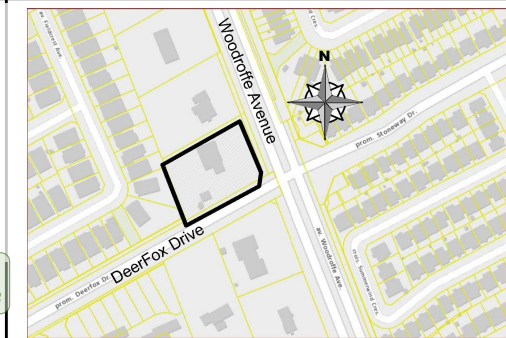


P. I. N. 04596 - 7367

LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED  
By Lily Xu at 12:45 pm, Apr 27, 2023



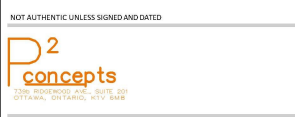
CLIENT/OWNER:  
Vo and Van Holdings Corporation  
65 Loch Isle Road  
Nepean, Ontario  
K2H 8G7  
613-720-4090

SITE INFORMATION DERIVED FROM SURVEY TITLED,  
TOPOGRAPHICAL PLAN OF  
PART OF LOT 16  
CONCESSION 2 (RIDEAU FRONT)  
GEOGRAPHIC TOWNSHIP OF NEPEAN  
CITY OF OTTAWA

LEGEND:  
- - - - - PROPERTY LINE  
- - - - - PROPERTY SETBACK  
--- OHW --- OVERHEAD WIRING  
--- EXISTING BUILDING  
▽ BUILDING ENTRANCE

□ W.P. WALL MOUNTED LIGHT  
○ H.P. HYDRO POLE  
◇ F.H. FIRE HYDRANT  
○ M.H. MANHOLE  
□ C.B. CATCH BASIN  
--- RETAINING WALL  
--- D.C. DEPRESSED CURB  
X 100.00 EXISTING GRADE  
100.00 PROPOSED GRADE  
INTERLOCK PAVERS  
DESIGNATED FIRE ROUTE  
TERRACE  
DECK  
PRIVACY WALL (7'-0" Height)

Revisions table with columns: No., REVISIONS, BY, DATE. Includes entries for review and approval dates from 2021 to 2022.



STRUCTURAL  
MECHANICAL  
ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: P.E.

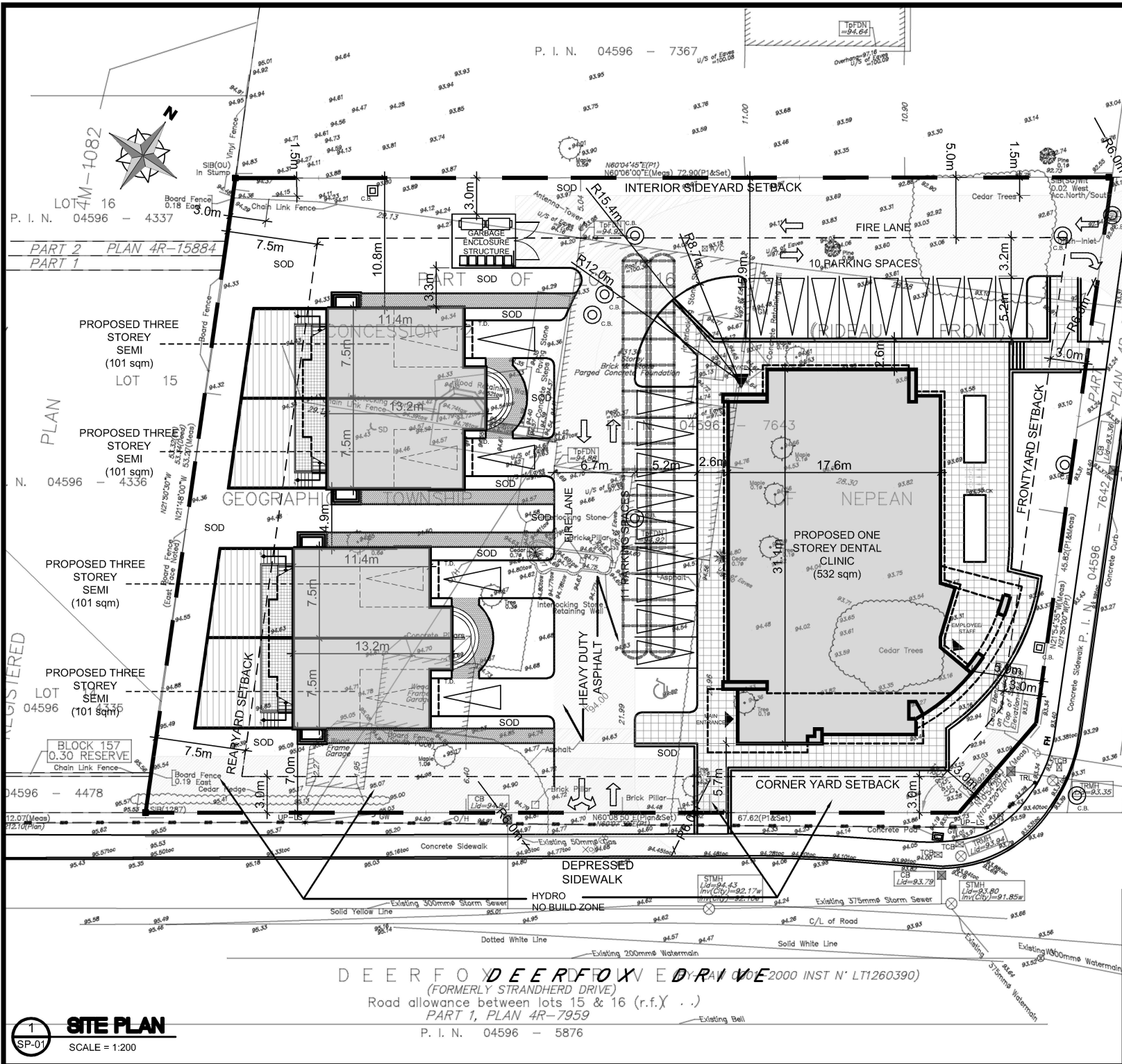
PROJECT  
3130 WOODROFFE AVENUE  
OTTAWA

