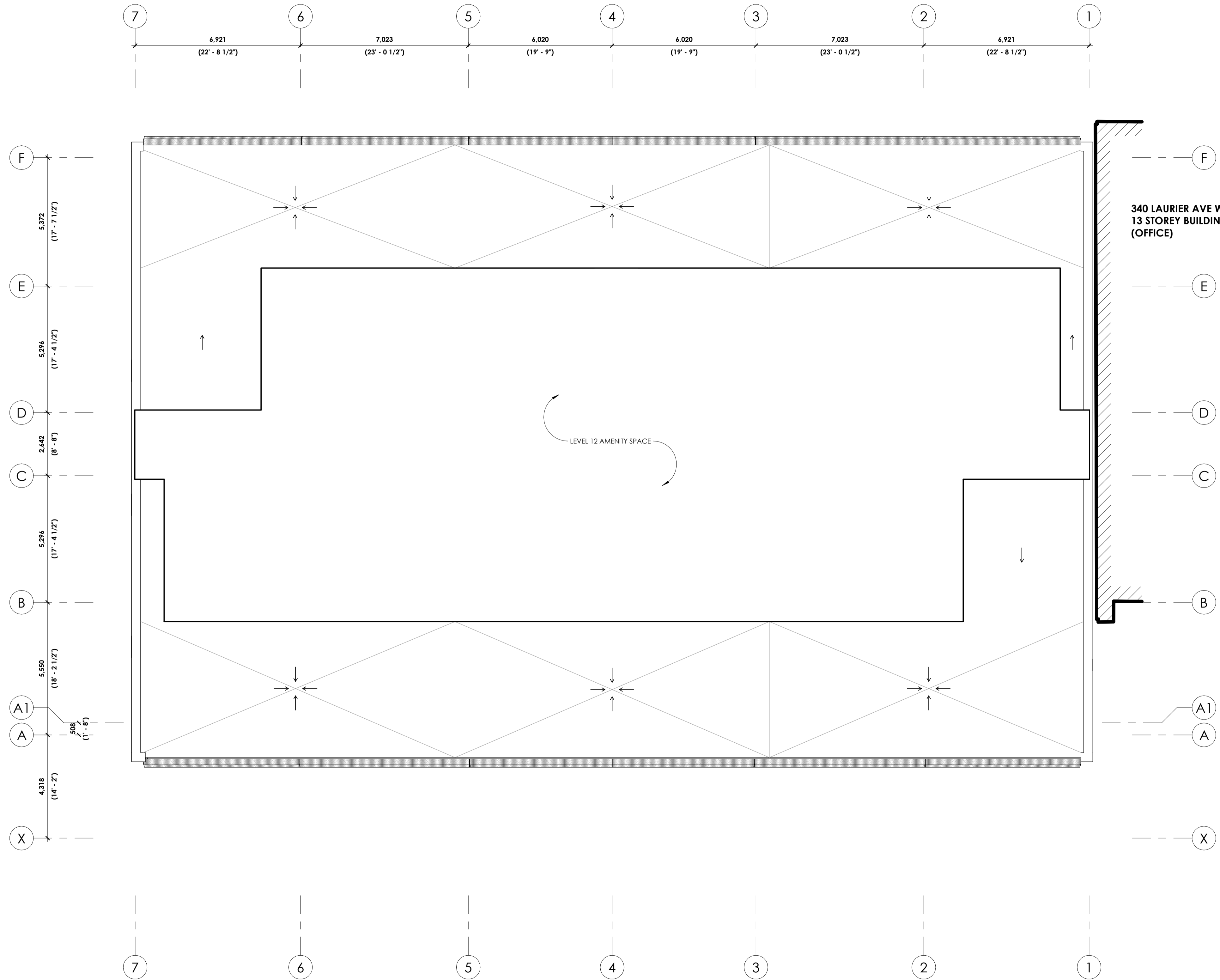
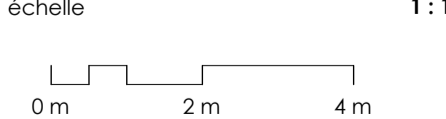
nord du projet
project north



nord actuel
true north



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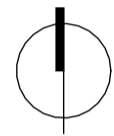


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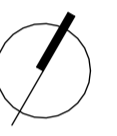
ENGINEERING | INGENIERIE



