

ROSEFELLOW 575 DEALERSHIP

575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



RF.

**ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8**

VICINITY MAP	OWNER	CONSULTANTS	SHEET INDEX	TOTAL SHEETS 11						
<p>PROJECT SITE</p>	<p>ROSEFELLOW 750 MARCEL-LAURIN SUITE 210 SAINT LAURENT, QUEBEC H4M 2M4 (514) 532-1080</p> <p>PRIMARY CONTACT: JULIAN NINI PH: (514) 532-1080 EMAIL: JULIANN@ROSEFELLOW.COM</p>	<p>CIVIL ENGINEER NOVATECH 240 MICHAEL COWPLAND DRIVE SUITE 200 OTTAWA, ONTARIO K2M 1P6 (613) 254-9643</p> <p>PRIMARY CONTACT: DREW BLAIR PH: (613) 254-9643 EMAIL: d.blair@novatech-eng.com</p>	<p>ARCHITECTURAL</p> <p>G010 TITLE SHEET G011 OBC MATRIX A100 SITE PLAN A120 BUILDING A - FLOOR PLAN A121 BUILDING B - FLOOR PLAN A190 BUILDING A - ROOF PLAN A191 BUILDING B - ROOF PLAN A210 BUILDING A - EXTERIOR ELEVATIONS A211 BUILDING B - EXTERIOR ELEVATIONS A310 BUILDING A - BUILDING SECTIONS A311 BUILDING B - BUILDING SECTIONS ARCHITECTURAL SHEET COUNT: 11</p>	<table border="1"> <thead> <tr> <th>DATE</th> <th>ISSUED FOR SPA</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2023-05-03</td> <td></td> </tr> </tbody> </table> <p>PA/PM: H. WERNER DRAWN BY: D.P. /E.C. JOB NO.: OTW22-0010-00</p> <p>G010</p>	DATE	ISSUED FOR SPA	REMARKS	1	2023-05-03	
DATE	ISSUED FOR SPA	REMARKS								
1	2023-05-03									
<p>ARCHITECT</p> <p>WARE MALCOMB SUITE 104, 1420 BLAIR TOWERS PLACE GLOUCESTER, ONTARIO K1J 9L8 CANADA P (905) 760-1221</p> <p>PRIMARY CONTACT: HARRISON WERNER PH: (905) 760-1221 EXT. 2145 EMAIL: hwerner@waremalcomb.com</p>										

Autodesk Docs/03/02/2010/00_Rosefellow 575 Dealership Dr. Ottawa N0010_1_ARCH.rvt

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

2023-05-03_ISSUED FOR SPA

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: ROSEFELLOW 575 DEALERSHIP - BUILDING A
LOCATION: 575 Dealership Dr, Nepean, Ontario, Canada

Table with 10 columns: ITEM, PROJECT DESCRIPTION, MAJOR OCCUPANCY(S), BUILDING AREA, NUMBER OF STOREYS, BUILDING CLASSIFICATION(S), SPRINKLER SYSTEM PROPOSED, STANDPIPE REQUIRED, FIRE ALARM REQUIRED, WATER SERVICE / SUPPLY IS ADEQUATE, HIGH BUILDING, CONSTRUCTION RESTRICTIONS, MEZZANINE(S) AREA, OCCUPANT LOAD BASED ON, BARRIER-FREE DESIGN, HAZARDOUS SUBSTANCES, FIRE RESISTANCE RATING (FRR), SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS, PLUMBING FIXTURE REQUIREMENTS, OTHERS (DESCRIBE).

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: ROSEFELLOW 575 DEALERSHIP - BUILDING B
LOCATION: 575 Dealership Dr, Nepean, Ontario, Canada

Table with 10 columns: ITEM, PROJECT DESCRIPTION, MAJOR OCCUPANCY(S), BUILDING AREA, NUMBER OF STOREYS, BUILDING CLASSIFICATION(S), SPRINKLER SYSTEM PROPOSED, STANDPIPE REQUIRED, FIRE ALARM REQUIRED, WATER SERVICE / SUPPLY IS ADEQUATE, HIGH BUILDING, CONSTRUCTION RESTRICTIONS, MEZZANINE(S) AREA, OCCUPANT LOAD BASED ON, BARRIER-FREE DESIGN, HAZARDOUS SUBSTANCES, FIRE RESISTANCE RATING (FRR), SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS, PLUMBING FIXTURE REQUIREMENTS, OTHERS (DESCRIBE).

WARE MALCOMB logo and contact information: 1420 Blair Towers Place, Suite #104, Gloucester, Ontario, Canada K1J 9L8, P 343.633.2977



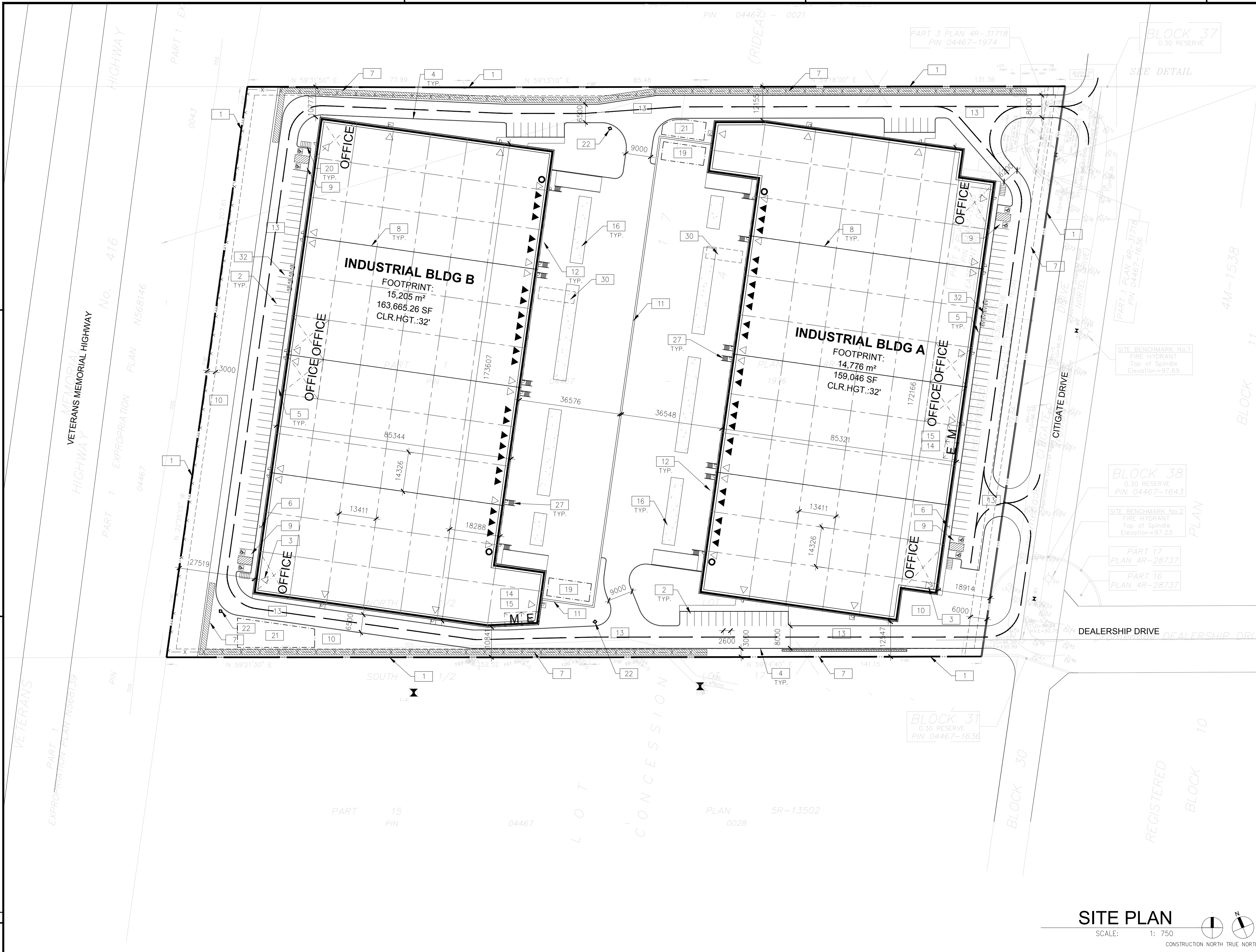
ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

Table with 2 columns: DATE, REMARKS. Row 1: 2023-05-03, ISSUED FOR SPA

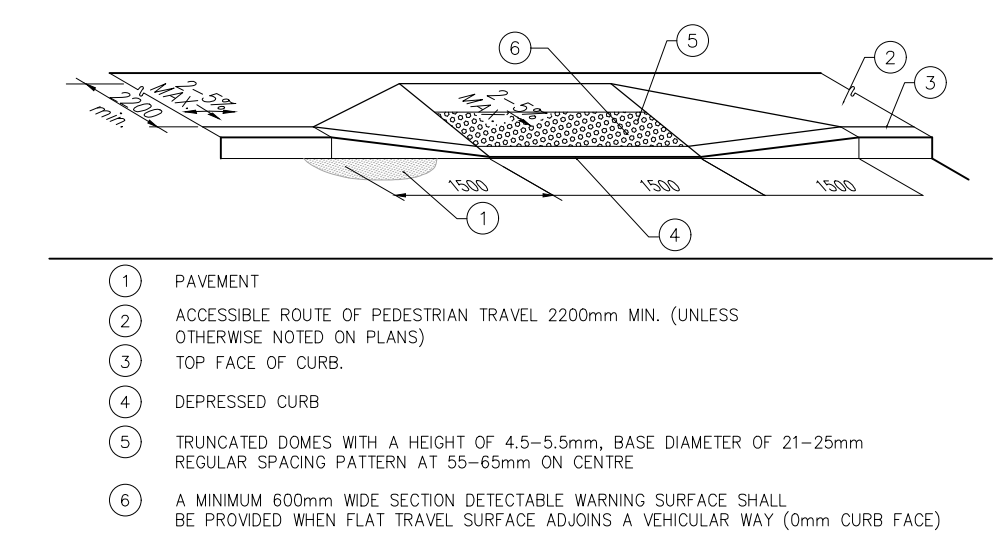
Table with 2 columns: PA/PM: H. WERNER, DRAWN BY.: D.P. /E.C., JOB NO.: OTW22-0010-00