DRAWING TITLE  
SITE PLAN

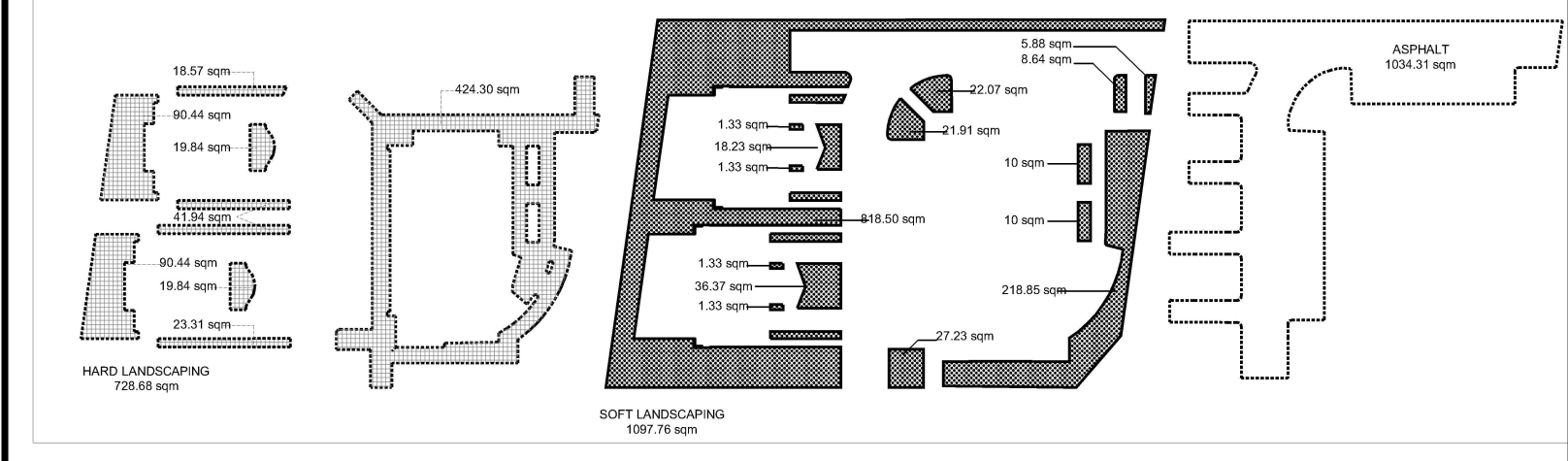
PROJECT NO.  
0391  
DATE  
SEPT., 20, 2021

SP-01

PLAN # 17351



SITE STATISTICS		3130 WOODROFFE AVENUE	
ITEM	REQUIRED	REQUIRED	PROVIDED
Zone	Current	LC8 H(11)	
Lot Area	No minimum		3829.4 sqm
Lot Width	No minimum		52.06 m
Maximum Building Height	11.0m	9.35 m (Three storey Semis) 7.25 m (Proposed clinic standalone pad)	
Minimum Front Yard (Woodroffe Avenue)	3.0m	5.90 m (Proposed clinic standalone pad)	
Minimum Interior Side Yard	5.0 m		
Minimum Corner Side Yard (Deerfox Drive)	3.0 m	10.80 m (Three storey Semis) 15.90 m (Proposed clinic standalone pad)	
Minimum Rear Yard	7.5 m	7.50 m (Three storey Semis)	
Building Footprint	n/a	405 sqm (Four three storey Semis) 532 sqm (Proposed clinic standalone pad)	
Maximum Lot Coverage	n/a	405 sqm (Four three storey Semis) 532 sqm (Proposed clinic standalone pad) 937 sqm TOTAL (24%)	
PARKING SPACES	Medical Semis	4 Spaces per 100 sqm of medical clinic GFA Minus exterior walls, washrooms and utility/ Laundry room (19 required) 1 per unit (Four Semis) (4 required)	19 Spaces 4 spaces
Required Bike Racks		1 Space per 2000 sqm of medical clinic GFA (0.2 required)	3 Spaces
Maximum width of landscaping area	Adjacent to parking abutting a street	3.0 m	3.0 m



1 SITE PLAN  
SCALE = 1:200

D07-12-22-0055