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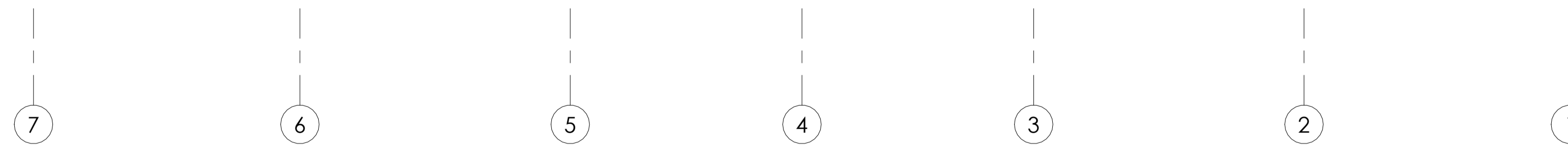
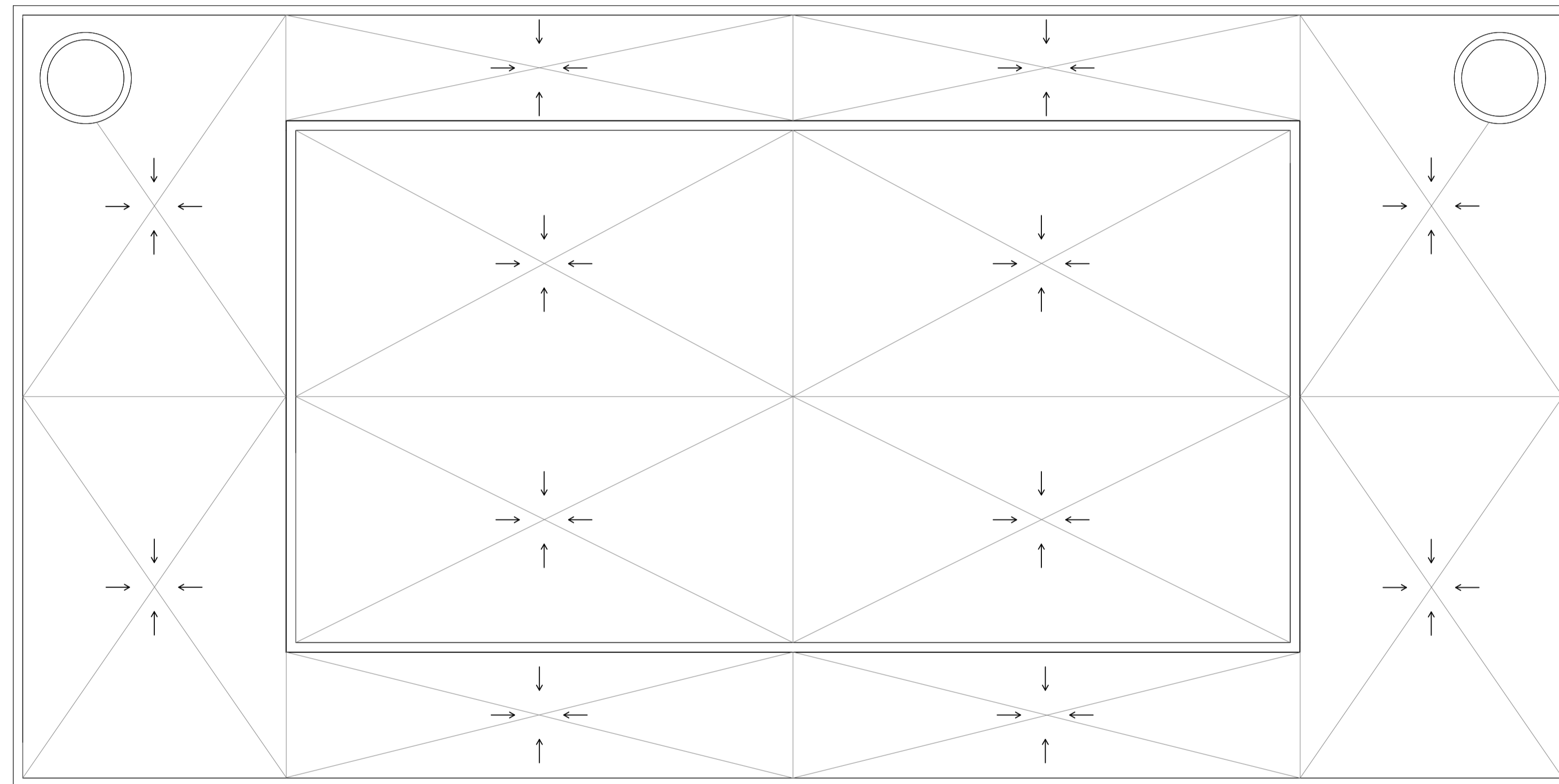
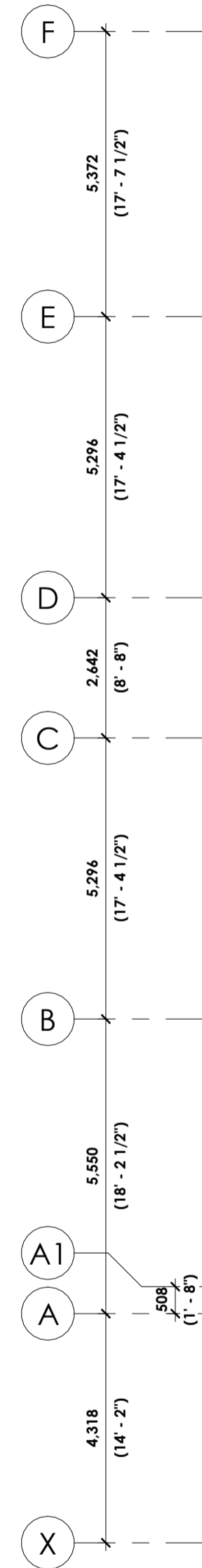
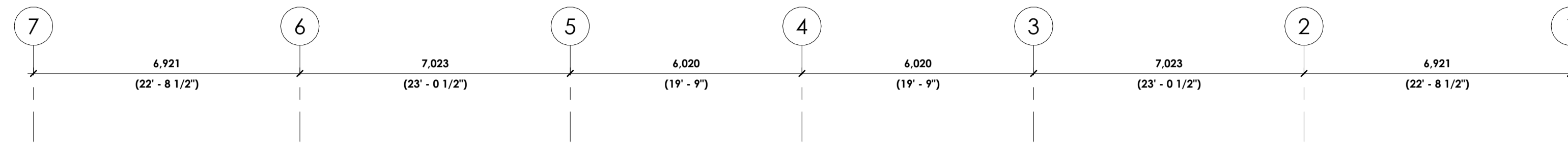
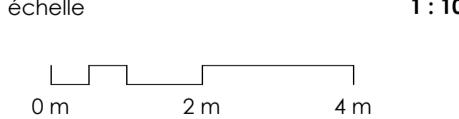
nord du projet
project north



