

**LEGAL DESCRIPTION**  
 PLAN OF SURVEY OF  
 PART OF LOT 20  
 CONCESSION 2 (Ottawa Front)  
 Township of Nepean  
 NOW CITY OF OTTAWA  
 PART OF DUMAURIER AVENUE  
 (As Closed by By-Law 372-78 Inst. NS41961)  
 AND PART OF THE 1<sup>ST</sup> RESERVE  
 REGISTERED PLAN 479600  
 CITY OF OTTAWA  
 REGIONAL MUNICIPALITY OF  
 OTTAWA-CARLETON  
 Prepared by Annis, O'Sullivan, Vollebakk Ltd.

**PROJECT DEVELOPER**  
**BRIGIL Construction**  
 98, Lois street  
 Gatineau, Qc, J8Y 3R7  
 Tel: (819) 243-7392  
 Fax: (819) 243-5126  
 E-Mail: brigil@brigil.com

**SURVEYOR**  
**Annis O'Sullivan Vollebakk Ltd.**  
 Ontario Land Surveyors  
 14 Concourse Gate, Suite 500,  
 Nepean, Ontario K2E 7S6  
 Tel: (613) 727-0850  
 Fax: (613) 727-1079  
 E-Mail: EdH@aovltd.com

**URBAN PLANNER**  
**Fotenn Consultants Inc.**  
 396 Cooper Street, Suite 300  
 Ottawa, ON Canada, K2P 2H7  
 Tel: (613) 730-5709 ex. 287  
 Fax: (613) 730-1136  
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**CIVIL ENGINEER**  
**Stantec Engineering Ltd.**  
 1331 Clyde Avenue, Suite 400,  
 Ottawa, ON K2C 3G4  
 Tel: (613) 724-4337  
 E-Mail: kris.kilbom@stantec.com

**LANDSCAPE ARCHITECT**  
**Levstek Consulting**  
 5871 Hugh Crescent  
 Ottawa, (Osgoode) ON K0A 2W0  
 Tel: (613) 826-0518  
 E-Mail: rlevstek@laroquelevstek.com

- DRAWING NOTES:**
- PROPERTY LINE
  - BUILDING / HEIGHT SETBACK LINE
  - OUTLINE OF TOWER
  - LINE OF PODIUM LEVEL
  - LINE OF PARKING GARAGE BELOW
  - RAMP TO U/G GARAGE (BELOW GRADE)
  - EXISTING FIRE HYDRANT
  - EXISTING COMMERCIAL BUILDING
  - 2.0m WIDE CONCRETE SIDEWALK C/W DEPRESSED CURBS AT DRIVEWAY ENTRANCE
  - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
  - EXISTING 1.5m WIDE ASPHALT CITY SIDEWALK
  - SIAMSE CONNECTION
  - REAR YARD LANDSCAPE SETBACK
  - LINE OF U/G HYDRO VAULT
  - 2.6 X 5.2m STANDARD PARKING SPACES
  - AREA OF TEMPORARY SNOW STORAGE
  - NEW 2.0m W. CONCRETE SIDEWALK AS PER CITY STANDARDS C/W DEPRESSED CURB @ DRIVEWAY
  - SOFT LANDSCAPING
  - HARD LANDSCAPING - PAVERS
  - EXISTING CITY BOULEVARD TO BE REINSTATED UPON COMPLETION OF SITE WORK
  - CONCRETE RETAINING WALL C/W STONE FACE - SEE CIVIL AND LANDSCAPE
  - EXISTING TREE TO BE REMOVED - SEE LANDSCAPE
  - LINE OF U/G CISTERN; SEE CIVIL AND MECHANICAL FOR DETAILS
  - LIGHT STANDARD - SEE ELECTRICAL LIGHTING CERTIFICATE
  - CATCH BASIN / TRENCH DRAIN - SEE CIVIL
  - NEW CURB TO THE INTO EXISTING - SEE CIVIL
  - 1670mm W. CONCRETE B/F RAMP - SEE GRADING PLANS
  - RAISED COMMERCIAL TERRACE - SEE GRADING AND LANDSCAPE PLANS
  - GARBAGE TRUCK LOADING/BACKUP, HATCH INDICATES PAINTED LINES
  - EXISTING STM TO BE REMOVED/RELOCATED - SEE CIVIL
  - SEE CIVIL DRAWINGS FOR ALL SERVICING WORK BEYOND PROPERTY LINE OF PROPOSED APPLICATION
  - RETAINING EXISTING STREET TREE - SEE LANDSCAPE
  - GAS PRESSURE RELEASE STATION
  - EXISTING HYDRO POLE TO BE REMOVED
  - EXHAUST INTAKE FOR PARKING GARAGE
  - EXISTING ASPHALT PARKING LOT & ENTRANCE
  - B/F PARKING AS PER CITY STANDARD, ONE TYPE 'A' & ONE TYPE 'B' SPACE
  - TWSI CROSSING AS PER CITY OF OTTAWA STANDARDS
  - HEATED CONCRETE RAMP DOWN TO GARAGE ENTRY
  - PAINTED LINES TO INDICATE PEDESTRIAN CROSSING
  - 1200mm H. RAISED PLANTER - SEE LANDSCAPE
  - LINE OF WATER ENTRY ROOM BELOW
  - RETAINING WALL - SEE LANDSCAPE AND CIVIL
  - CISTERN ACCESS COVERS - SEE CIVIL
  - RAISED SITTING AREA - SEE LANDSCAPE
  - LINE OF ELECTRICAL ROOM BELOW

