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Phase I Environmental Site Assessment

3130 Woodroffe Avenue
Ottawa, Ontario

Prepared For

Vo and Van Holdings Corporation

Paterson Group Inc.

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September 15, 2015

Report: PE3632-1

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EXECUTIVE SUMMARY

Assessment

A Phase I – Environmental Site Assessment was carried out for the residential property addressed 3130 Woodroffe Avenue in the City of Ottawa, Ontario. The purpose of this environmental assessment was to research the past and current use of the subject site and adjacent properties and identify any environmental concerns with the potential to have impacted the subject property.

Based on a review of historical sources, the subject property has been used for residential purposes since its development in the late 1960s. Prior to this time, the property was vacant land. No potentially contaminating activities were identified on the subject property or on surrounding properties.

Following the historical review a site visit was conducted. The site is occupied by a two (2) storey residential dwelling, a garage and a storage shed. The residence is currently heated by a natural gas fired furnace. No concerns were identified during the site visit.

The surrounding land use consisted of residential properties. None of the neighbouring properties were considered to represent potentially contaminating activities.

Based on the results of this Phase I - Environmental Site Assessment, the subject site is not considered to have been adversely affected by the historical or current use of the subject site or the neighbouring properties within the Phase I – study area. In our opinion, **a Phase II - Environmental Site Assessment is not required for the property.**

Recommendations

Based on the age of the building (constructed circa 1968), asbestos-containing materials and lead-based paints are potentially present. It is recommended that a designated substances survey (DSS) be completed prior to the demolition of the residence.

When the potable water well within the subject building is no longer going to be used, it should be decommissioned by a licensed well driller in accordance with O. Reg. 903 s.21.

1.0 INTRODUCTION

At the request of Vo and Van Holdings Corporation, Paterson Group (Paterson) conducted a Phase I - Environmental Site Assessment (Phase I-ESA) of the residential property located at 3130 Woodroffe Avenue, in the City of Ottawa, Ontario. The purpose of this Phase I ESA was to research the past and current use of the site and study area and to identify any environmental concerns with the potential to have impacted the subject property.

Paterson was engaged to conduct this Phase I-ESA by Dr. Laura Van of Vo and Van Holdings Corporation. Dr. Van can be reached by mail at:

301 Calabar Court
Nepean, Ontario
K2J 5N4

This report has been prepared specifically and solely for the above noted project which is described herein. It contains all of our findings and results of the environmental conditions at this site.

This Phase I-ESA report has been prepared in general accordance with the requirements of Ontario Regulation 153/04 as amended by O.Reg. 269/11 (Environmental Protection Act), and also complies with the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I - ESA are based on a review of readily available geological, historical and regulatory information and a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as local, provincial and federal agencies and was limited within the scope-of-work, time and budget of the project herein.

2.0 PHASE I PROPERTY INFORMATION

Address:	3130 Woodroffe Avenue, Ottawa, Ontario.
Legal Description:	Part of Lot 16, Concession 2, Geographic Township of Nepean, Rideau Front, in the City of Ottawa, Ontario.
Property Identification Number:	0459-67643
Location:	The subject site is located at the northwest corner of the intersection of Woodroffe Avenue and Deerfox Drive, in the City of Ottawa, Ontario.
Latitude and Longitude:	45° 16' 51" N, 75° 43' 20" W.
Site Description:	
Configuration:	Pseudo-rectangular.
Site Area:	3,875 m ² (approximate)
Zoning:	LC8[2050]H(11)-h – Local Commercial Zone.
Current Use:	The subject site is currently utilized as a single family residential dwelling.
Services:	The subject site is serviced by a private water well and a sewage system.

3.0 SCOPE OF INVESTIGATION

The scope of work for this Phase I – Environmental Site Assessment was as follows:

- Determine the historical activities on the subject site and study area by conducting a review of readily available records, reports, photographs, plans, mapping, databases and regulatory agencies;
- Investigate the existing conditions present at the subject site and study area by conducting site reconnaissance;
- Conduct interviews with persons knowledgeable of current and historic operations on the subject property, and if warranted, neighbouring properties;
- Present the results of our findings in a comprehensive report in general accordance with the requirements of Ontario Regulation 269/11 amending O.Reg. 153/04 made under the Environmental Protection Act and in compliance with the requirements of CSA Z768-01;
- Provide a preliminary environmental site evaluation based on our findings;
- Provide preliminary remediation recommendations and further investigative work if contamination is suspected or encountered.

4.0 RECORDS REVIEW

4.1 General

Phase I-ESA Study Area Determination

A radius of approximately 250 m was determined to be appropriate as a Phase I ESA study area for this assignment. Properties outside the 250 m radius are not considered to have impacted the subject land, based on their significant distance from the site.

First Developed Use Determination

According to the aerial photos, the subject site appears to have undergone development as a residential dwelling around 1968. Since that date, the property has always been used a residential dwelling.

National Archives

City directories were only available for the area of the subject site from approximately 2000 onwards. The directories were reviewed from 2000-2011 in approximate five (5) year intervals. The subject site is first listed as a single family residence occupied by E. Buffone in 2000, this listing was repeated in 2011. Neighbouring properties consisted of residential listings with a few commercial listings within residential areas, these included asphalt sealing and electrical contractors.

Based on the aerial photographs, both of these properties appear to be residential properties. The asphalt sealing business appears to be operated out of the southern portion of 15 Deerfox Drive, located approximately 150 m to the south of the subject site. Neither of these properties are considered to represent an area of potential environmental concern for the subject site.

No concerns were identified during the review of the city directories. Fire insurance plans are not available for the area of the subject property.

Current Plan of Survey

A current plan of survey was reviewed as a part of this assessment. The survey plan consists of a topographical plan prepared by Farley, Smith and Denis Surveying Ltd., dated November 22, 2013. The survey plan shows the subject site in its current configuration.

4.2 Environmental Source Information

Environment Canada

A search of the National Pollutant Release Inventory (NPRI) was conducted electronically on August 7, 2015. The subject site was not listed in the NPRI database. No records of pollutant release were listed in the database for properties located within the Phase I Study Area.

PCB Inventory

A search of national PCB waste storage sites was conducted. No PCB waste storage sites are located within the Phase I study area.

Ontario Ministry of Environment and Climate Change (MOECC) Instruments

A request was submitted to the MOECC Freedom of Information office for information with respect to certificates of approval, permits to take water, certificates of property use or any other similar MOECC issued instruments for the site. The response from the MOECC did not identify any records with respect to issued instruments.