nord actuel
true north



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360 LAURIER AVE W
PROPOSED MIXED-USE RENOVATION

360 LAURIER AVE W | OTTAWA | ON | K1P 1C8

drawing title | titre du dessin

NORTH (LAURIER AVE W) ELEVATION

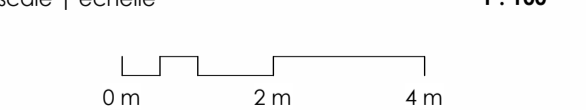
project number | numéro du projet **2225**

drawn | dessiné **JH**

checked | vérifié **JAP / MAR / AR**

date | date **11/28/22**

scale | échelle **1 : 100**



drawing number | numéro du dessin

A4-100



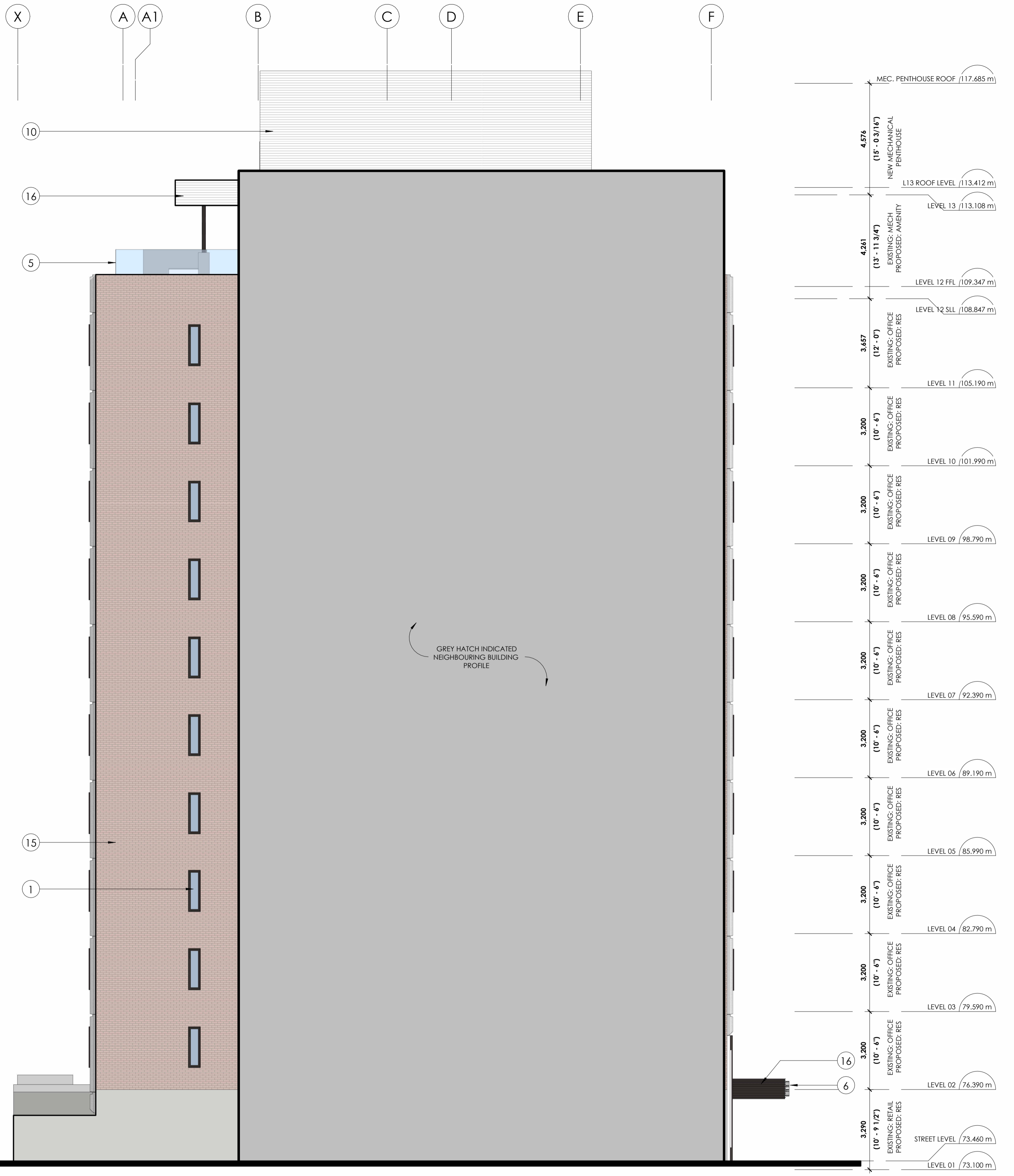
1 NORTH (LAURIER AVE W) ELEVATION
A4-100 1:100