SHEET
G011

IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



OTW22-0010-00 ROSEFELLOW INDUSTRIAL BLDG		
SITE STATISTICS		
ZONING	IH	
GROSS SITE AREA	60,449.59m ²	
Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)		
Proposed Use	Warehouse	
Regulations (Part 11: Industrial Zones)		
	Proposed	Required
Min. Front Yard Building Setback (m)	18.9 m	7.5 m
Min. Interior Side Yard Building Set back (m)	12.1 m	7.5 m
Min.Rear Yard Building Setback (m)	27.5 m	7.5 m
Min.Landscape Front Yard Setback (m)	> 3 m	3 m
Min.Landscape Side Yard Setback (m) (Abuts an E Zone)	3 m	3 m
Min.Landscape Rear Yard Setback (m) (Abuts an E Zone)	> 3 m	3 m
Max. Floor Space Index	0.49	2
Max. Building Height	11.4 m	22 m
BUILDING FLOOR AREA		
INDUSTRIAL BLDG A		
Warehouse Area	13,913.00m ²	
Office Area	863.00m ²	
Total Building A	14,776.00m ²	
INDUSTRIAL BLDG B		
Warehouse Area	14,414.00m ²	
Office Area	791.00m ²	
Total Building B	15,205.00m ²	
TOTAL BUILDING GFA	29,981.00m²	
PARKING REQUIREMENT		
	PROPOSED	REQUIRED
Warehouse GFA @ 0.8 Spaces per 100m ² , first 5000m ²		
Warehouse GFA @ 0.4 Spaces per 100m ² , above 5000m ²		
Parking Spaces Building A	69	79
Parking Spaces Building B	65	81
Total No. of Parking Spaces	134	160
Barrier Free Parking Spaces	6	6
Parking Stall Dimensions	2.6 m X 5.2 m	
Barrier Free Parking Stall Type A	3.4m X 5.2m	
Barrier Free Parking Stall Type B	2.4m X 5.2m	
Bicycle Parking Space Dimensions	1.8m X 0.6m	
No. Of Bicycle Parking (Warehouse: 1 per 2000m ² , Office 1 per 250m ²)	22	24
Loading Space Dimensions	3.5m X 9.0m	
Oversized Loading Space Dimensions	4.3m X 13.0m	
No. Of Loading Spaces	44	2
No. Of Oversized Loading Spaces	2	2
Trailer Parking	0	
DOCK STATISTICS	Proposed	
DOCK-HIGH DOORS	22	
OVER-HEAD DOORS	4	



ACCESSIBLE CURB RAMP
SCALE: N.T.S.



KEY PLAN
SCALE: N.T.S.

SITE PLAN NOTES

- 1 PROPERTY LINE
- 2 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
- 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 4 150mm WIDE CURB TYPICAL
- 5 SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
- 6 FIRE DEPARTMENT/SIAMESE CONNECTION
- 7 PROPOSED RETAINING WALL - REFER TO CIVIL DRAWINGS
- 8 FUTURE TENANT DEMISING WALL, SUBJECT TO TENANT FIT UP
- 9 TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250, EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m X 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 10 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 11 GUARDRAIL SET INTO RETAINING WALL, REFER TO CIVIL DRAWINGS FOR EXTENT AND DETAILS.
- 12 12.0mx3.5m TRUCK LOADING SPACE (TYP.)
- 13 FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS ()
- 14 PROPOSED LOCATION OF ELECTRICAL RM
- 15 PROPOSED LOCATION OF MECHANICAL RM
- 16 CONCRETE DOLLY PAD
- 17 SHADED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- 18 STEEL BOLLARD
- 19 GARBAGE COLLECTION AREA
- 20 GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- 21 SNOW STORAGE AREA
- 22 PROPOSED FIRE HYDRANT
- 23 PROPOSED LIGHT POLE, REFER TO ELECTRICAL DRAWINGS
- 24 FIRE ROUTE SIGNAGE PER CITY OF OTTAWA STANDARDS, REFER TO FIRE ROUTE BY-LAW NO. 2003-499 FOR SIGN REQUIREMENTS, SIGNS TO BE SPACED NO MORE THAN 25m APART
- 25 TACTILE WALKING SURFACE INDICATOR STRIP
- 26 CONCRETE PENINSULA - REFER TO CIVIL DRAWINGS
- 27 EXTERIOR GALV. STEEL STAIRS W/ TUBE STEEL GUARDRAIL, ON CONC. PAD, TYP.
- 28 EMPLOYMENT AMENITY SPACE - REFER TO LANDSCAPE DRAWINGS
- 29 DIMENSION FROM FIRE DEPARTMENT CONNECTION TO HYDRANT.
- 30 13mx4.3m OVERSIZED TRUCK LOADING SPACE

- 31 PYLON SIGNAGE
- 32 EV PARKING STALLS (8 PROPOSED)
- 33 PAINTED LINES PEDESTRIAN CROSSING
- 34 ASPHALT RAMP BOUNDED BY RETAINING WALLS WITH GUARDRAILS WHERE GARAGE CHANGE IS MORE THAN 600mm - REFER TO CIVIL DWGS

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- NEW RIVER STONE AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- GAS METER LOCATION.
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- PYLON SIGNAGE
- CONCRETE SIDEWALK
- ASPHALT PATHWAY
- STONE DUST PATHWAY

WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
INTERIORS
BRANDING
BUILDING MEASUREMENT

1420 Blair Towers Place, Suite #104
Guelph, Ontario, Canada K1J 9L8
P 343.933.2977

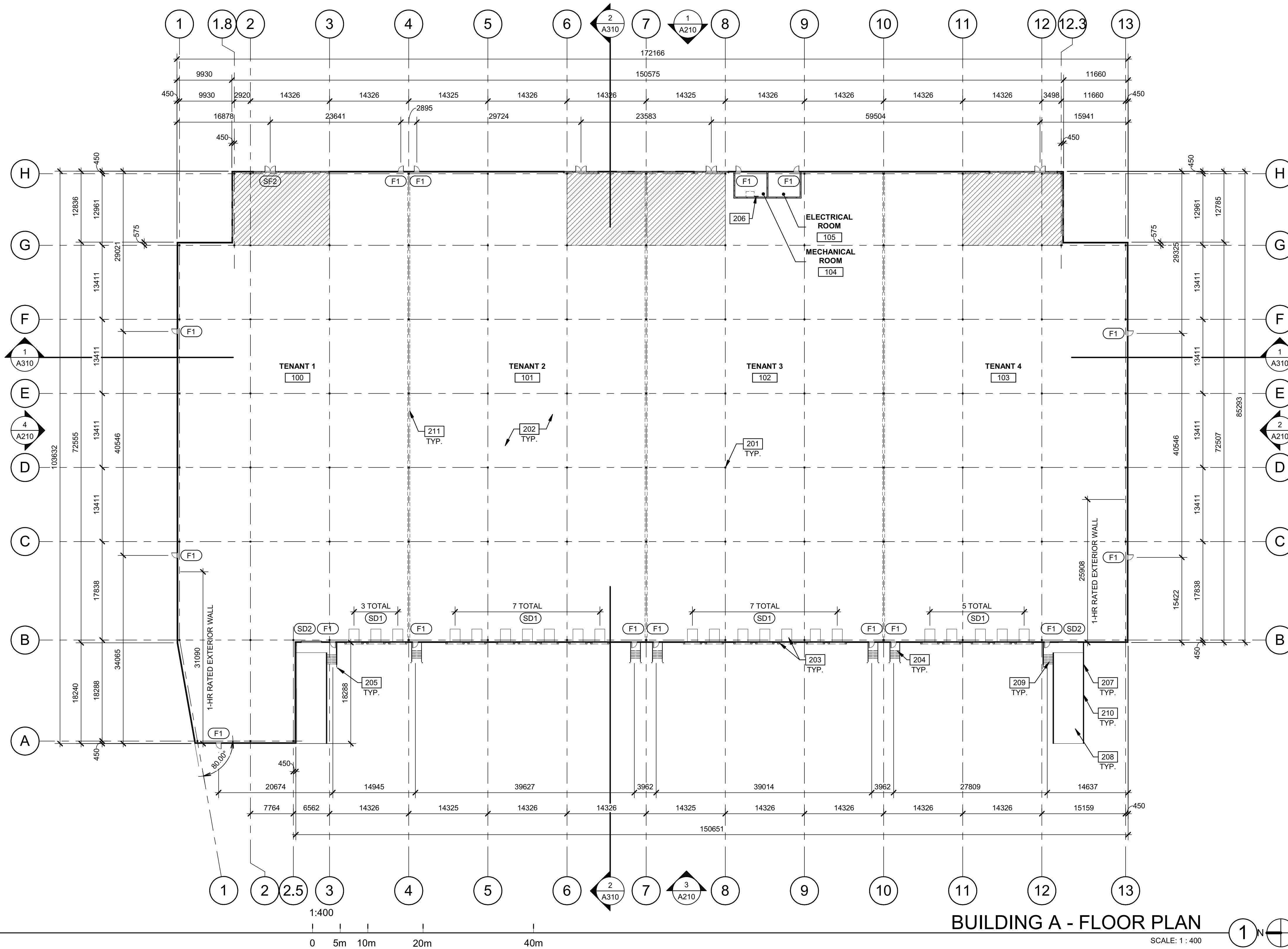


ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

SITE PLAN		REMARKS
DATE	2023-05-03	ISSUED FOR SPA

P/MPM:	H. WERNER
DRAWN BY.:	
JOB NO.:	OTW22-0010-00

SHEET
A100



BUILDING A - FLOOR PLAN
SCALE: 1 : 400

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



RF.

ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

DOOR TYPES

(SF2) ALUMINUM STOREFRONT
(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
FRAME: MANUFACTURER

(F1) HOLLOW METAL
(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(SD1) SECTIONAL O.H. DOOR
(SD2) SECTIONAL O.H. DOOR

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA EXIT DEVICE
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

LEGEND

(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.
(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

WALL/ PARTITION LEGEND
INSULATED METAL PANEL SYSTEM.
CONCRETE MASONRY WALL

KEYNOTES:

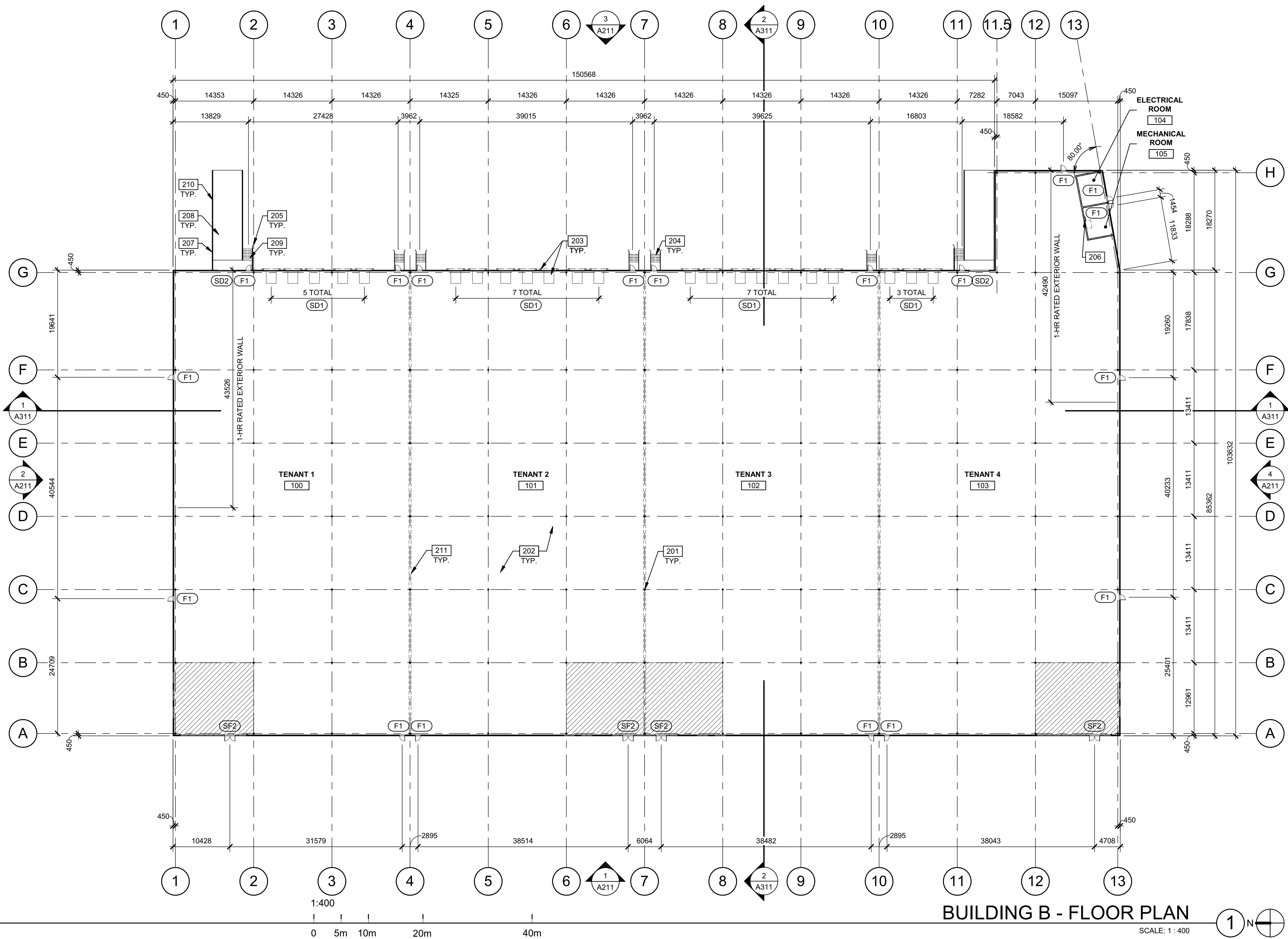
- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 206 ROOF ACCESS LADDER.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.
- 209 CONCRETE STAIR.
- 210 1067mm HIGH PAINTED METAL GUARDRAIL.
- 211 FUTURE TENANT DEMISING WALL.

BUILDING A - FLOOR PLAN

DATE	ISSUED FOR SPA	REMARKS
1	2023-05-03	

PA/PM:	H. WERNER
DRAWN BY.:	D.P./E.C.
JOB NO.:	OTW22-0010-00

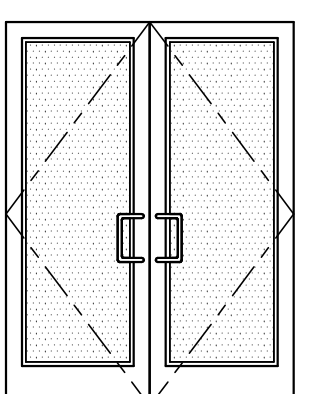
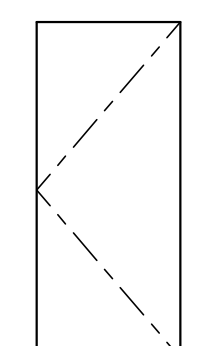
SHEET
A120

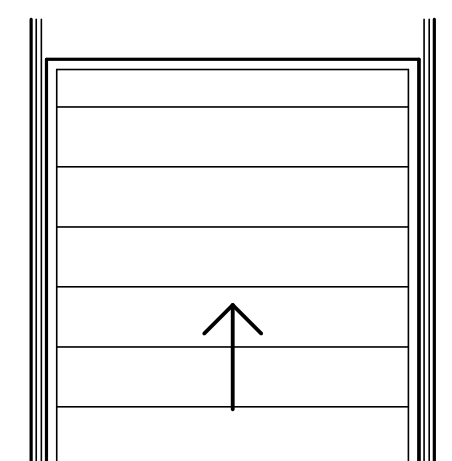


BUILDING B - FLOOR PLAN

SCALE: 1: 400

DOOR TYPES

<p>(SF2) ALUMINUM STOREFRONT</p> 	<p>(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE) FRAME: MANUFACTURER</p> <p>HARDWARE: 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p>	<p>(F1) HOLLOW METAL</p> 	<p>(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>HARDWARE: 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p>
---	---	---	---

<p>(SD1) SECTIONAL O.H. DOOR</p> 	<p>(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p>(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH</p> <p>HARDWARE: 1 EA SLIDE BOLT 1 EA PAD LOCK</p>
---	--

LEGEND

PROPOSED FUTURE OFFICE AREA

WALL/ PARTITION LEGEND

INSULATED METAL PANEL SYSTEM.

CONCRETE MASONRY WALL.

KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 206 ROOF ACCESS LADDER.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.
- 209 CONCRETE STAIR.
- 210 1067mm HIGH PAINTED METAL GUARDRAIL.
- 211 FUTURE TENANT DEMISING WALL.

ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

BUILDING B - FLOOR PLAN

DATE	ISSUED FOR SPA	REMARKS
1	2023-05-03	

PA/PM:	H. WERNER
DRAWN BY.:	D.P./E.C.
JOB NO.:	OTW22-0010-00

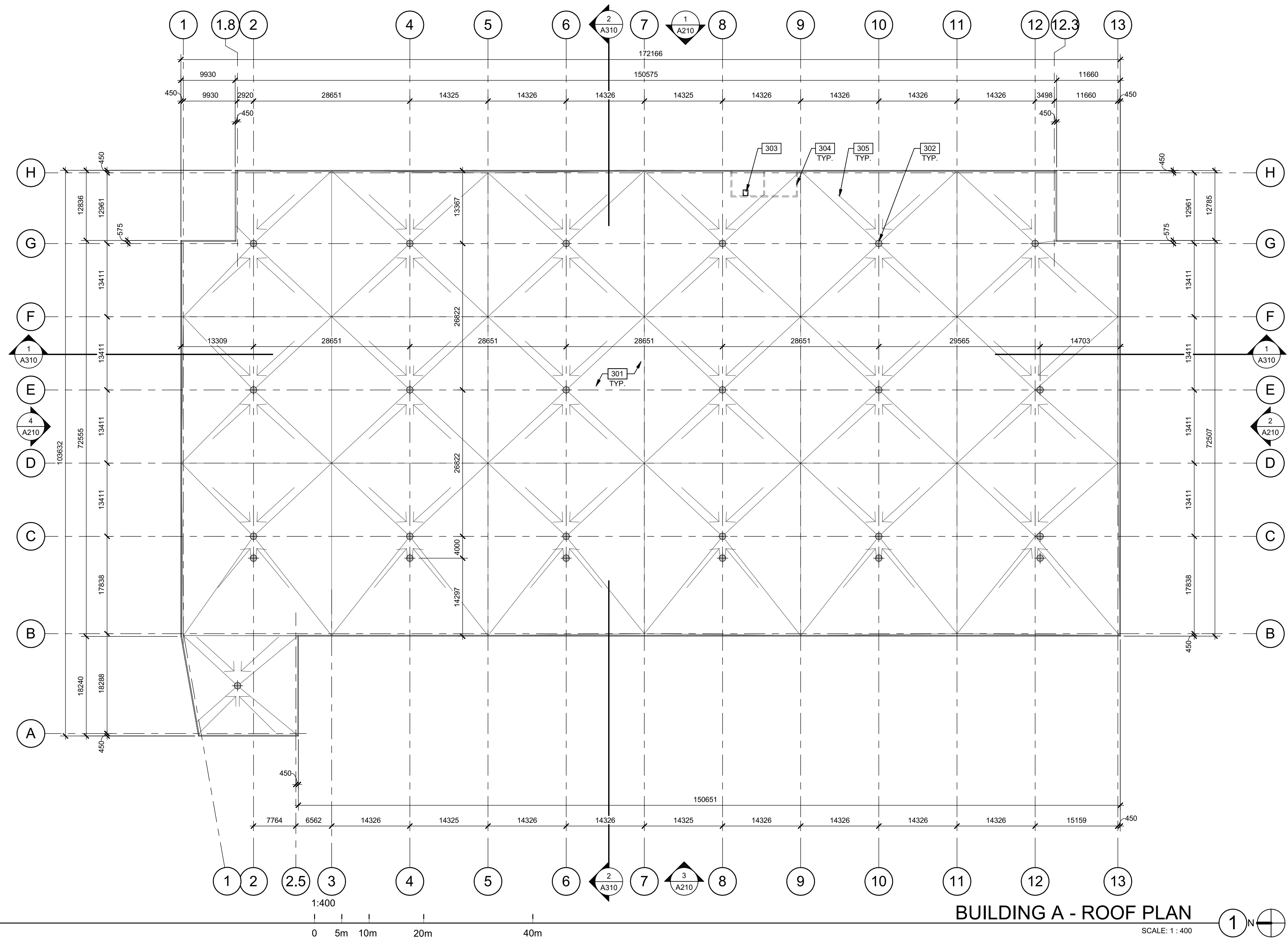
SHEET
A121



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



BUILDING A - ROOF PLAN

SCALE: 1 : 400

LEGEND

- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- FLOW LINE TO DRAIN
- OUTLINE OF WALL BELOW

KEYNOTES:

- 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

WARE MALCOMB
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING
 INTERIORS BUILDING MEASUREMENT
 1420 Blair Towers Place, Suite #104
 Gloucester, Ontario, Canada K1J 9L8
 P 343.633.2977