MOECC Coal Gasification Plant Inventory

The Ontario Ministry of Environment and Climate Change document titled "Municipal Coal Gasification Plant Site Inventory, 1991" was reviewed to reference the locations of former plants with respect to the site. No coal gasification plants were identified in the Phase I study area.

MOECC Incident Reports

A request was submitted to the MOECC Freedom of Information office for information with respect to records concerning environmental incidents, orders, offences, spills, discharges of contaminants or inspections maintained by the MOECC for the site or adjacent properties. The response from the MOECC did not identify any incident reports.

MOECC Waste Management Records

A request was submitted to the MOECC Freedom of Information office for information with respect to waste management records. The response from the MOECC did not identify any waste management records for the subject site.

MOECC Submissions

A request was submitted to the MOECC Freedom of Information office for information with respect to reports related to environmental conditions for the property. The response from the MOECC did not identify any waste submission records for the subject site.

MOECC Brownfields Environmental Site Registry

A search of the MOECC Brownfields Environmental Site Registry was conducted as part of this assessment for the site, neighbouring properties and the general area of the site. No Records of Site Condition (RSCs) were filed for the subject site or within the Phase I study area.

MOECC Waste Disposal Site Inventory

The Ontario Ministry of Environment and Climate Change document titled "Waste Disposal Site Inventory in Ontario, 1991" was reviewed as part of the historical research. This document includes all recorded active and closed waste disposal sites, industrial manufactured gas plants and coal tar distillation plants in the Province of Ontario. Based on the available information, no waste disposal sites were identified in the vicinity of the subject site.

Areas of Natural Significance

A search for areas of natural significance and features within the Phase I study area was conducted on the web site of the Ontario Ministry of Natural Resources (MNR) on August 6, 2015. No areas of natural significance were identified within the Phase I study area.

Technical Standards and Safety Authority (TSSA)

The TSSA, Fuels Safety Branch in Toronto was contacted electronically on August 25, 2015 to inquire about current and former underground storage tanks, spills and incidents for the site and neighbouring properties. The TSSA search did not return any records for the subject site or neighbouring properties. A copy of the TSSA correspondence is included in Appendix 2.

City of Ottawa Landfill Document

The document entitled "Old Landfill Management Strategy, Phase I – Identification of Sites, City of Ottawa", was reviewed. No landfills sites were identified in the vicinity of the subject site or Phase I study area.

City of Ottawa Historical Land Use Inventory

A request for information from the City's Historical Land Use Inventory (HLUI 2005) database for the subject property was sent on August 13, 2015 to the City of Ottawa. The search identified one (1) activity within a 50 m radius of the subject site. The activity was identified as Pro Seal Asphalt Repair, at 15 Deerfox Drive, located approximately 150 m to the south of the subject site across Deerfox Drive. As previously discussed, the asphalt sealing business that operates out of 15 Deerfox Drive is not considered to represent an area of potential environmental concern to the subject site. No concerns were identified from the search of the City's Historical Land Use Inventory.

Geotechnical Investigation

A geotechnical investigation was conducted by Paterson in February 2011 at the subject site in conjunction with two (2) other residential properties to the north of the subject site. Two (2) boreholes were placed on the subject site at 3130 Woodroffe Avenue. There were no apparent signs of deleterious fill or petroleum hydrocarbon impact in the soil or groundwater recovered from the geotechnical boreholes. The locations of the boreholes are indicated on Drawing PE3632-1 - Site Plan.

4.3 Physical Setting Sources

Aerial Photographs

Historical air photos from the National Air Photo Library were reviewed in approximate ten (10) year intervals. The review period dates back to the first available air photos for the site. Based on the review, the following observations have been made:

- | | |
|------|---|
| 1960 | The subject site appears to be vacant grass land with sparse trees. Woodroffe Avenue is present to the east of the subject site and Deerfox Drive is present to the south of the subject site. A few residential dwellings are present across Deerfox Drive, to the south of the subject site. Neighbouring lands consist of vacant or agricultural fields. A small forested area is located northwest of the subject property. |
| 1968 | The subject building appears to be under construction in the aerial photograph. No apparent changes have been made to the neighbouring properties. |

- 1973 The subject property appears to be occupied by the present day residential structure. Residential dwellings are present on the west side of Woodroffe Avenue, to the north of the subject site and an increased number of residential dwellings are present along the south side of Deerfox Drive to the southwest.
- 1979 No significant changes appear to have been made to the subject or the neighbouring properties.
- 1989 A pool is present on the west side of the residence on the subject site. A residential dwelling has been constructed on the property immediately north of the subject site. No other significant changes have been made to the subject or neighbouring properties.
- 1995 No apparent changes have been made to the subject site. Stoneway Drive has been completed further to the east of the subject site. Residential development is present and is expanding further to the east and north of the subject site.
- 2002 (City of Ottawa) The pool has been removed from the west side of the subject site. No other apparent changes have been made to the subject site. The land to the west of the subject site has been developed with residential dwellings and roadways.
- 2011 (City of Ottawa) No significant changes appear to have been made to the subject or neighbouring properties.

Laser copies of selected aerial photographs reviewed are included in Appendix 1.

Topographic Maps

Topographic information was obtained from Natural Resources Canada – The Atlas of Canada website. The topographic maps indicate that the elevation of the subject site is approximately 94 m ASL, and that the regional topography in the general area of the site slopes downward to the east to northeast, towards the Rideau River. An illustration of the referenced topographic map is presented on Figure 2 – Topographic Map, appended to this report.

Physiographic Maps

A Physiographic Map was reviewed from the Natural Resources Canada – The Atlas of Canada website, as a part of this assessment. According to the publication and attached mapping, the site is situated within the St. Lawrence Lowlands, Clay Plains with Drumlins physiographic region. According to the

mapping description provided: “The lowlands are plain-like areas that were all affected by the Pleistocene glaciations and are therefore covered by surficial deposits and other features associated with the ice sheets.” Mapping shows the subject site as situated on an area of till.

Geological Maps

The Geological Survey of Canada website on the Urban Geology of the National Capital Area was consulted as part of this assessment. Based on this information, bedrock in the area of the site consists of interbedded sandstone and dolostone of the March Formation. Overburden consists of offshore marine deposits of silt and clay, with a drift thickness on the order of 5 to 15 m.