MATERIAL LEGEND

TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
1	CLEAR GLASS (WINDOW), COLOUR TBD, DOUBLE GLAZED, LOW E COATING	4	ALUMINUM PROFILED CLADDING.	7	NOT USED.	10	ACOUSTICAL LOUVRES AT MECHANICAL PENTHOUSE.	13	CLEAR GLASS (CURTAIN WALL), COLOUR TBD, DOUBLE GLAZED, LOW E COATING.
2	EXTERIOR LIGHTING	5	5'-0" HIGH GLASS GUARDS	8	NOT USED.	11	ENTRANCE TO UNDERGROUND PARKING	14	COLOURED GLASS FILM (WINDOW), COLOUR TBD, DOUBLE GLAZED, LOW E COATING.
3	EXTERIOR GLASS GUARD, COLOUR TBD.	6	METAL SIGNAGE.	9	EXISTING RIB PROFILED PRECAST PANEL.	12	SPANDREL PANEL.	15	EXISTING EXTERIOR BRICK.
								16	METAL EXTRUSION CANOPY.
								17	EXTERIOR GLASS SLIDING PATIO DOORS, COLOUR TBD, DOUBLE GLAZED, LOW E COATING.
								19	ALLOW FOR NEW PUNCHED WINDOWS IN EXISTING PRECAST PANEL OPENINGS WHERE OPENINGS ARE NOT OBSTRUCTED BY COLUMNS.
								20	SPA ENCLOSURE.

GENERAL NOTES:

- ALL REMAINING EXISTING WINDOWS TO BE REPLACED.
- ALLOW FOR INTAKE AND EXHAUST VENTS FOR SUITE FAN COIL UNITS, INTEGRATED INTO NEW EXTERIOR WINDOWS, JULIET BALCONIES AND/OR EXTERIOR WALLS. COLOURED GLAZING TO BE FILM, INSTALLED ON-SITE.
- ALL EXTERIOR GLAZING TO BE BIRD FRIENDLY (TYP.)
- OPERABLE WINDOWS TO HAVE A MECHANISM CAPABLE OF CONTROLLING THE FREE SWINGING OR SLIDING OF THE OPENABLE PART OF THE WINDOW SO AS TO LIMIT ANY CLEAR UNOBSTRUCTED OPENING TO A SIZE THAT WILL PREVENT THE PASSAGE OF A SPHERE HAVING A DIAMETER MORE THAN 100mm, OR BE PRETECTED BY A GUARD NO LESS THAN 1075mm.