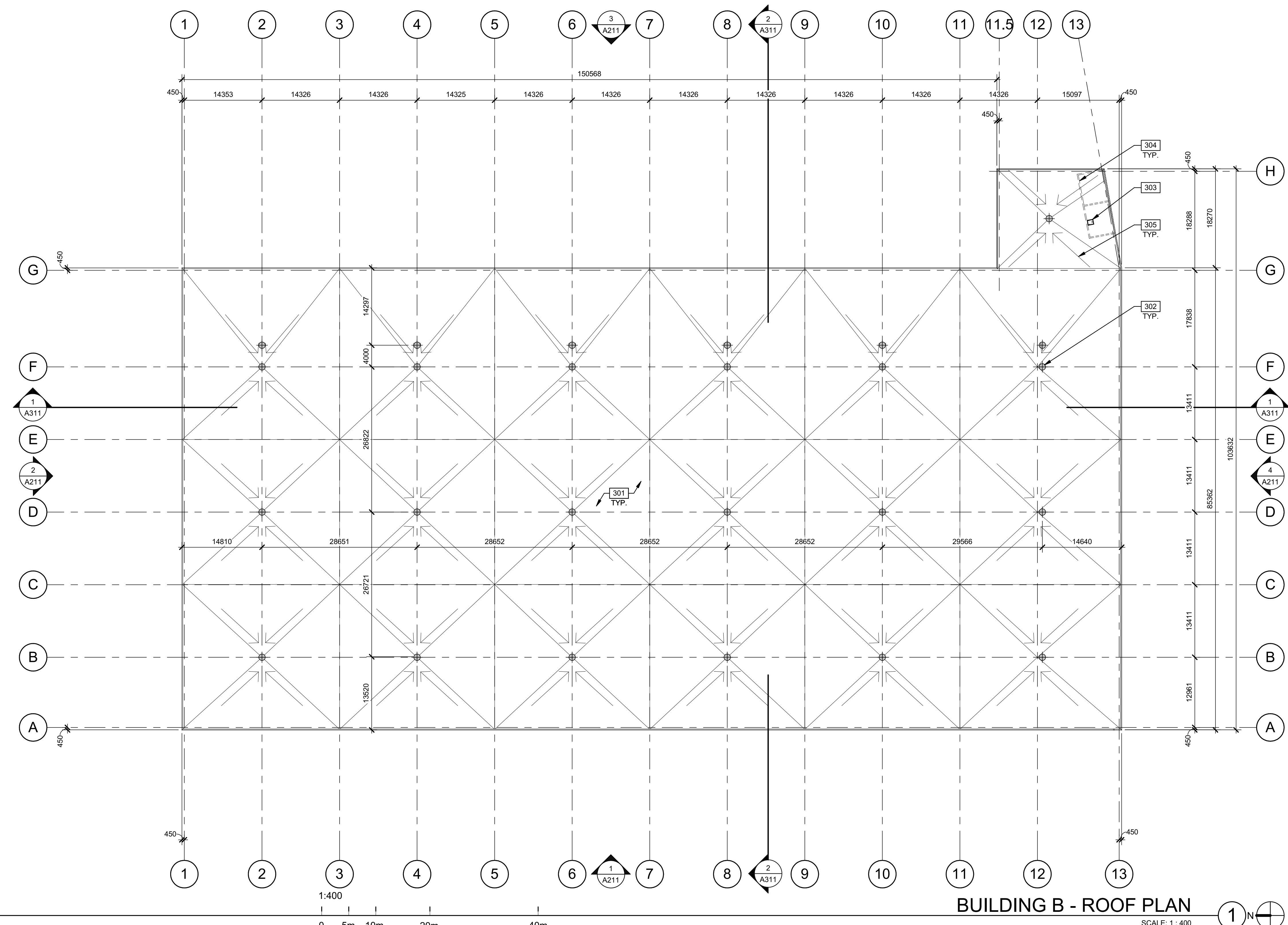
ROSEFELLOW 575
DEALERSHIP
 575 DEALERSHIP DR.
 NEPEAN, ONTARIO K2J 6H8

BUILDING A - ROOF PLAN		REMARKS
DATE	ISSUED FOR	
1	2023-05-03	ISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. /E.C.
JOB NO.:	OTW22-0010-00

SHEET
A190

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



BUILDING B - ROOF PLAN
SCALE: 1 : 400

LEGEND

- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- FLOW LINE TO DRAIN
- OUTLINE OF WALL BELOW

KEYNOTES:

- 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



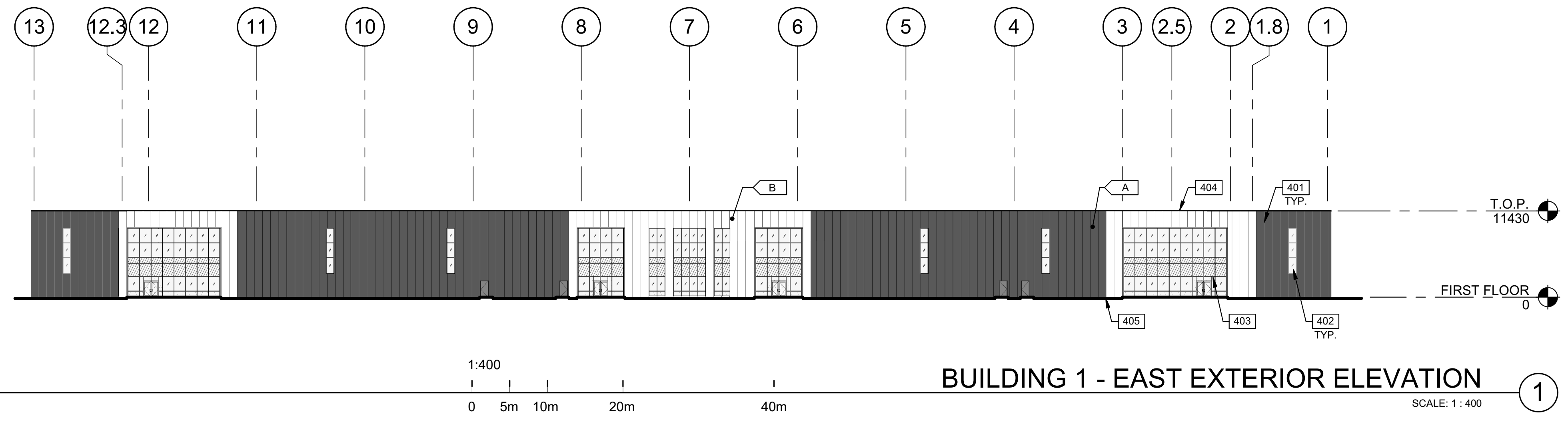
ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

BUILDING B - ROOF PLAN		REMARKS
DATE	ISSUED FOR SPA	
1	2023-05-03	

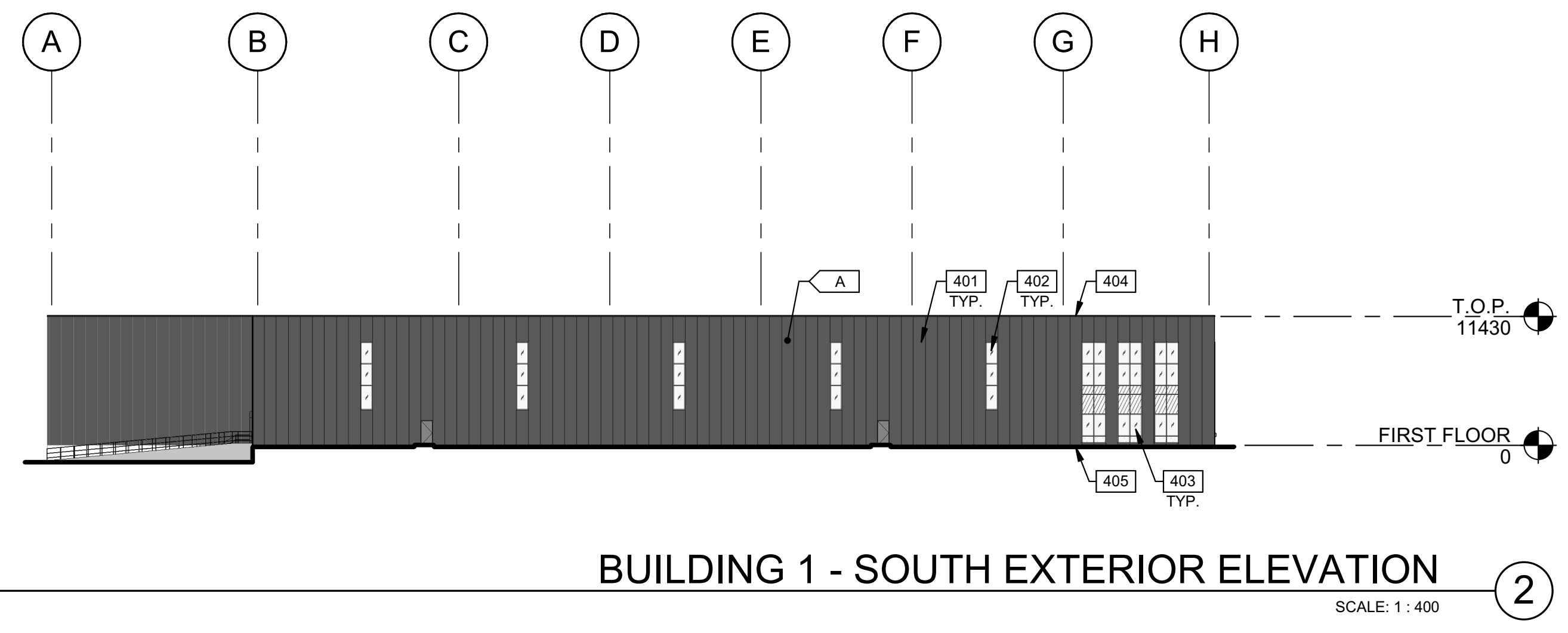
PA/PM:	H. WERNER
DRAWN BY.:	D.P. /E.C.
JOB NO.:	OTW22-0010-00

SHEET
A191

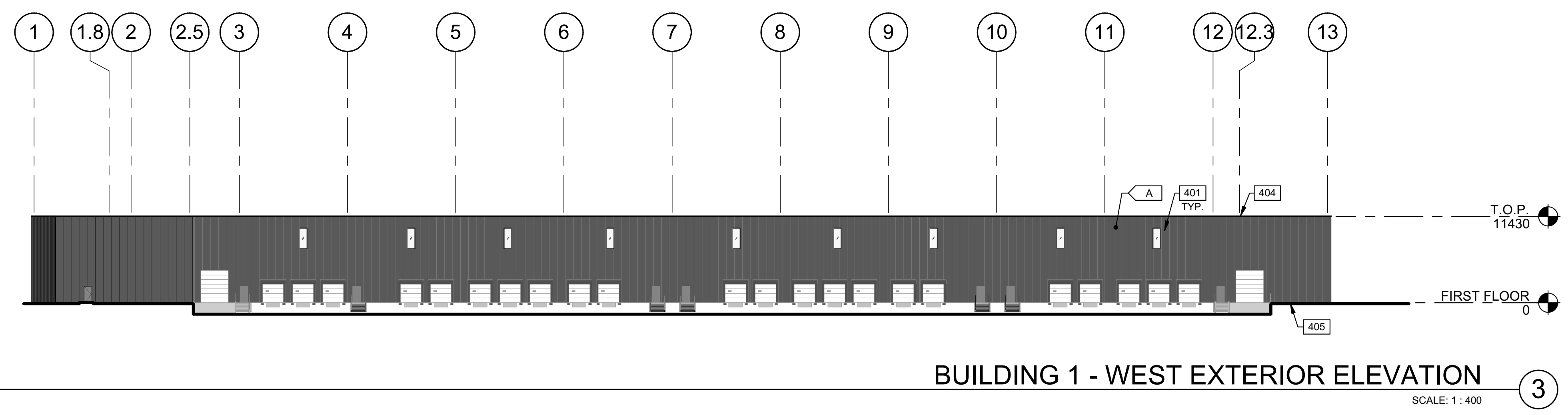
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