Water Well Records

A search of the MOECC’s web site for all drilled well records within 250 m of the subject site was conducted on August 7, 2015. The search returned records for seven (7) domestic water supply wells in the Phase I study area and three (3) records of abandonment. One (1) of the wells is suspected to be the potable groundwater well present in the basement of the subject building.

Water Bodies and Areas of Natural Significance

The Rideau River is the closest significant water body and is present approximately 1.5 km to the east of the site. No creeks, streams, lakes or other water bodies were identified in the Phase I study area. No areas of natural significance were identified within the Phase I study area.

5.0 INTERVIEWS

Property Owner Representative

Ms. Laura Van, of Vo and Van Holdings Corporation (the current property owner), was present at the time of the site visit to respond to inquiries. Ms. Van indicated that she had owned the property for over a year. During which time she has rented the property to a residential tenant. Ms. Van was unaware of any environmental concerns associated with the subject and neighbouring properties.

6.0 SITE RECONNAISSANCE

6.1 General Requirements

The site assessment was conducted September 14, 2015. Weather conditions were sunny, with a temperature of approximately 23°C. Personnel from the Environmental Department of Paterson Group conducted the site visit. In addition to the site, the uses of neighbouring properties within the Phase I study area were also assessed at the time of the site visit.

6.2 Specific Observations at Phase I Property

Buildings and Structures

The subject property is occupied by a two (2) storey building with a single basement level, a wood shed and a garage structure. The residence is a wood framed structure with a poured concrete foundation. The residence is finished with a brick exterior and a sloped shingled with flat membrane sections.

The residence interior is furnished with floors of marble, hardwood, poured concrete, linoleum flooring, vinyl floor tiles, ceramic tiles and carpet. The walls throughout the residence are finished with panelling or drywall. The ceilings consisted of acoustic ceiling tiles, drywall and ceiling stipple. Lighting throughout the residence is provided by incandescent and fluorescent fixtures.

The residence is currently heated by a natural gas fired furnace located in the basement of the subject building. The residence is suspected to have been heated with fuel oil at one point. The former fuel oil above ground storage tank has been removed from the property, no evidence of leaks or spill were identified at the time of the site visit.

Chemical storage within the residence was limited to the presence of household cleaning supplies and paint cans. No concerns were identified with regard to the current chemical storage at the subject site.

Liquid discharged from the subject building includes the sewage and washwater from the residence, as well as water from the sump pit. The sewage, sump water and washwater are discharged to the on-site sewage system. The sump pit at the residence contained water at the time of the site visit. The water in the sump pit was clear and without any visual or olfactory evidence of contamination. No concerns were identified with respect to the wastewater discharges from the subject site.

Based on the age of the residence (constructed circa 1968), asbestos containing materials may be present. The materials observed with the potential to contain asbestos consist of the: drywall joint compound, ceiling stipple, acoustic ceiling tiles, vinyl floor tiles and linoleum flooring. These materials were noted to be in good condition at the time of the site visit.

Based on the age of the residence (constructed circa 1968), lead-based paint may be present beneath more recent paints, on any original or older painted surfaces. Painted surfaces were generally observed to be in good condition at the time of the site inspection.

Site

The residence is centered in the northern portion of the subject property. An asphaltic concrete driveway runs south from the residence to Deerfox Drive. The garage and shed structure are present on the southern portion of the subject site to the west of the driveway. The remainder of the subject site is occupied by grassed and gardened areas, with two (2) tree patches on the eastern side of the subject site and an overgrown area to the west of the residence.

Underground Utilities

The subject site is currently serviced by a private well and sewage system. The subject site is located in an area where municipal services are available.

Neighbouring Properties

An inspection of the neighbouring properties was conducted from publicly accessible roadways at the time of the site inspection. Land use adjacent to the subject site was as follows:

- North - Residential dwellings;
- South - Deerfox Drive, followed by residential dwellings;
- East - Woodroffe Avenue, followed by residential dwellings;
- West - Residential dwellings.

Property use in the Phase I study area is limited to residential dwellings. No concerns were identified with respect to the current use of the neighbouring properties. Property use within the Phase I study area is shown on Drawing PE3632-2 Surrounding Land Use Plan.

7.0 REVIEW AND EVALUATION OF INFORMATION

7.1 Land Use History

The following tables indicate the current and past uses of the site as well as surrounding land uses in the Phase I study area dating back to the first developed use of the site.

Table 1 - Land Use History – 3130 Woodroffe Avenue			
Time Period	Land Use	Potentially Contaminating Activities	Areas of Potential Environmental Concern
Prior to 1968	Vacant	None	None
1968 to Present	Residential	None	None

Table 2 - Land Use History – Surrounding Properties			
Time Period	Land Use	Potentially Contaminating Activities	Areas of Potential Environmental Concern
Prior to 1990s	Vacant, Agricultural, Residential	None	None
1990s to Present	Residential	None	None

Potentially Contaminating Activities

No potentially contaminating activities were identified on the subject property or neighbouring properties within the Phase I - study area.

Areas of Potential Environmental Concern

No PCAs were identified for the subject site or the neighbouring properties within the Phase I – study area, as a result, there are no areas of potential environmental concern for the subject property.

Contaminants of Potential Concern

There are no Contaminants of Potential Concern for the subject property.

7.2 Conceptual Site Model

Geological and Hydrogeological Setting

The Phase I property is located in an area of offshore marine sediments. Groundwater flow is expected to reflect site topography and flow in an easterly direction.

Contaminants of Potential Concern

As per Section 7.1 of this report, no Contaminants of Potential Concern were identified for the subject site.

Existing Buildings and Structures

The subject site is currently occupied by a two (2) storey residential dwelling, a wood shed and a storage garage.

Water Bodies

The closest water body is the Rideau River, located approximately 1.5 km to the east of the site. There are no other water bodies on the subject site or within the Phase I study area.

Areas of Natural Significance

No areas of natural significance were identified within the Phase I study area.

Drinking Water Wells

There are records of seven (7) drinking water wells within the Phase I Study area. It is suspected that the older residential properties along Woodroffe Avenue and Deerfox Drive continue to use their potable water wells. The majority of the residential dwellings in the Phase I – study area are considered to be connected to municipal water services.

Neighbouring Land Use

Neighbouring land use in the Phase I study area is residential. The neighbouring properties within the Phase I – study area are not considered to represent any potentially contaminating activities. Property use within the Phase I study area is shown on Drawing PE3632-2 Surrounding Land Use Plan.

Potentially Contaminating Activities and Areas of Potentially Environmental Concern

No Potentially Contaminating Activities or Areas of Potential Environmental Concern have been identified.