ISSUED FOR SITE PLAN CONTROL 230504

no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

360 LAURIER AVE W
 PROPOSED MIXED-USE RENOVATION

360 LAURIER AVE W | OTTAWA | ON | K1P 1C8

drawing title | titre du dessin

EAST ELEVATION

project number | numéro du projet **2225**

drawn | dessiné **JH**

checked | vérifié **JAP / MAR / JR**

date | date **11/28/22**

scale | échelle **1 : 100**



drawing number | numéro du dessin

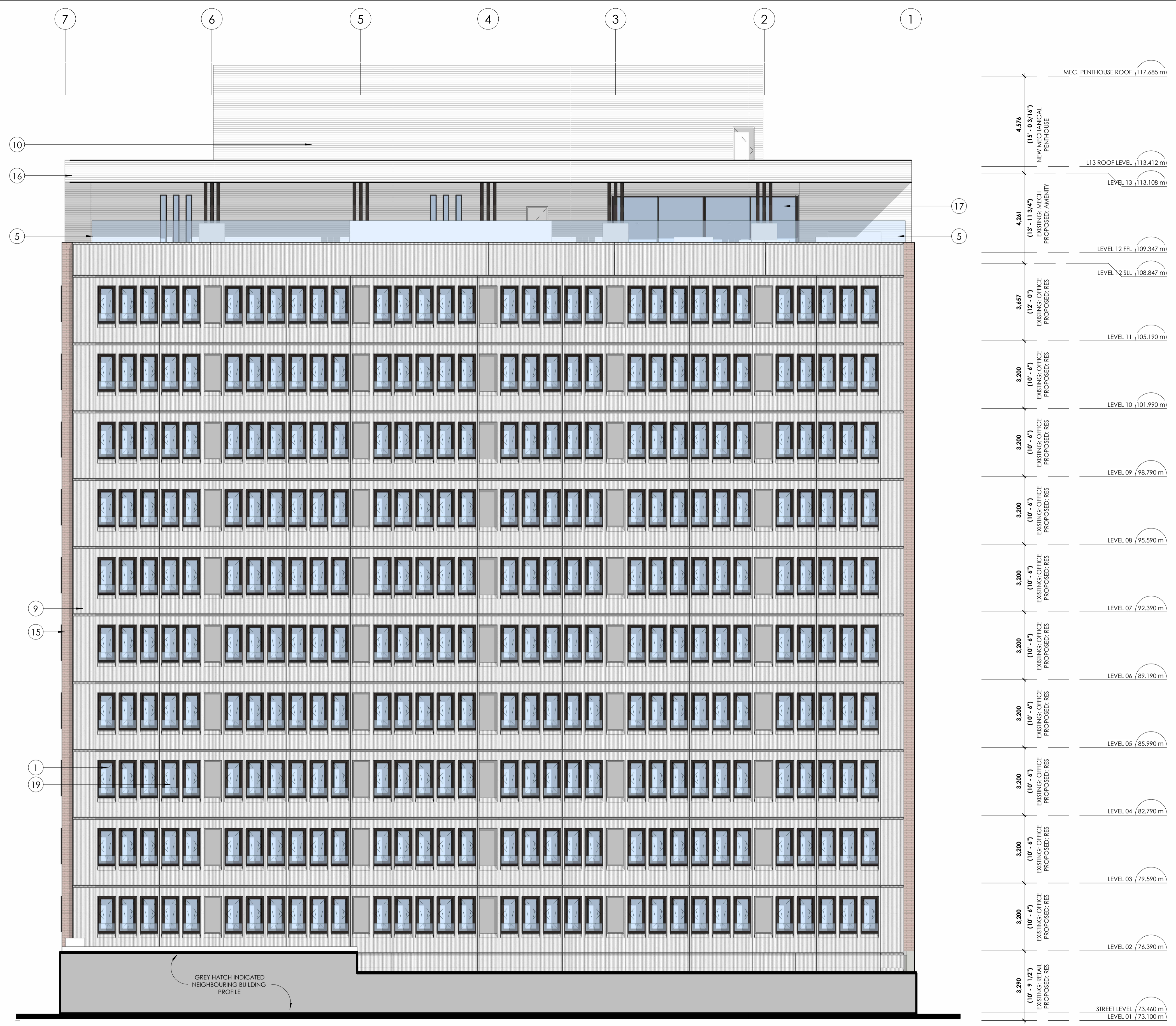
A4-101

1 EAST ELEVATION
 A4-101 1 : 100

MATERIAL LEGEND

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								17	EXTERIOR GLASS SLIDING PATIO DOORS, COLOUR TBD, DOUBLE GLAZED, LOW E COATING.
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- GENERAL NOTES:**
- ALL REMAINING EXISTING WINDOWS TO BE REPLACED.
 - ALLOW FOR INTAKE AND EXHAUST VENTS FOR SUITE FAN COIL UNITS, INTEGRATED INTO NEW EXTERIOR WINDOWS, JULIET BALCONIES AND/OR EXTERIOR WALLS.
 - COLOURED GLAZING TO BE FILM, INSTALLED ON-SITE.
 - ALL EXTERIOR GLAZING TO BE BIRD FRIENDLY (TFI).
 - OPERABLE WINDOWS TO HAVE A MECHANISM CAPABLE OF CONTROLLING THE FREE SWINGING OR SLIDING OF THE OPENABLE PART OF THE WINDOW SO AS TO LIMIT ANY CLEAR UNOBSTRUCTED OPENING TO A SIZE THAT WILL PREVENT THE PASSAGE OF A SPHERE HAVING A DIAMETER MORE THAN 100mm, OR BE PROTECTED BY A GUARD NO LESS THAN 1075mm.