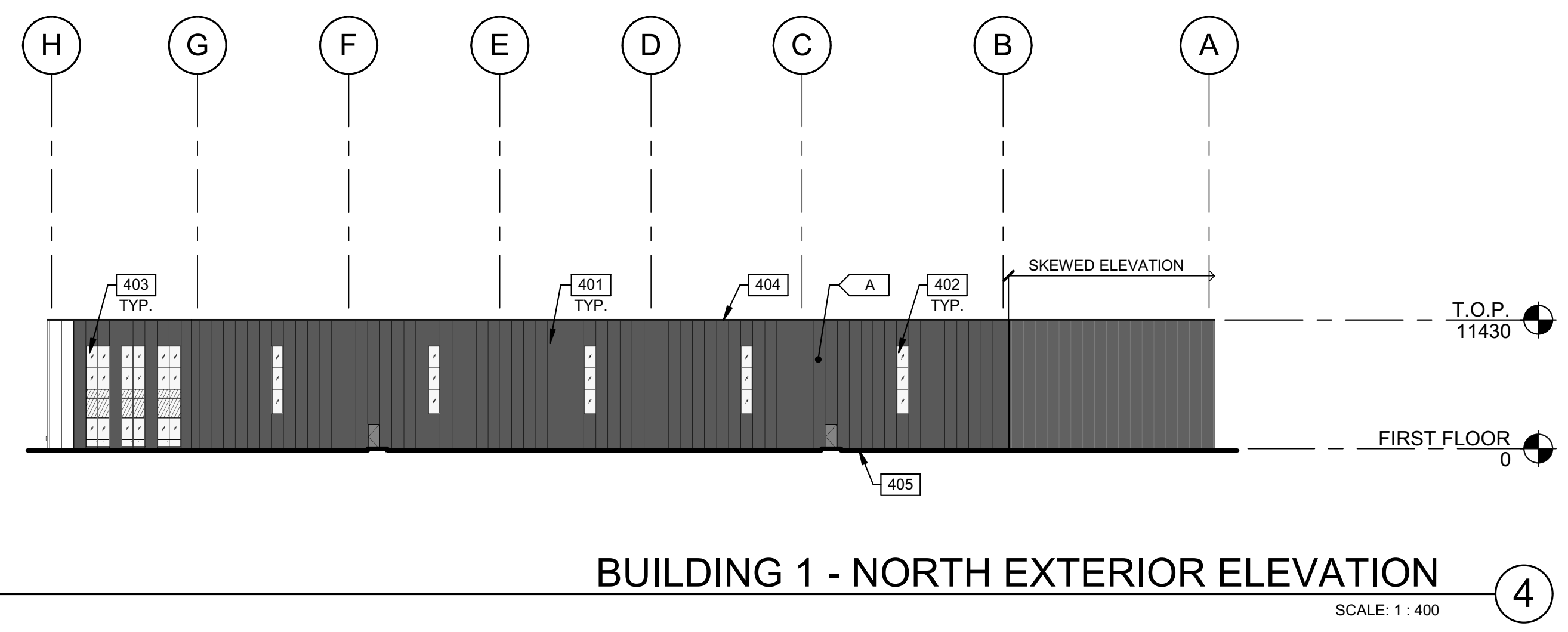
BUILDING 1 - EAST EXTERIOR ELEVATION



BUILDING 1 - SOUTH EXTERIOR ELEVATION



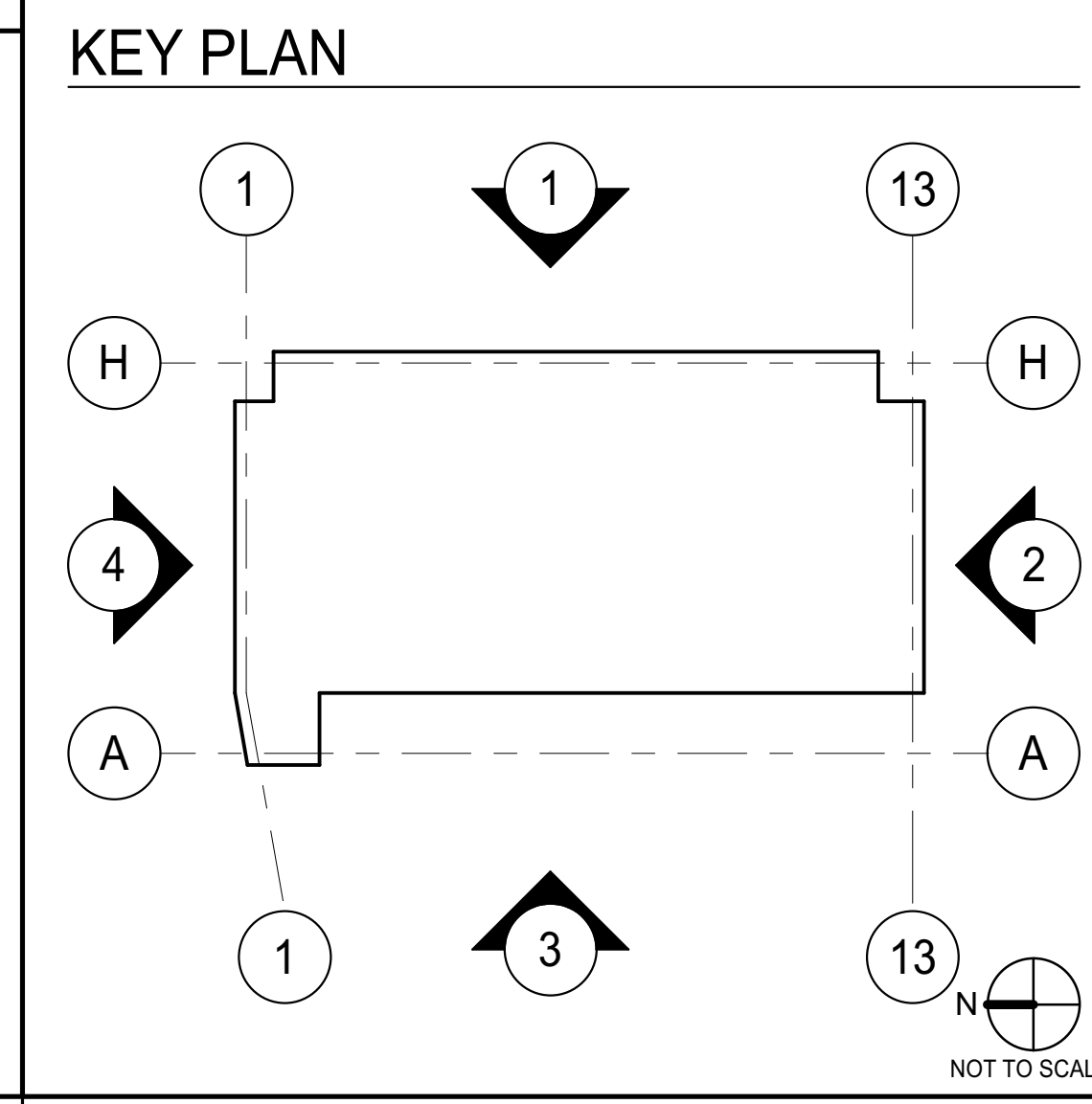
BUILDING 1 - WEST EXTERIOR ELEVATION



BUILDING 1 - NORTH EXTERIOR ELEVATION

- KEYNOTES:**
- 401 1067mm WIDE INSULATED METAL PANEL SYSTEM.
 - 402 CLERESTORY WINDOW.
 - 403 CURTAIN WALL GLAZING SYSTEM.
 - 404 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
 - 405 GRADE LINE VARIES - REFER TO CIVIL GRADING PLAN.

- LEGENDS**
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS
- COLOURS:**
- BASE COLOUR: DARK GREY IMP
 - SECONDARY COLOUR: WHITE IMP



WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977

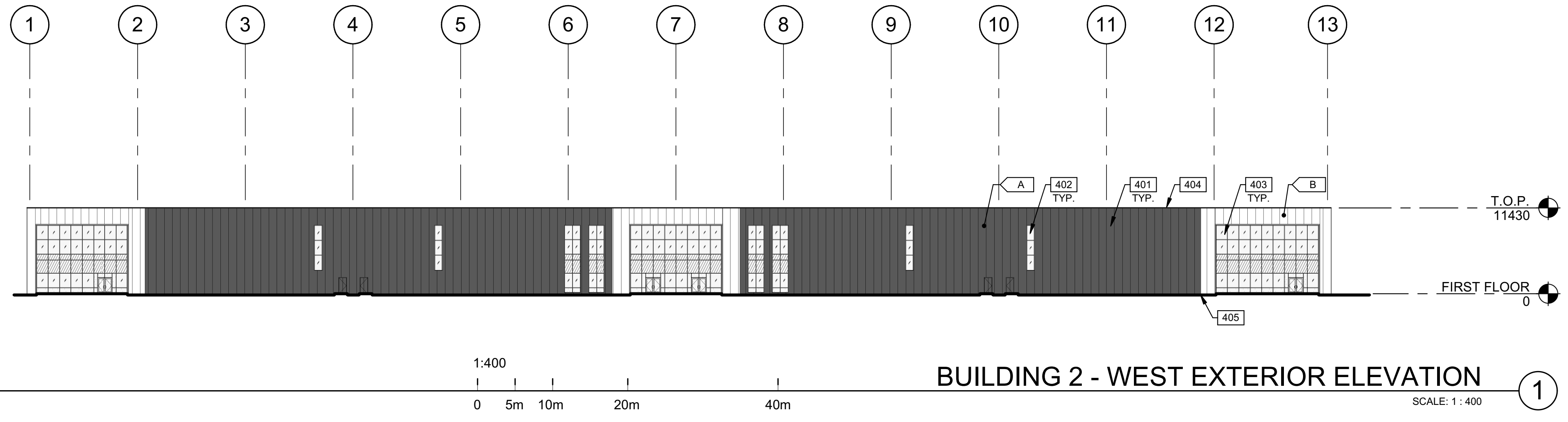


ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

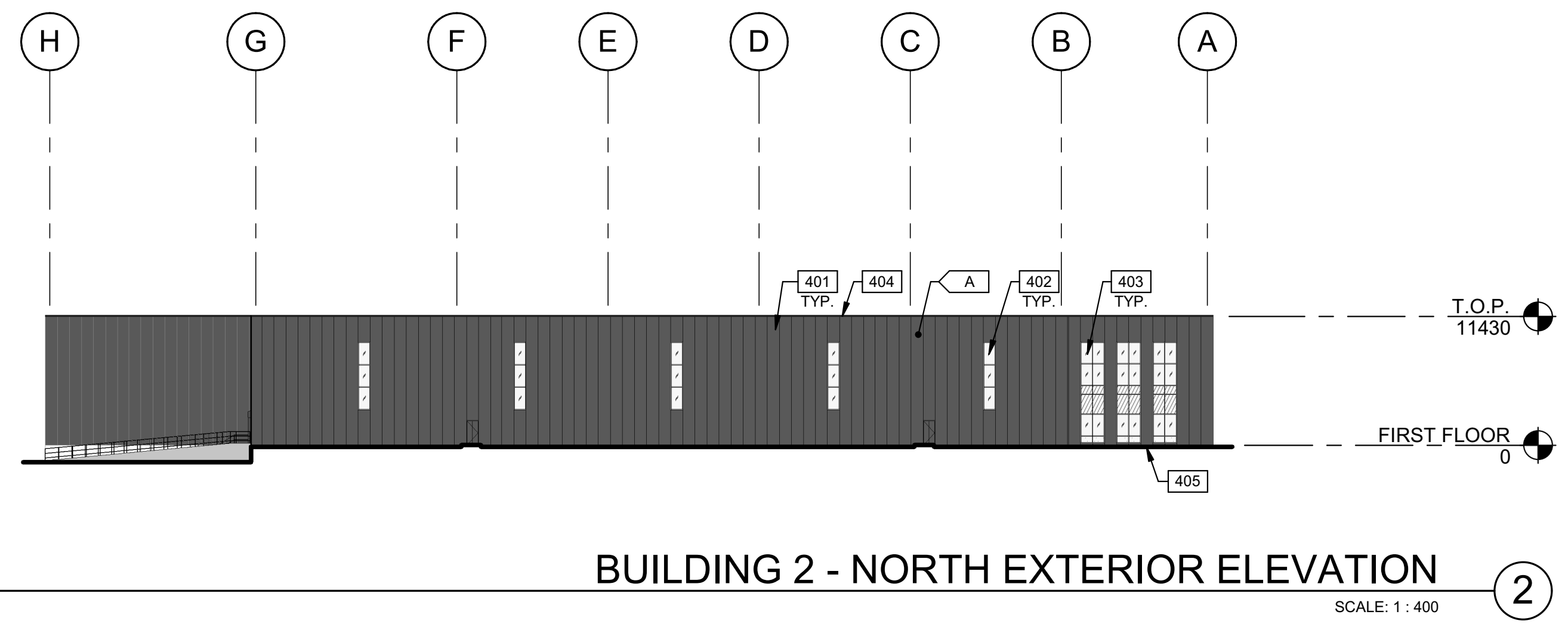
BUILDING A - EXTERIOR ELEVATIONS	
DATE	REMARKS
2023-05-03	ISSUED FOR SPA
1	

PA/PM:	H. WERNER
DRAWN BY.:	D.P./E.C.
JOB NO.:	OTW22-0010-00

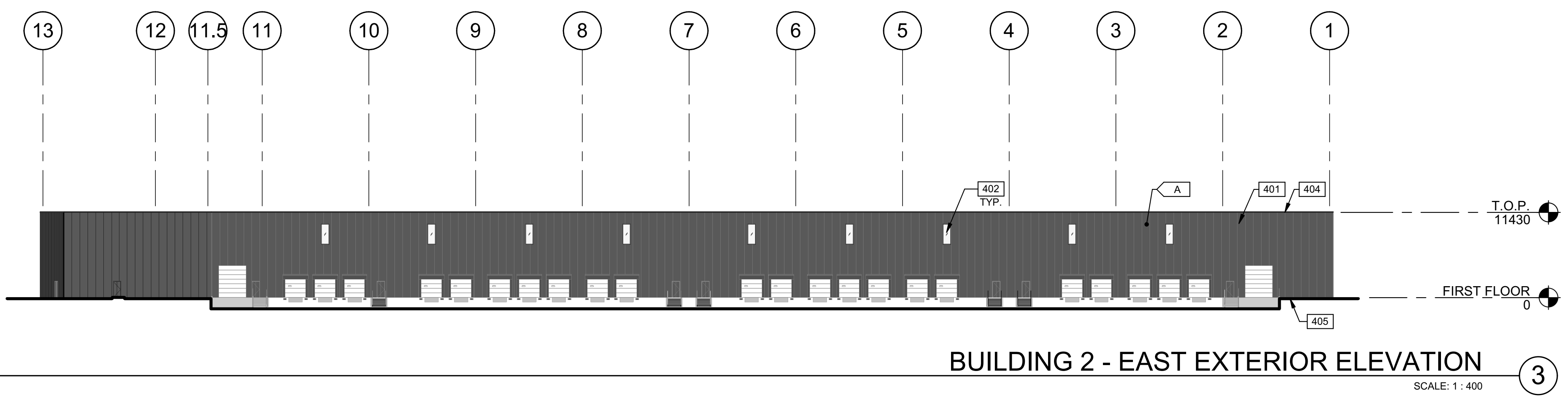
SHEET
A210



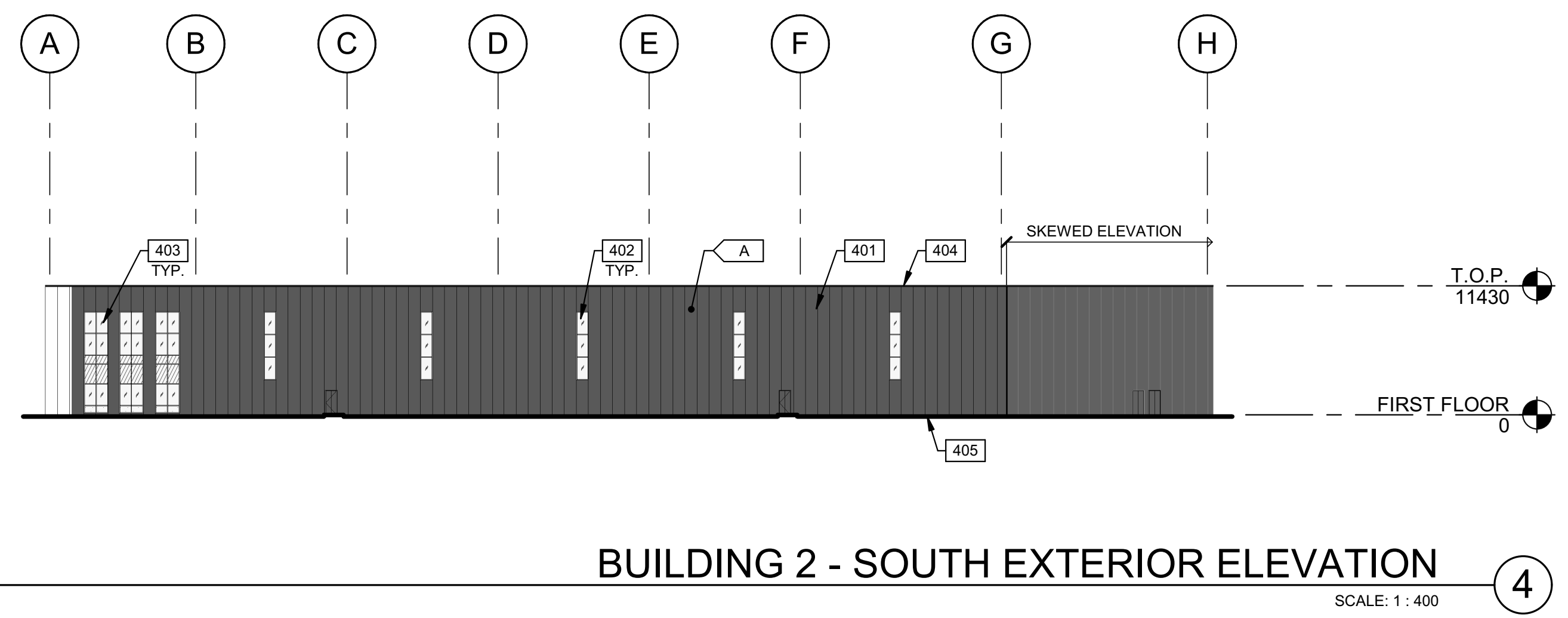
BUILDING 2 - WEST EXTERIOR ELEVATION ①



BUILDING 2 - NORTH EXTERIOR ELEVATION ②



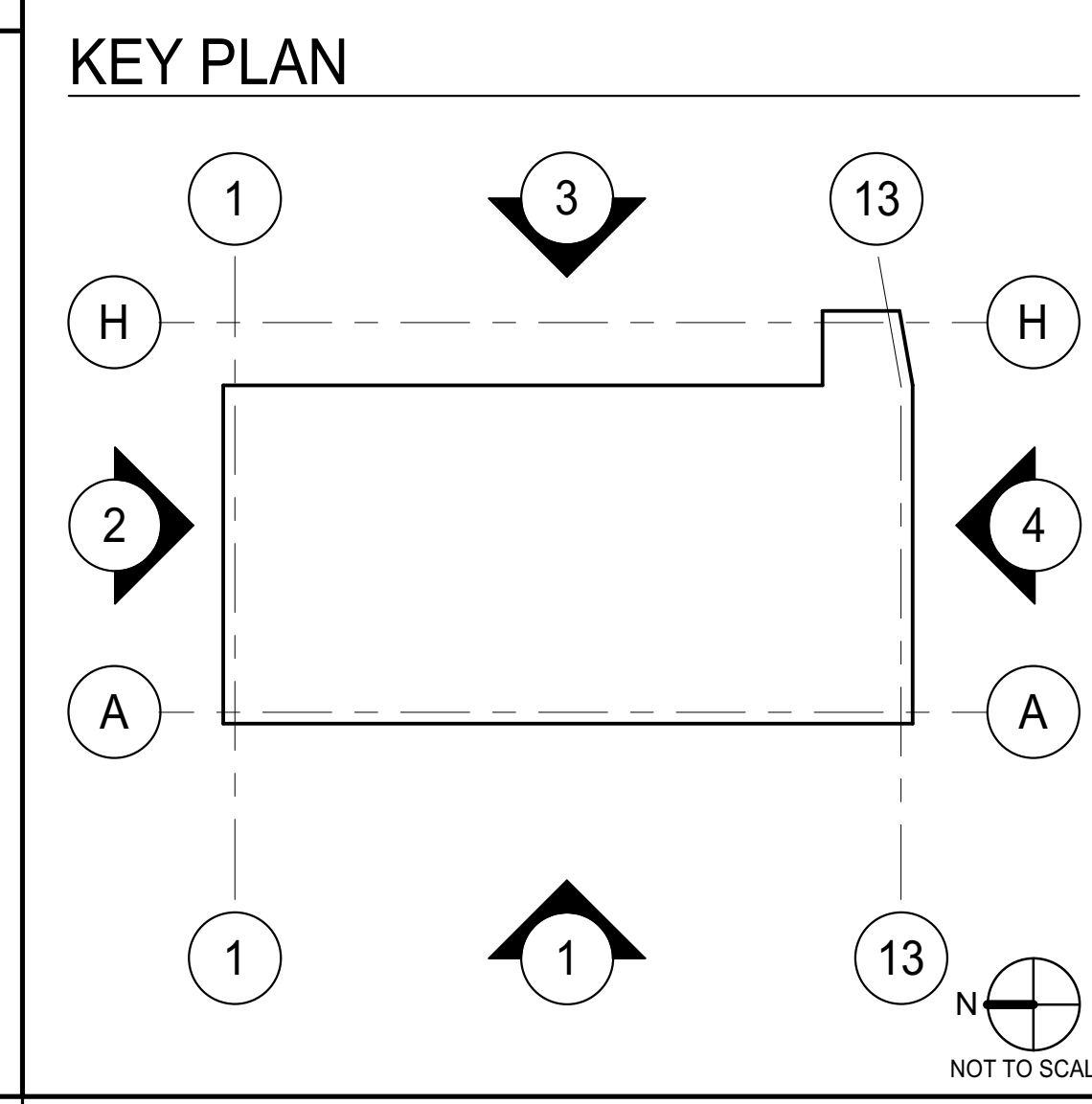
BUILDING 2 - EAST EXTERIOR ELEVATION ③



BUILDING 2 - SOUTH EXTERIOR ELEVATION ④

- KEYNOTES:**
- 401 1067mm WIDE INSULATED METAL PANEL SYSTEM.
 - 402 CLERESTORY WINDOW.
 - 403 CURTAIN WALL GLAZING SYSTEM.
 - 404 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
 - 405 GRADE LINE VARIES - REFER TO CIVIL GRADING PLAN.

- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS
- COLOURS:**
- BASE COLOUR: DARK GREY IMP
 - SECONDARY COLOUR: WHITE IMP



WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977

ONTARIO ASSOCIATION
OF
ARCHITECTS

JOHN P. HOLLAND
LICENCE
8649

RF.

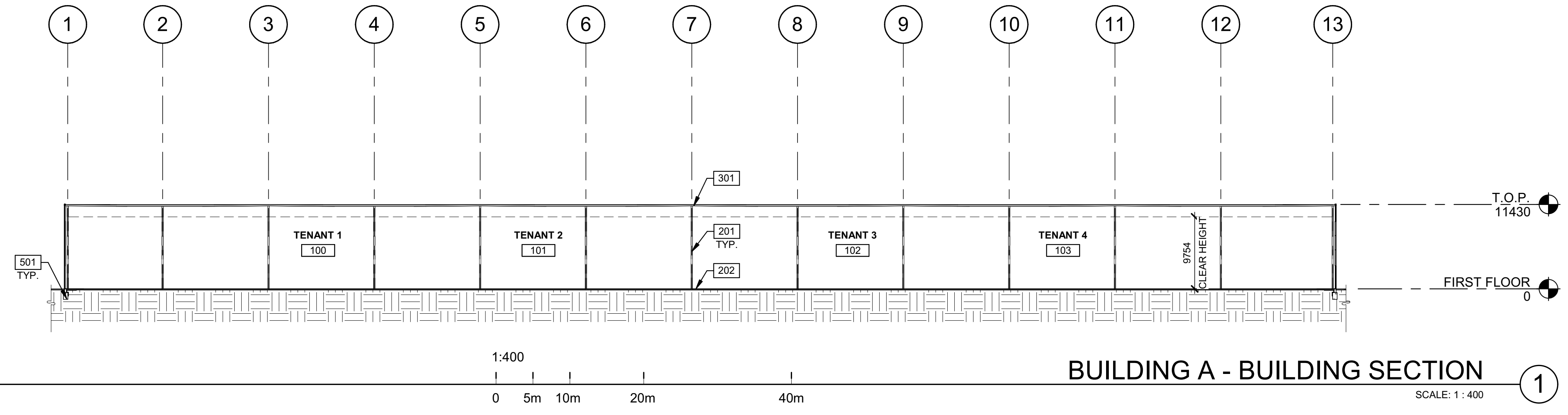
ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

BUILDING B - EXTERIOR ELEVATIONS		REMARKS
DATE	2023-05-03	ISSUED FOR SPA
1		

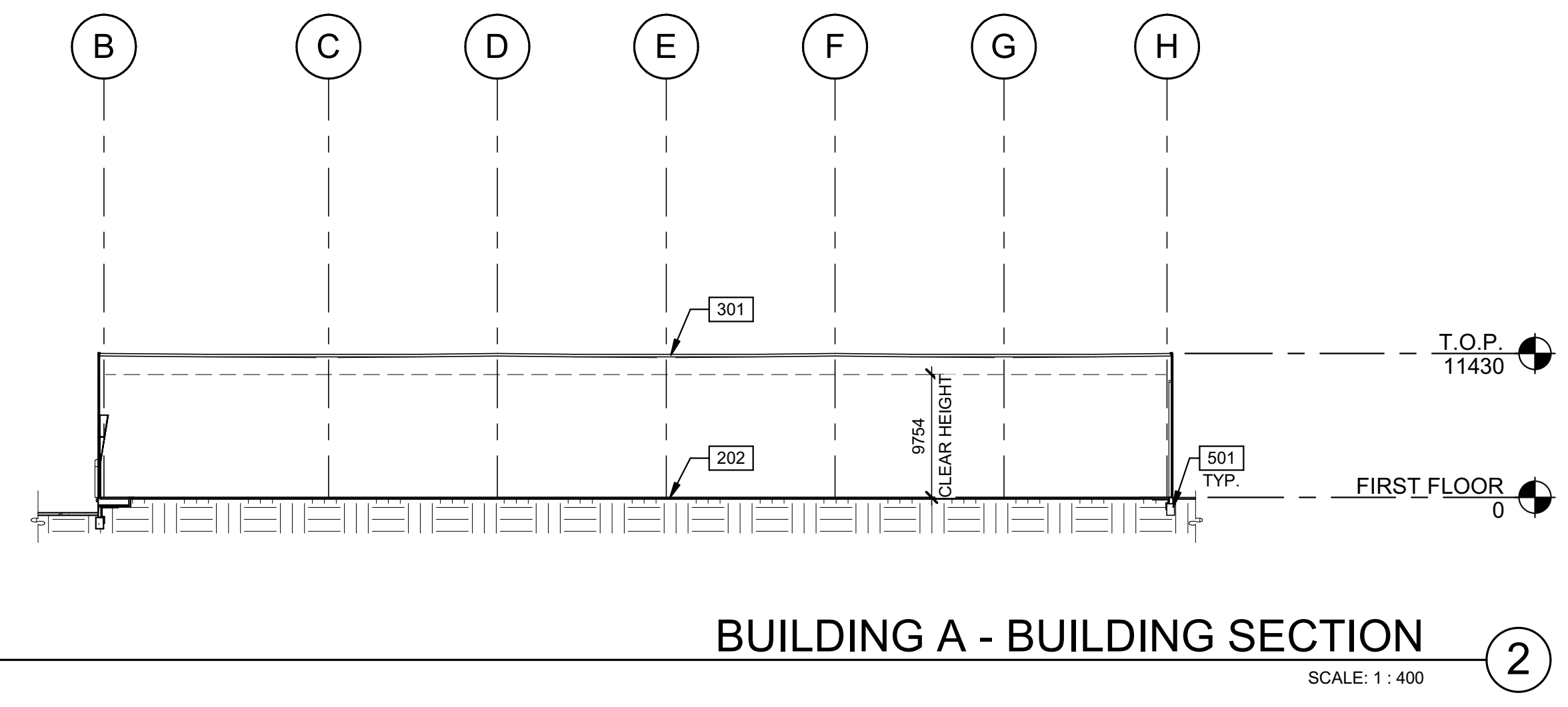
PA/PM:	H. WERNER
DRAWN BY.:	D.P./E.C.
JOB NO.:	OTW22-0010-00

SHEET

A211



BUILDING A - BUILDING SECTION 1
SCALE: 1 : 400



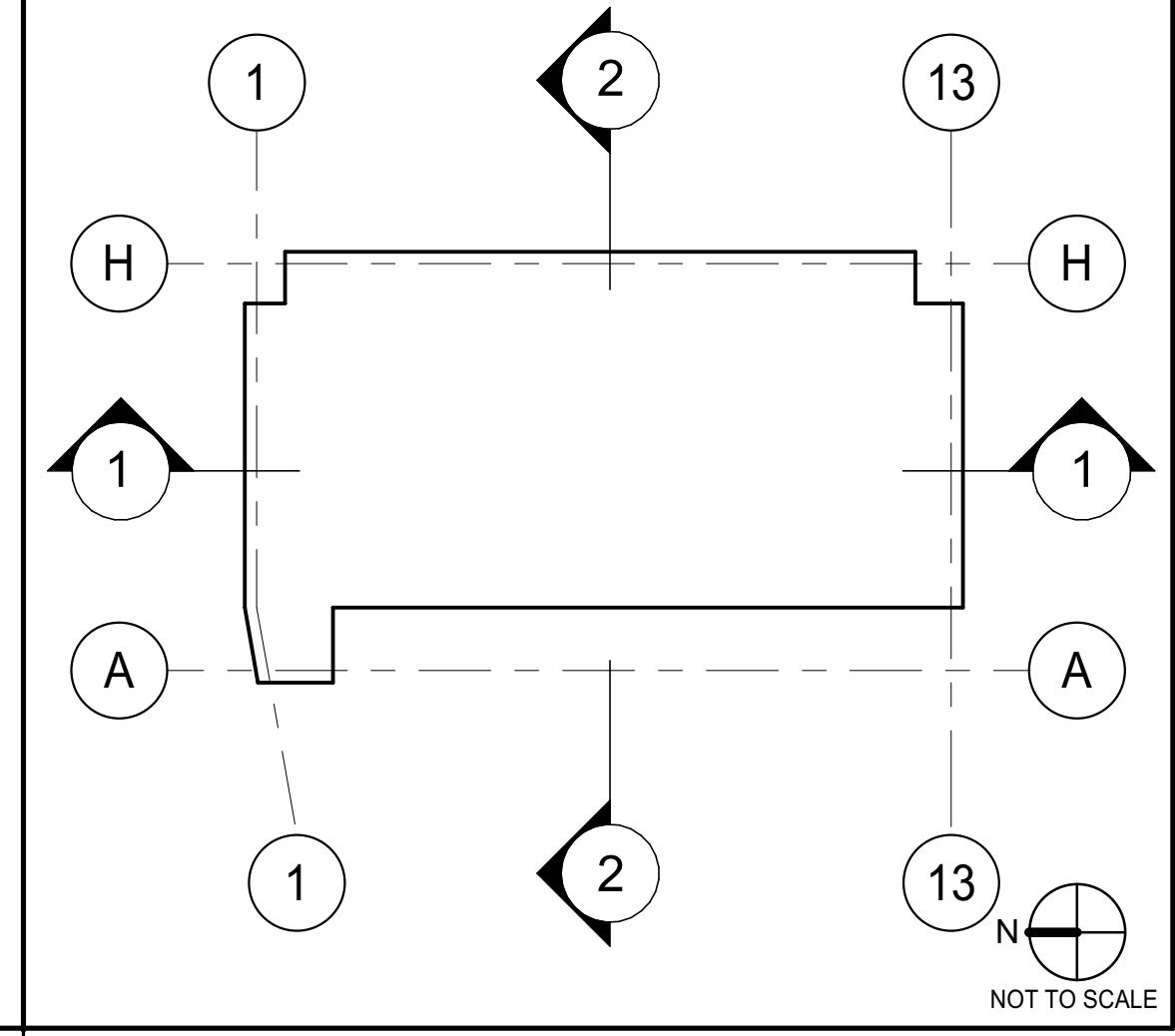
BUILDING A - BUILDING SECTION 2
SCALE: 1 : 400

- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
 - 501 CONCRETE FOOTING.