Assessment of Uncertainty and/or Absence of Information

The information available for review as part of the preparation of this Phase I ESA is considered to be sufficient to conclude that there are no areas of potential environmental concern on the subject site. The absence of potentially contaminating activities was confirmed by a variety of independent sources, and as such, the conclusions of this report are not affected by uncertainty which may be present with respect to the individual sources.

8.0 CONCLUSION

Assessment

A Phase I – Environmental Site Assessment was carried out for the residential property addressed 3130 Woodroffe Avenue in the City of Ottawa, Ontario. The purpose of this environmental assessment was to research the past and current use of the subject site and adjacent properties and identify any environmental concerns with the potential to have impacted the subject property.

Based on a review of historical sources, the subject property has been used for residential purposes since its development in the late 1960s. Prior to this time, the property was vacant land. No potentially contaminating activities were identified on the subject property or on surrounding properties.

Following the historical review a site visit was conducted. The site is occupied by a two (2) storey residential dwelling, a garage and a storage shed. The residence is currently heated by a natural gas fired furnace. No concerns were identified during the site visit.

The surrounding land use consisted of residential properties. None of the neighbouring properties were considered to represent potentially contaminating activities.

Based on the results of this Phase I - Environmental Site Assessment, the subject site is not considered to have been adversely affected by the historical or current use of the subject site or the neighbouring properties within the Phase I – study area. In our opinion, **a Phase II - Environmental Site Assessment is not required for the property.**

Recommendations

Based on the age of the building (constructed circa 1968), asbestos-containing materials and lead-based paints are potentially present. It is recommended that a designated substances survey (DSS) be completed prior to the demolition of the residence.

When the potable water well within the subject building is no longer going to be used, it should be decommissioned by a licensed well driller in accordance with O. Reg. 903 s.21.

9.0 STATEMENT OF LIMITATIONS

This Phase I - Environmental Site Assessment report has been prepared in general accordance with O.Reg. 153/04 as amended by O.Reg. 269/11, and meets the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I - ESA are based on a review of readily available geological, historical and regulatory information and a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as, local, provincial and federal agencies and was limited within the scope-of-work, time and budget of the project herein.

Should any conditions be encountered at the subject site and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment.

This report was prepared for the sole use of Vo and Van Holdings Corporation. Permission and notification from Vo and Van Holdings Corporation and Paterson will be required to release this report to any other party.

Paterson Group Inc.



Sean Moggridge, B.Eng.



Mark S. D'Arcy, P.Eng.



Report Distribution:

- Vo and Van Holdings Corporation (5 copies)
- Novatech Engineering (1 copy)
- Paterson Group (1 copy)

10.0 REFERENCES

Federal Records

Air photos at the Energy Mines and Resources Air Photo Library.
National Archives.
Maps and photographs (Geological Survey of Canada surficial and subsurface).
Natural Resources Canada – The Atlas of Canada.
Environment Canada, National Pollutant Release Inventory.
PCB Waste Storage Site Inventory.

Provincial Records

MOECC Freedom of Information and Privacy Office.
MOECC Municipal Coal Gasification Plant Site Inventory, 1991.
MOECC document titled “Waste Disposal Site Inventory in Ontario”.
MOECC Brownfields Environmental Site Registry.
Office of Technical Standards and Safety Authority, Fuels Safety Branch.
MNR Areas of Natural Significance.
MOECC Water Well Inventory.
Chapman, L.J., and Putnam, D.F., 1984: ‘The Physiography of Southern Ontario, Third Edition’, Ontario Geological Survey Special Volume 2.

Municipal Records

City of Ottawa Document “Old Landfill Management Strategy, Phase I - Identification of Sites”, prepared by Golder Associates, 2004.
The City of Ottawa Historical Land Use Inventory.
Intera Technologies Limited Report “Mapping and Assessment of Former Industrial Sites, City of Ottawa”, 1988.
The City of Ottawa eMap website.

Local Information Sources

Current Plan of Survey, prepared by Annis, O’Sullivan, Vollebekk Limited, 2014.
Personal Interviews.
Phase I Environmental Site Assessment, 3130 Woodroffe Avenue, Orleans, ON, prepared by Levac Robichaud Leclerc Associates Ltd.

Public Information Sources

Google Earth.
Google Maps/Street View.