1 SOUTH ELEVATION
A4-102 1:100

MATERIAL LEGEND

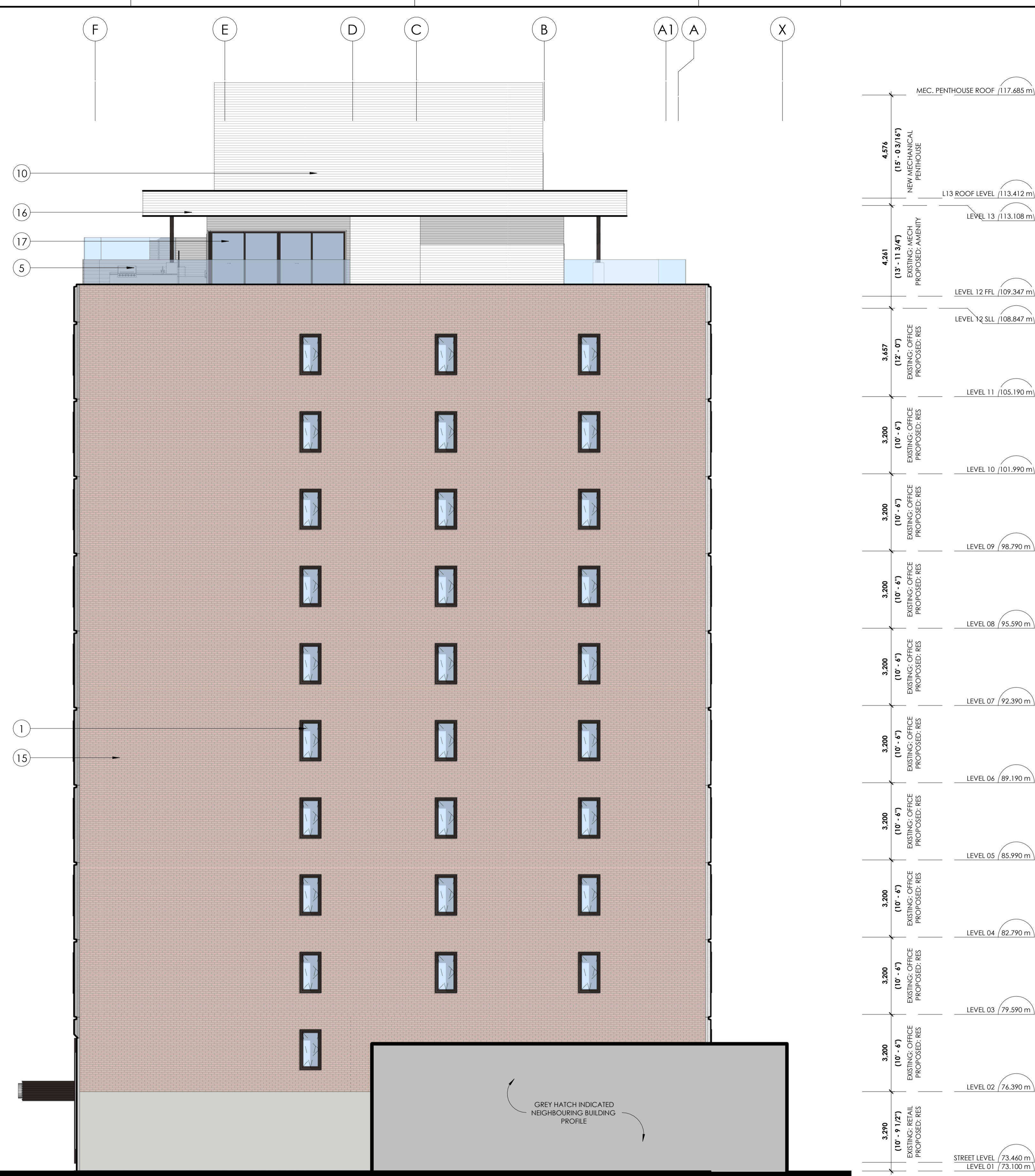
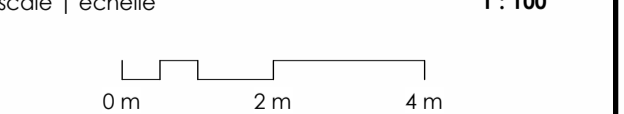
TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION		
1	CLEAR GLASS (WINDOW), COLOUR TBD, DOUBLE GLAZED, LOW E COATING	4	ALUMINUM PROFILED CLADDING.	7	NOT USED.	10	ACOUSTICAL LOUVRES AT MECHANICAL PENTHOUSE.	13	CLEAR GLASS (CURTAIN WALL), COLOUR TBD, DOUBLE GLAZED, LOW E COATING.	16	METAL EXTRUSION CANOPY.	19	ALLOW FOR NEW PUNCHED WINDOWS IN EXISTING PRECAST PANEL OPENINGS WHERE OPENINGS ARE NOT OBSTRUCTED BY COLUMNS.
2	EXTERIOR LIGHTING	5	5'-0" HIGH GLASS GUARDS	8	NOT USED.	11	ENTRANCE TO UNDERGROUND PARKING	14	COLOURED GLASS FILM (WINDOW), COLOUR TBD, DOUBLE GLAZED, LOW E COATING.	17	EXTERIOR GLASS SLIDING PATIO DOORS, COLOUR TBD, DOUBLE GLAZED, LOW E COATING.	20	SPA ENCLOSURE.
3	EXTERIOR GLASS GUARD, COLOUR TBD.	6	METAL SIGNAGE.	9	EXISTING RIB PROFILED PRECAST PANEL.	12	SPANDREL PANEL.	15	EXISTING EXTERIOR BRICK.	18	CLEAR GLASS (PATIO DOORS), COLOUR TBD, DOUBLE GLAZED, LOW E COATING.		

GENERAL NOTES:

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- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- NOT FOR CONSTRUCTION UNITS, SIGNED BY THE ARCHITECT.