WALL/ PARTITION LEGEND

- INSULATED METAL PANEL SYSTEM.
- CONCRETE MASONRY WALL

KEY PLAN



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977

ONTARIO ASSOCIATION
OF
ARCHITECTS
JOHN P. HOLLAND
LICENCE
8649

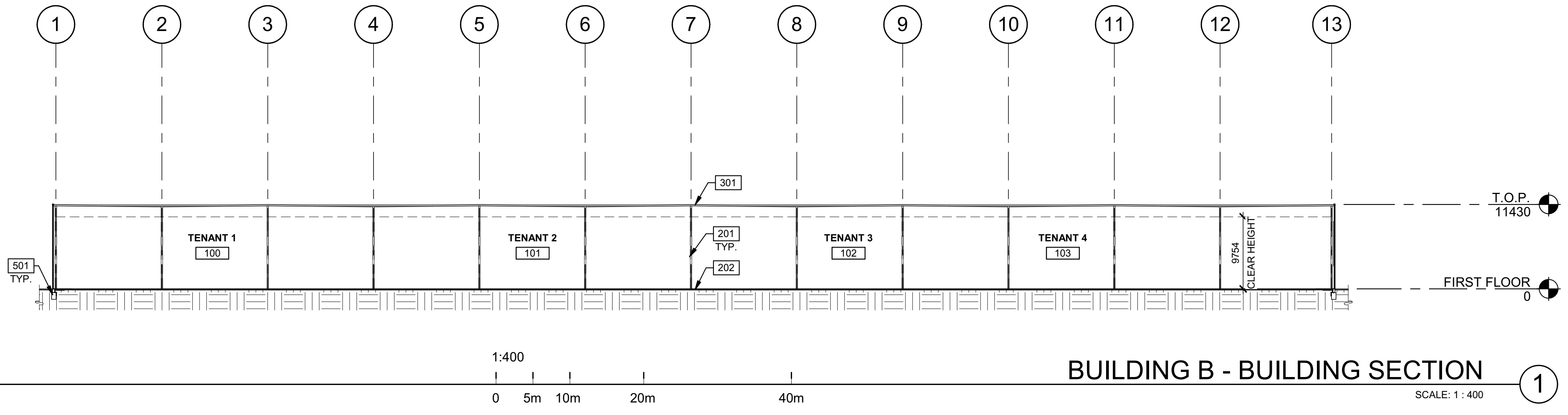
RF.

ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

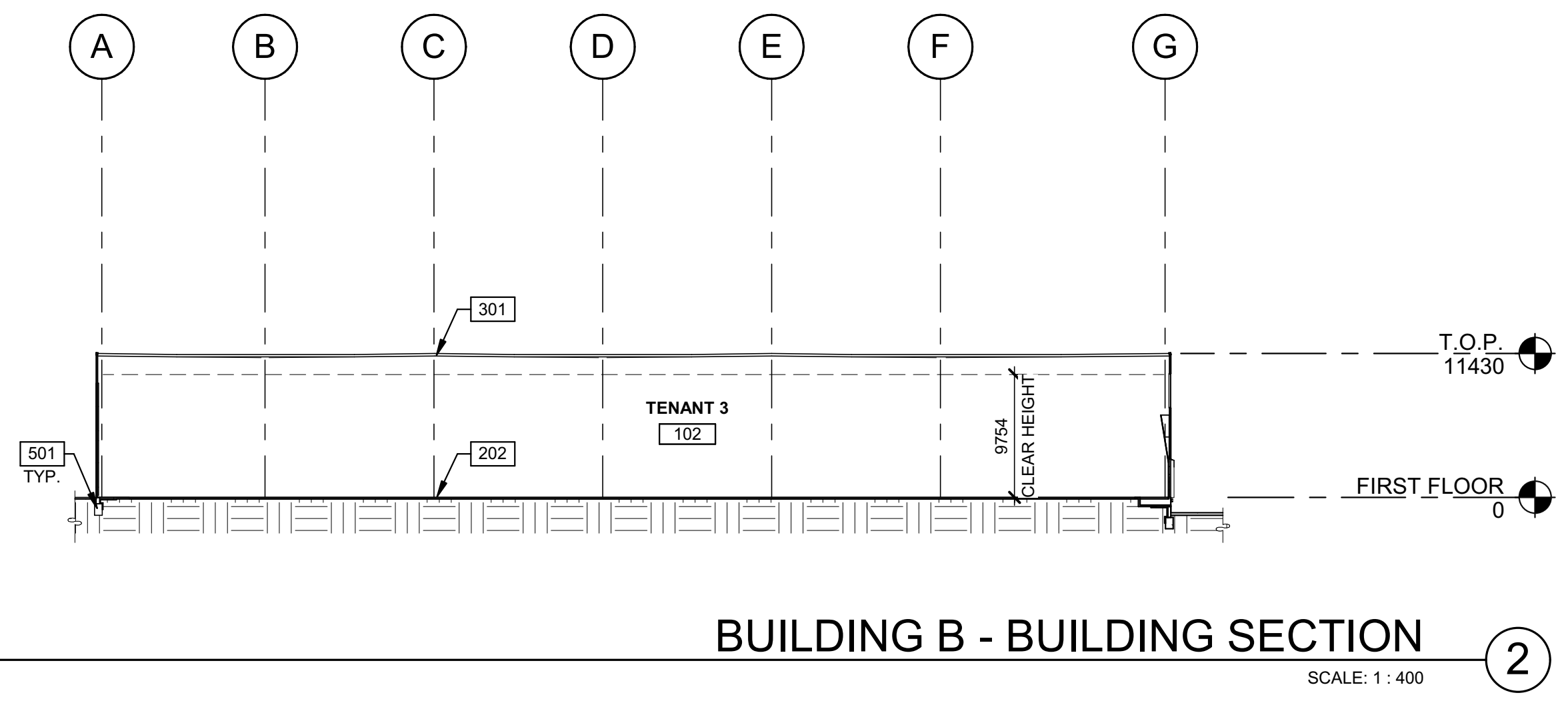
BUILDING A - BUILDING SECTIONS	
DATE	REMARKS
1 2023-05-03	ISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. /E.C.
JOB NO.:	OTW22-0010-00

SHEET
A310



BUILDING B - BUILDING SECTION 1
SCALE: 1 : 400



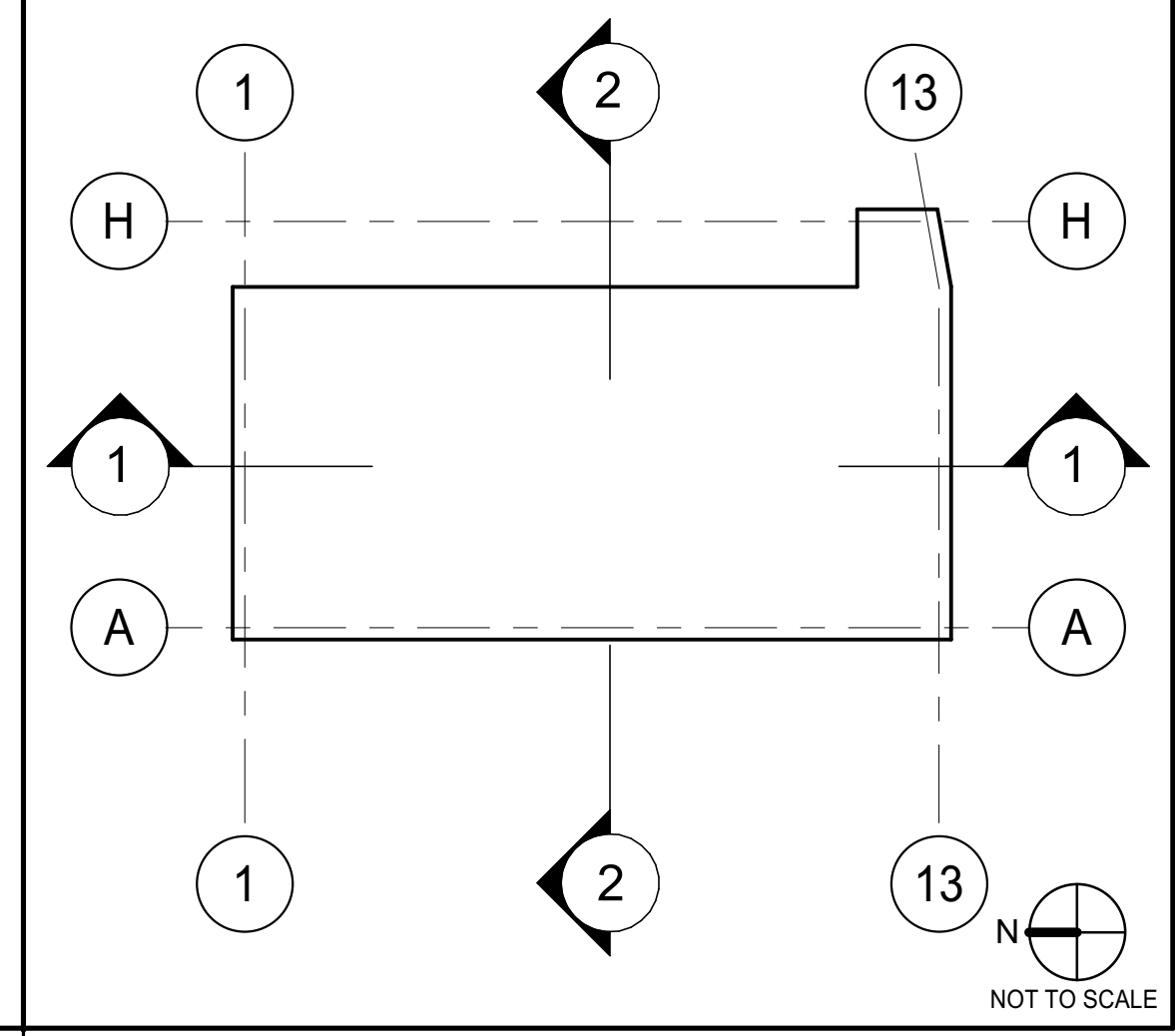
BUILDING B - BUILDING SECTION 2
SCALE: 1 : 400

- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
 - 501 CONCRETE FOOTING.

WALL/ PARTITION LEGEND

- INSULATED METAL PANEL SYSTEM.
- CONCRETE MASONRY WALL.

KEY PLAN



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



ROSEFELLOW 575
DEALERSHIP
575 DEALERSHIP DR.
NEPEAN, ONTARIO K2J 6H8

BUILDING B - BUILDING SECTIONS	
DATE	REMARKS
1 2023-05-03	ISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. /E.C.
JOB NO.:	OTW22-0010-00

SHEET
A311