FIGURES

FIGURE 1 – KEY PLAN

FIGURE 2 – TOPOGRAPHIC MAP

DRAWING PE3632-1 – SITE PLAN

DRAWING PE3632-2 – SURROUNDING LAND USE PLAN

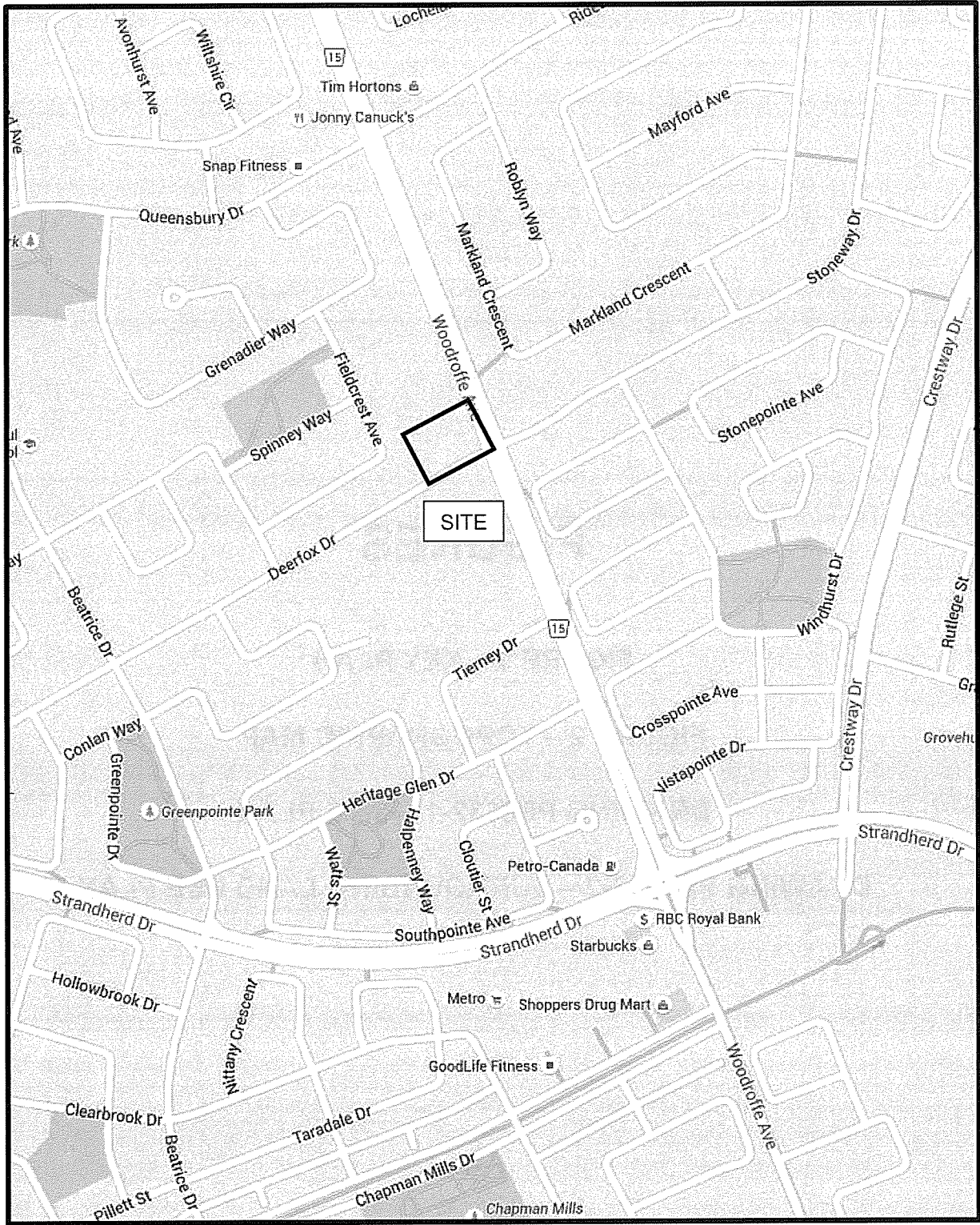
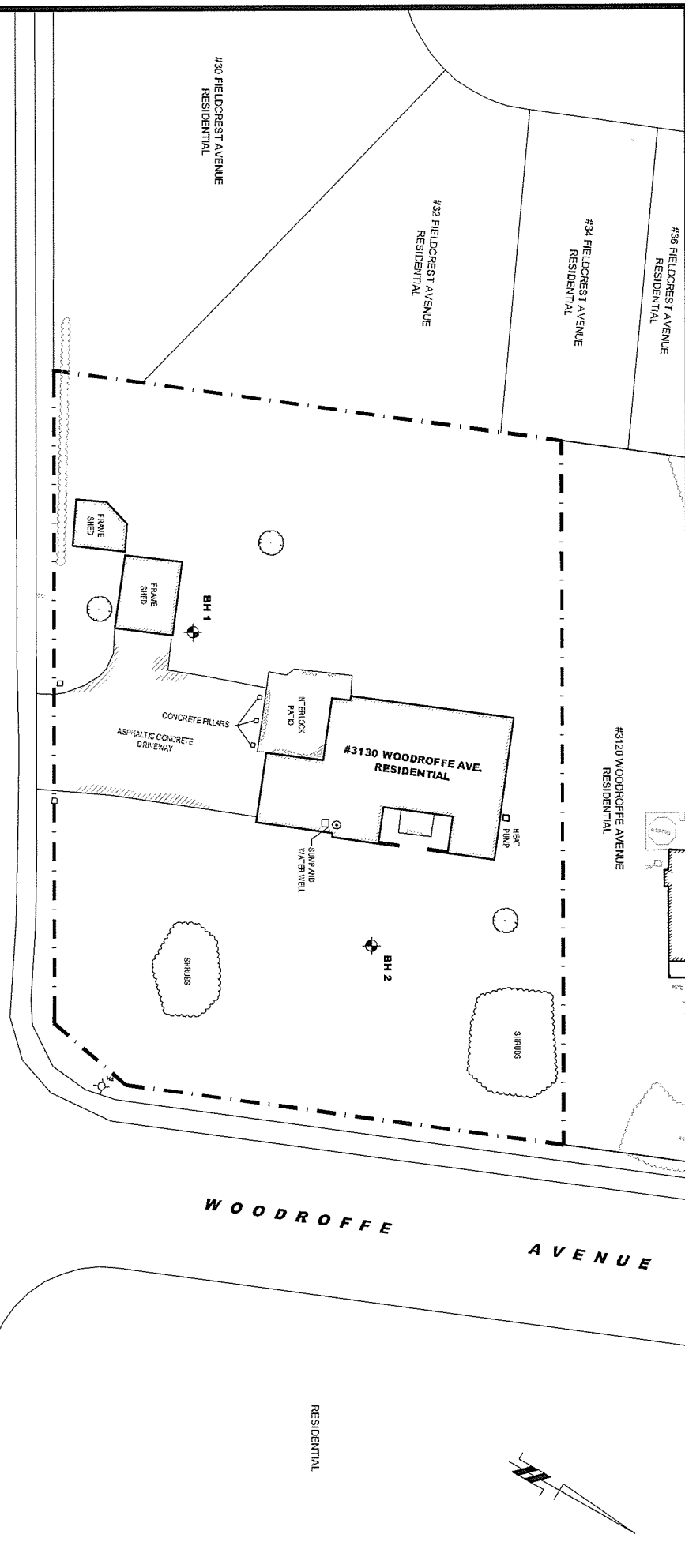


FIGURE 1
KEY PLAN



FIGURE 2

TOPOGRAPHIC MAP



LEGEND:
 BOREHOLE LOCATION, PREVIOUS INVESTIGATION, PATERSON GROUP REPORT P23236, 2011

RESIDENTIAL
 SINGLE FAMILY DWELLINGS

paterSONgroup
 consulting engineers
 154 Colonnade Road South
 Ottawa, Ontario K2E 7L5
 Tel: (613) 226-7381 Fax: (613) 226-6344

NO.	REVISIONS	DATE	INITIALS

VO & VAN HOLDINGS
 PHASE I - ENVIRONMENTAL SITE ASSESSMENT
 3130 WOODROFFE AVENUE
 OTTAWA, ONTARIO

SITE PLAN

Scale: 1:400 Date: 09/2015
 Drawn by: MFG Report No.: PE36324
 Checked by: SM
 Approved by: MSD Revision No.: PE3632-1

APPENDIX 1

CURRENT PLAN OF SURVEY

AERIAL PHOTOGRAPHS



AERIAL PHOTOGRAPH
1960



AERIAL PHOTOGRAPH
1968



AERIAL PHOTOGRAPH
1973



AERIAL PHOTOGRAPH
1979



AERIAL PHOTOGRAPH
1989



AERIAL PHOTOGRAPH
1995

APPENDIX 2

MOECC FREEDOM OF INFORMATION REQUEST AND RESPONSE

TSSA CORRESPONDENCE

HLUI SEARCH RESPONSE



Freedom of Information Request

This form is for requesting documents which are in the Ministry's files on environmental concerns related to properties. Please refer to the guide on completion and use of this form. Our fax no. is (416) 314-4285.