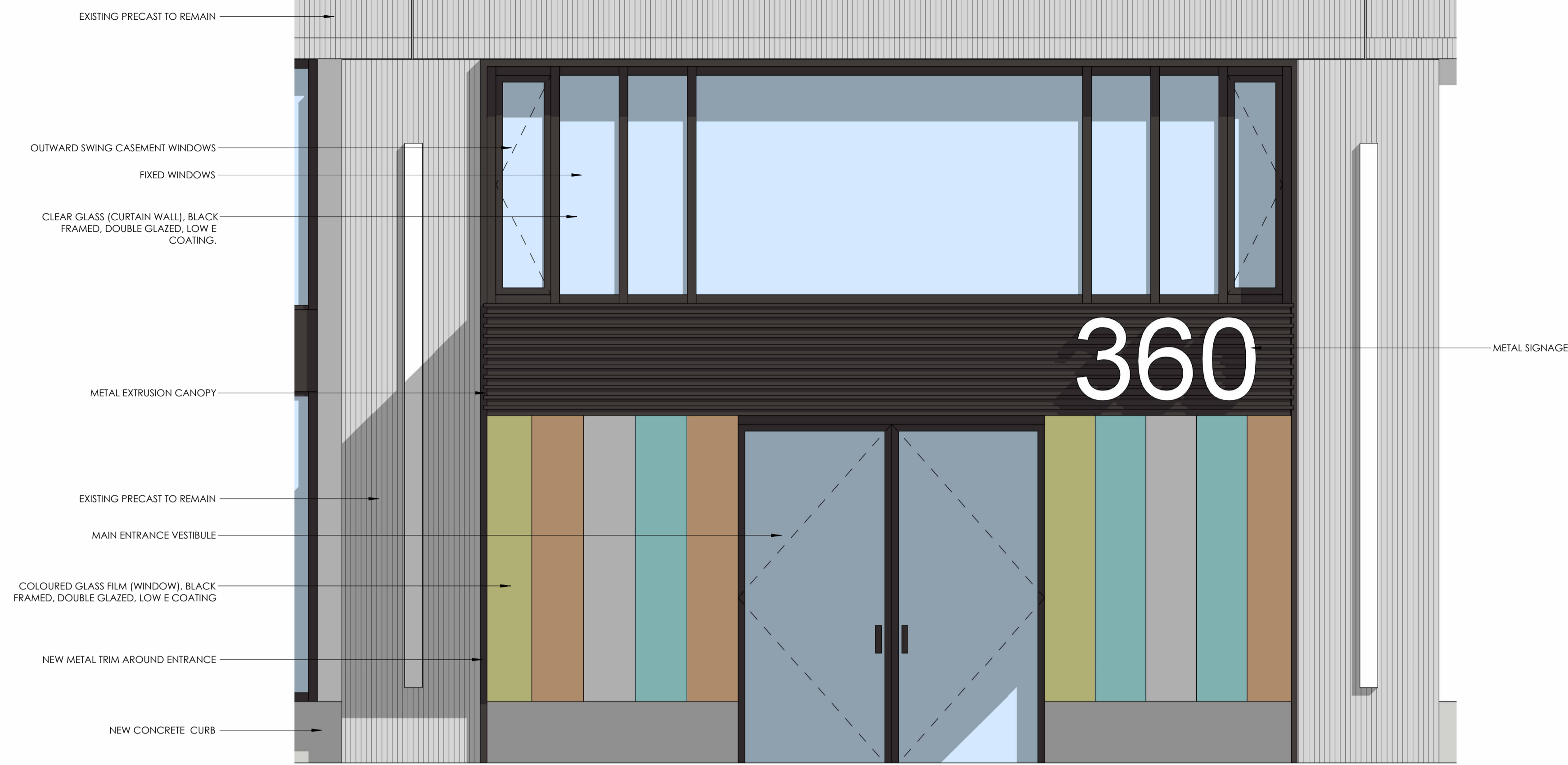
1 WEST ELEVATION
A4-103 1:100

MATERIAL LEGEND

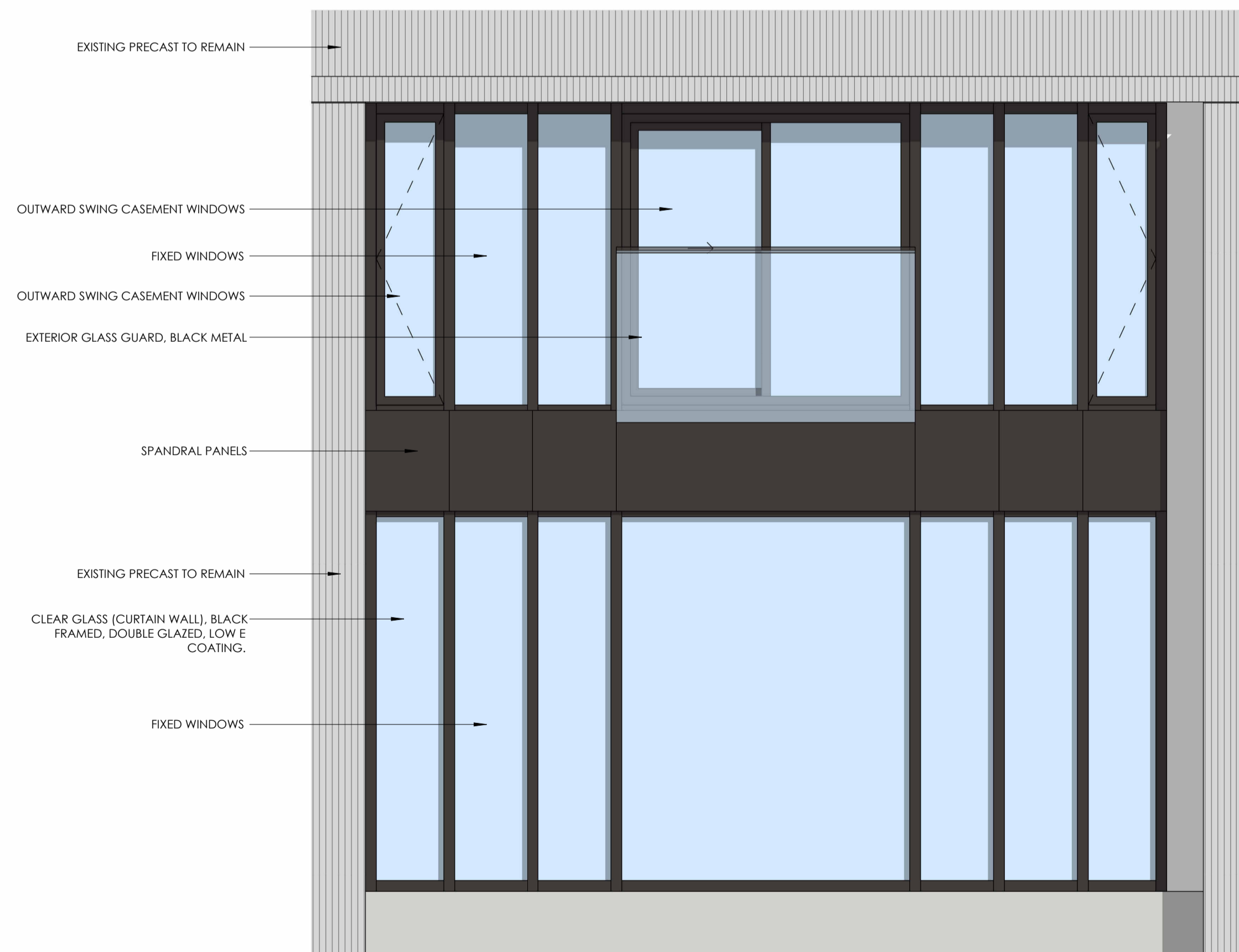
TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION		
1	CLEAR GLASS (WINDOW), COLOUR TBD, DOUBLE GLAZED, LOW E COATING	4	ALUMINUM PROFILED CLADDING.	7	NOT USED.	10	ACOUSTICAL LOUVRES AT MECHANICAL PENTHOUSE.	13	CLEAR GLASS (CURTAIN WALL), COLOUR TBD, DOUBLE GLAZED, LOW E COATING.	16	METAL EXTRUSION CANOPY.	19	ALLOW FOR NEW PUNCHED WINDOWS IN EXISTING PRECAST PANEL OPENINGS WHERE OPENINGS ARE NOT OBSTRUCTED BY COLUMNS.
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GENERAL NOTES:

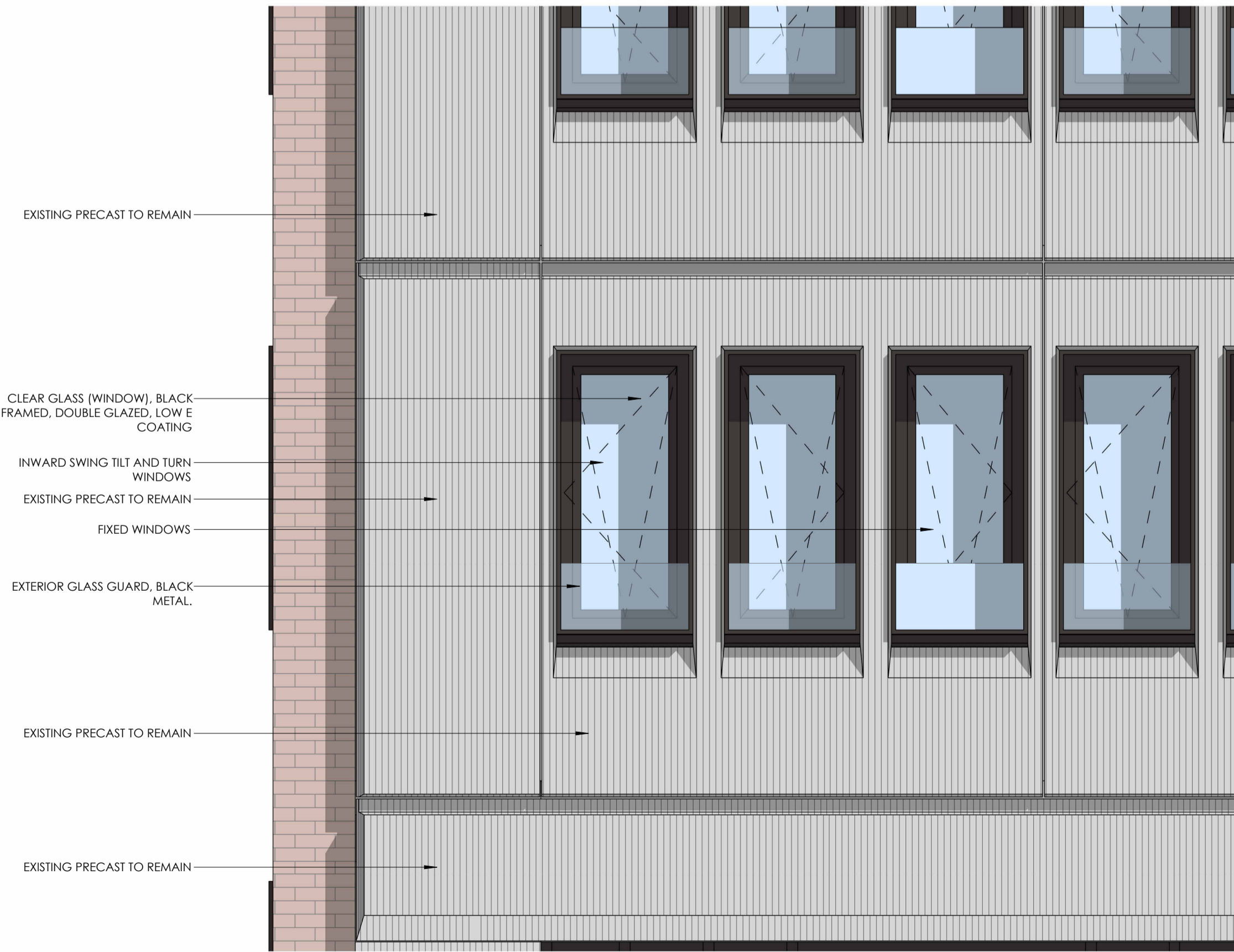
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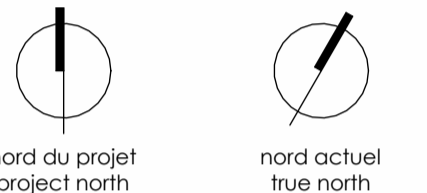
3 ENLARGED ELEVATION - MAIN ENTRANCE
A4-110 1:25 P400



2 ENLARGED ELEVATION - JULIET WINDOWS @ SUITES (LAURIER AVE. LEVEL 02)
A4-110 1:25 P400



1 ENLARGED ELEVATION - TYPICAL PUNCHED WINDOWS @ SUITES (LEVEL 03 - 11)
A4-110 1:25 P400



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