Requester Data			For Ministry Use Only	
Name, Company Name, Mailing Address and Email Address of Requester Sean Moggridge Paterson Group Inc. 154 Colonnade Road Ottawa, ON K2E 7J5 Email address: SMoggridge@patersongroup.ca			FOI Request No.	Date Request Received
Telephone/Fax Nos. Tel. 613-226-7381 Fax 613-226-6344			Fee Paid <input type="checkbox"/> ACCT <input type="checkbox"/> CHQ <input type="checkbox"/> VISA/MC <input type="checkbox"/> CASH	
Your Project/Reference No. PE3632	Signature/Print Name of Requester Sean Moggridge		<input type="checkbox"/> CNR <input type="checkbox"/> ER <input type="checkbox"/> NOR <input type="checkbox"/> SWR <input type="checkbox"/> WCR <input type="checkbox"/> SAC <input type="checkbox"/> IEB <input type="checkbox"/> EAA <input type="checkbox"/> EMR <input type="checkbox"/> SWA	

Request Parameters

Municipal Address / Lot, Concession, Geographic Township (Municipal address essential for cities, towns or regions)
3130 Woodroffe Avenue, Ottawa, Ontario; Part Lot 16, Concession 2, Nepean Township, Rideau Front.

Present Property Owner(s) and Date(s) of Ownership
Vo & Van Holdings Corporation (since 2013)

Previous Property Owner(s) and Date(s) of Ownership
Ermino and Yolanda Buffone (Residential), for approximately 24 years prior to current owners (~1989)

Present/Previous Tenant(s), (if applicable)
Residential tenants

Search Parameters	Specify Year(s) Requested
<i>Files older than 2 years may require \$60.00 retrieval cost. There is no guarantee that records responsive to your request will be located.</i>	
Environmental concerns (General correspondence, occurrence reports, abatement)	all
Orders	all
Spills	all
Investigations/prosecutions ➤ Owner AND tenant information must be provided	all
Waste Generator number/classes	all

Certificates of Approval ➤ Proponent information must be provided

1985 and prior records are searched manually. Search fees in excess of \$300.00 could be incurred, depending on the types and years to be searched. Specify Certificates of Approval number(s) (if known). If supporting documents are also required, mark SD box and specify type e.g. maps, plans, reports, etc.

	SD	Specify Year(s) Requested
air - emissions		1986-present
water - mains, treatment, ground level, standpipes & elevated storage, pumping stations (local & booster)		1986-present
sewage - sanitary, storm, treatment, stormwater, leachate & leachate treatment & sewage pump stations		1986-present
waste water - industrial discharges		1986-present
waste sites - disposal, landfill sites, transfer stations, processing sites, incinerator sites		1986-present
waste systems - PCB destruction, mobile waste processing units, haulers: sewage, non-hazardous & hazardous waste		1986-present
pesticides - licenses		1986-present

A \$5.00 non-refundable application fee, payable to the Minister of Finance, is mandatory. The cost of locating on-site and/or preparing any record is \$30.00/hour and 20 cents/page for photocopying and you will be contacted for approval for fees in excess of \$30.00.

Ministry of the Environment
and Climate Change

Freedom of Information and
Protection of Privacy Office

12th Floor
40 St. Clair Avenue West
Toronto ON M4V 1M2
Tel: (416) 314-4075
Fax: (416) 314-4285

Ministère de l'Environnement et de
l'Action en matière de changement
climatique

Bureau de l'accès à l'information et
de la protection de la vie privée

12^e étage
40, avenue St. Clair ouest
Toronto ON M4V 1M2
Tél. : (416) 314-4075
Télééc.: (416) 314-4285



September 14, 2015

Sean Moggridge
Paterson Group Inc
154 Colonnade Rd
Ottawa, ON K2E 7J5

Dear Sean Moggridge:

RE: ***Freedom of Information and Protection of Privacy Act Request***
Our File # A-2015-04951, Your Reference PE3632

This letter is in response to your request made pursuant to the *Freedom of Information and Protection of Privacy Act* relating to 3130 Woodroffe Avenue, Ottawa and Part Lot 16, Concession 2, Nepean.

After a thorough search through the files of the Ministry's Ottawa District Office, Investigations and Enforcement Branch, Environmental Monitoring and Reporting Branch, Sector Compliance Branch and Safe Drinking Water Branch, no records were located responsive to your request. To provide you with this response and in accordance with Section 57 of the *Freedom of Information and Protection of Privacy Act*, the fee owed is \$30.00 for 1 hour of search time @ \$30.00 per hour. **We have applied the \$30.00 for this request from your initial payment. This file is now closed.**

You may request a review of my decision by contacting the Information and Privacy Commissioner/Ontario, 2 Bloor Street East, Suite 1400, Toronto, ON M4W 1A8 (800-387-0073 or 416-326-3333). Please note that there is a \$25.00 fee and you only have 30 days from receipt of this letter to request a review.

If you have any questions regarding this matter, please contact Daniel Demanuele at (416) 212-3183 or daniel.demanuele@ontario.ca.

Yours truly,

for Heidi Ritscher
FOI Manager

Sean Moggridge

From: squibell@tssa.org on behalf of Public Information Services
[publicinformationsservices@tssa.org]
Sent: August-26-15 8:25 AM
To: Sean Moggridge
Subject: Re: TSSA Records Search, PE3632 - 3130 Woodroffe Avenue, Ottawa (Nepean)

Good morning Sean,

Thank you for your inquiry.

We have no record in our database of any fuel storage tanks at the subject address (addresses).

For a further search in our archives please submit your request in writing to Public Information Services via e-mail (publicinformationsservices@tssa.org) or through mail along with a fee of \$56.50 (including HST) per location. The fee is payable with credit card (Visa or MasterCard) or with a Cheque made payable to TSSA.

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.

Thank you and have a great day!

Regards,

Sarah

Public Information Services

TECHNICAL STANDARDS & SAFETY AUTHORITY
"Putting Public Safety First"
14th Floor, Centre Tower
3300 Bloor Street West
Toronto, ON M8X 2X4

www.tssa.org
Toll-Free: 1-877-682-8772

On Tue, Aug 25, 2015 at 5:02 PM, Sean Moggridge <SMoggridge@patersongroup.ca> wrote:

Good afternoon,

Could you please conduct a search of your records for underground/aboveground storage tanks, historical spills and other incidents/infractions for the following addresses of properties located in Ottawa (Nepean), Ontario:

3112, 3120, 3130, 3150 Woodroffe Avenue;

386, 403 Stoneway Drive;

30, 32, 34, 36 Fieldcrest Avenue.

Thank you for your time and effort.

Sean Moggridge, B.Eng.

patersongroup

consulting engineers

Solution Oriented Engineering

Tel: **(613) 226-7381**

Fax: **(613) 226-6344**

This electronic message and any attached documents are intended only for the named recipients. This communication from the Technical Standards and Safety Authority may contain information that is privileged, confidential or otherwise protected from disclosure and it must not be disclosed, copied, forwarded or distributed without authorization. If you have received this message in error, please notify the sender immediately and delete the original message.



File Number: C10-01-15-0215

September 11, 2015

Sean Moggridge
Paterson Group
154 Colonnade Road South
Ottawa, ON
K2E 7J5

Sent via email [SMoggridge@patersongroup.ca]

Dear Mr. Moggridge,

**Re: Information Request
3130 Woodroffe Avenue, Ottawa, Ontario ("Subject Property")**

Internal Department Circulation

The Planning and Growth Management Department has the following information in response to your request for information regarding the Subject Properties:

- No information was returned on the Subject Property from Departmental circulation.

Search of Historical Land Use Inventory

This acknowledges receipt of the signed Disclaimer regarding your request for information from the City's Historical Land Use Inventory (HLUI 2005) database for the Subject Property.

A search of the HLUI database revealed the following information:

- There are no activities associated with the Subject Property.

The HLUI database was also searched for activity associated with properties located within 50m of the Subject Property. The search revealed the following:

- There is 1 activity associated with properties located within 50m of the Subject Property:
Activity Number 11120.

*Shaping our future together
Ensemble, formons notre avenir*

City of Ottawa
Infrastructure Services and Community
Sustainability Department
Planning and Growth Management Branch

110 Laurier Avenue West, 4th Floor
Ottawa, ON K1P 1J1
Tel: (613) 580-2424 ext. 14743
Fax: (613) 560-6006
www.ottawa.ca

Ville d'Ottawa
Services d'infrastructure et Viabilité des
collectivités
Direction de l'approbation des demandes
d'aménagement et d'infrastructure

110, avenue Laurier Ouest, 4e étage
Ottawa (Ontario) K1P 1J1
Tél.: (613) 580-2424 ext. 14743
Télééc: (613) 560-6006
www.ottawa.ca

A site map has been included to show the location of the Subject Property as well as the location of all the activities noted above.

Additional information may be obtained by contacting:

Ontario's Environmental Registry

The Environmental Registry found at <http://www.ebr.gov.on.ca/ERS-WEB-External/> contains "public notices" about environmental matters being proposed by all government ministries covered by the Environmental Bill of Rights. The public notices may contain information about proposed new laws, regulations, policies and programs or about proposals to change or eliminate existing ones. By using key words i.e. name of proponent/owner and the address one can ascertain if there is any information on the proponent and address under the following categories: Ministry, keywords, notice types, Notice Status, Acts, Instruments and published date (all years).

The Ontario Land Registry Office

Registration of real property is recorded in the Ontario Land Registry Office through the Land Titles Act or the Registry Act. Documents relating to title and other agreements that may affect your property are available to the public for a fee. It is recommended that a property search at the Land Registry Office be included in any investigation as to the historic use of your property. The City of Ottawa cannot comment on any documents to which it is not a party.

Court House
161 Elgin Street 4th Floor
Ottawa ON K2P 2K1
Tel: (613) 239-1230
Fax: (613) 239-1422

Please note, as per the HLUI Disclaimer, that the information contained in the HLUI database has been compiled from publicly available records and other sources of information. The HLUI may contain erroneous information given that the records used as sources of information may be flawed. For instance, changes in municipal addresses over time may introduce error. Accordingly, all information from the HLUI database is provided on an "as is" basis with no representation or warranty by the City with respect to the information's accuracy or exhaustiveness in responding to the request.

Furthermore, the HLUI database and the results of this search in no way confirm the presence or absence of contamination or pollution of any kind. This information is provided on the assumption that it will not be relied upon by any person for any purpose whatsoever. The City of Ottawa denies all liability to any persons attempting to rely on any information provided from the HLUI database.

Please note that in responding to your request, the City of Ottawa does not guarantee or comment on the environmental condition of the Subject Property. You may wish to contact the Ontario Ministry of Environment for additional information.

If you have any further questions or comments, please contact Fredrick VanRooyen at 613-580-2424 ext. 14743 or HLUI@ottawa.ca

Sincerely,



David Wise, MUP, MCIP, RPP
Program Manager
Development Review (Suburban Services) - West
Planning and Growth Management Department

DW/FV

Attach: 2

cc: File no. C10-01-15-0215



CITY OF OTTAWA
 HLUI ID: __6790UL
 AREA (Square Metres): 7523.595

Report: RPTC_OT_DEV0122
 Run On: 10 Sep 2015 at: 11:48:21

Study Year
 2005

PIN
 047320007

Multi-NAIC
 N

Multiple Activities
 N

Activity ID: 11120 **Multiple PINS:** N

PIN Certainty: 1 **Previous Activity ID(s) :**

Related PINS: 047320007

Name: PRO SEAL ASPHALT REPAIR

Address: 15 DEERFOX DRIVE,

Facility Type: Industrial Construction (Other Than Buildings)

Comments 1:

Comments 2:

Generator Number:

Storage Tanks:

HL References 1:

HL References 2:

HL References 3: 2005 Select Phone

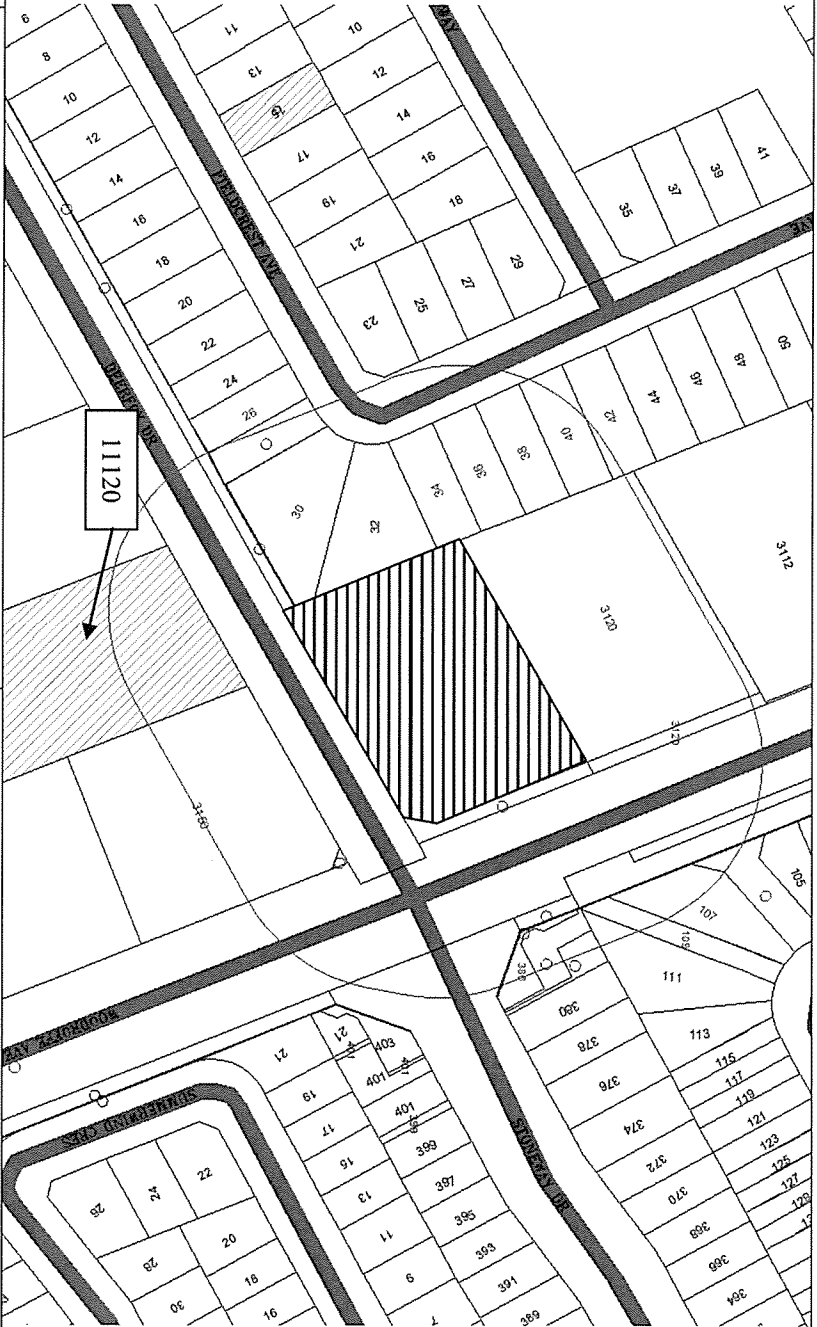
NAICS	SIC
237310	0

Company Name

PRO SEAL ASPHALT REPAIR

Year of Operation

c. 2005



APPENDIX 3

QUALIFICATIONS OF ASSESSORS

Sean Moggridge
B.Eng.

patersongroup

POSITION

Junior Environmental Engineer

EDUCATION

Dalhousie University, B.Eng., 2010
Environmental Engineering

EXPERIENCE

2011 to Present:

Paterson Group Inc.
Consulting Engineers
Environmental Division
Junior Engineer

SELECT LIST OF PROJECTS

Remediation Supervision of Former Alcan Plant – Kingston
Remediation Supervision of Bulk Fuel Depot Site – Ottawa
Remediation Supervision of Biohazard Site – Ottawa
Post-construction Impact Monitoring – Ottawa, Cornwall
Designated Substance and Asbestos Surveys – Various Locations, Ottawa
Asbestos Air Testing – Various Locations, Ottawa
Groundwater Monitoring and Sampling – Various Location, Ottawa
Phase I & II ESA – Various Locations, Ontario and West Quebec

**Environmental
Engineering**

**Geotechnical
Engineering**

**Materials Testing
Quality Control**

Building Sciences

Hydrogeology

**Archaeological
Services**

Mark S. D'Arcy, P. Eng.

patersongroup

POSITION

Associate and Supervisor of the Environmental Division
Senior Environmental/Geotechnical Engineer

EDUCATION

Queen's University, B.A.Sc.Eng, 1991
Geotechnical / Geological Engineering

MEMBERSHIPS

Ottawa Geotechnical Group
Professional Engineers of Ontario
Consulting Engineers of Ontario

EXPERIENCE

1991 to Present

Paterson Group Inc.

Associate and Senior Environmental/Geotechnical Engineer
Environmental and Geotechnical Division
Supervisor of the Environmental Division

SELECT LIST OF PROJECTS

Mary River Exploration Mine Site - Northern Baffin Island
Rideau Centre Expansion project - Ottawa
Agricultural Supply Facilities - Eastern Ontario
Laboratory Facility – Edmonton (Alberta)
Ottawa International Airport - Contaminant Migration Study - Ottawa
Investigation and Remediation – Cotton Mill Redevelopment, Cornwall
Billings Hurdman Interconnect - Ottawa
Bank Street Reconstruction - Ottawa
Environmental Review – Various Laboratories across Canada - CFIA
Dwyer Hill Training Centre – Ottawa
Nortel Networks Environmental Monitoring - Carling Campus – Ottawa
Remediation Program - Block D Lands – Kingston
Investigation of former landfill sites – City of Ottawa
Record of Site Condition for Railway Lands – North Bay
Assessment and Remediation - North Bay Airport
Commercial Properties – Guelph and Brampton
Brownfields Remediation – Alcan Site - Kingston
PWGSC Building – 90 Elgin Street - Ottawa
Remediation Program - Ottawa Train Yards
MHLH Facility – CFB Petawawa
Ottawa Congress Centre
Lansdowne Park Redevelopment - Ottawa

**Environmental
Engineering**

**Geotechnical
Engineering**

**Materials Testing
Quality Control**

Building Science

Hydrogeology

**Archaeological
Services**