**PROJECT INFORMATION**

Zoning By-Law 2008-250 GM (R2) F (0.25)

**SITE AREA**  
 4,195.2 sq. m. (45,157) sq. ft.

**BUILDING HEIGHT** 18.0 m  
**FRONT YARD SETBACK** 3.0 m  
**INTERIOR YARD SETBACK** 0.0 m  
**REAR YARD SETBACK** 7.5 m  
**AMENITY SPACE (6.0 m<sup>2</sup> PER UNIT)** 2,532.0 m<sup>2</sup>

**PROJECT STATISTICS**

**BUILDING HEIGHT** 128.0 m  
**BUILDING HEIGHT - STOREYS** 40  
**AVERAGE MEAN GRADE (GEO. ELEV.)** 74.20  
**FRONT YARD SETBACK** 5.9 m  
**INTERIOR YARD SETBACK** 0.0 m  
**REAR YARD SETBACK** 15.7 m

**GROSS BUILDING - AREAS (PER CITY OF OTTAWA ZONING AREA DEFINITION)**

PARKING LEVEL	0.0 sq. m.
GROUND FLOOR	1,212.0 sq. m.
2nd to 6th FLOOR	6,949 sq. m.
7th FLOOR	702.1 sq. m.
8th - 38th FLOOR	31 x 702.1 sq. m.
38th - 40th FLOOR	2 x 563.9 sq. m.
MECHANICAL LEVEL	0.0 sq. m.
TOTAL AREA	32,318.0 sq. m.

**UNIT STATISTICS**

ONE BEDROOM UNIT	259
TWO BEDROOM UNIT	158
THREE BEDROOM UNIT	5
TOTAL	422

**COMMERCIAL**  
 TOTAL NFA, COMMERCIAL (PER CITY OF OTTAWA DEFINITION) 300.0 sq. m. 3,230 sq. ft.

**CAR PARKING**

**REQUIRED BY ZONING BY-LAW**

RESIDENCE	-0.5 PER DWELLING UNIT (AFTER 12 UNITS)	205
VISITOR	-0.1 PER DWELLING UNIT (NO MORE THAN 30 SPACES REQ'D)	30
COMMERCIAL	-5.0 MAX PER 100 m <sup>2</sup> NFA (PENDING UNIT USE)	15
TOTAL		250

**PROVIDED**

RESIDENCE (BELOW GRADE) (0.41 / UNIT)	174
VISITOR & COMMERCIAL (BLENDED)	
ABOVE GRADE: BELOW GRADE:	06 24
TOTAL	30
TOTAL	204

MAXIMUM PARKING RATE FOR RESIDENTIAL USE : 1.75 PER UNIT (INCLUDING VISITOR)

**BICYCLE PARKING**

RESIDENTIAL	-0.5 PER UNIT (422 UNITS)	211
COMMERCIAL	-1.5 PER 250 m <sup>2</sup> GFA (300 M <sup>2</sup> )	2
TOTAL		213

**PROVIDED**

EXTERIOR:	10
INTERIOR:	304
TOTAL:	314

**LOT COVERAGE**

PAVED SURFACE =	790.0 sq. m.	18.8%
BUILDING FOOTPRINT =	1,430.0 sq. m.	34.0%
LANDSCAPE OPEN SPACE =	1,975.0 sq. m.	47.2%
TOTAL =	4,195.0 sq. m.	100.0%

**REAR PARKING/LANDSCAPE AREA**

PAVED SURFACE =	509.5 sq. m.	39.4%
LANDSCAPE OPEN SPACE =	785.5 sq. m.	60.6%
TOTAL =	1,295.0 sq. m.	100.0%

**AMENITY SPACE**

AT GRADE COMMUNAL EXTERIOR =	960.0 sq. m.
GROUND COMMUNAL INTERIOR =	254.0 sq. m.
PRIVATE BALCONIES =	6017.2 sq. m.
7th FLOOR COMMUNAL INTERIOR =	351.0 sq. m.
7th FLOOR COMMUNAL EXTERIOR =	627.7 sq. m.
ROOF TOP COMMUNAL EXTERIOR =	0.0 sq. m.
TOTAL PRIVATE =	6017.2 sq. m.
TOTAL COMMUNAL =	2192.0 sq. m.
TOTAL OVERALL =	8209 sq. m.
REQUIRED - 6.0M <sup>2</sup> PER UNIT (422) =	2532.0 sq. m.
REQUIRED COMMUNAL @ 50% =	1266.0 sq. m.

**REFUSE REQUIREMENT (422 UNITS)**

GARBAGE (COMPACTED)	-0.053 PER UNIT	23 YARDS
RECYCLING GMP	-0.018 PER UNIT	8 YARDS
RECYCLING FIBER	-0.038 PER UNIT	16 YARDS
ORGANICS	-240L PER 50 UNITS	9

**NOTATION SYMBOLS:**

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- TITLE SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

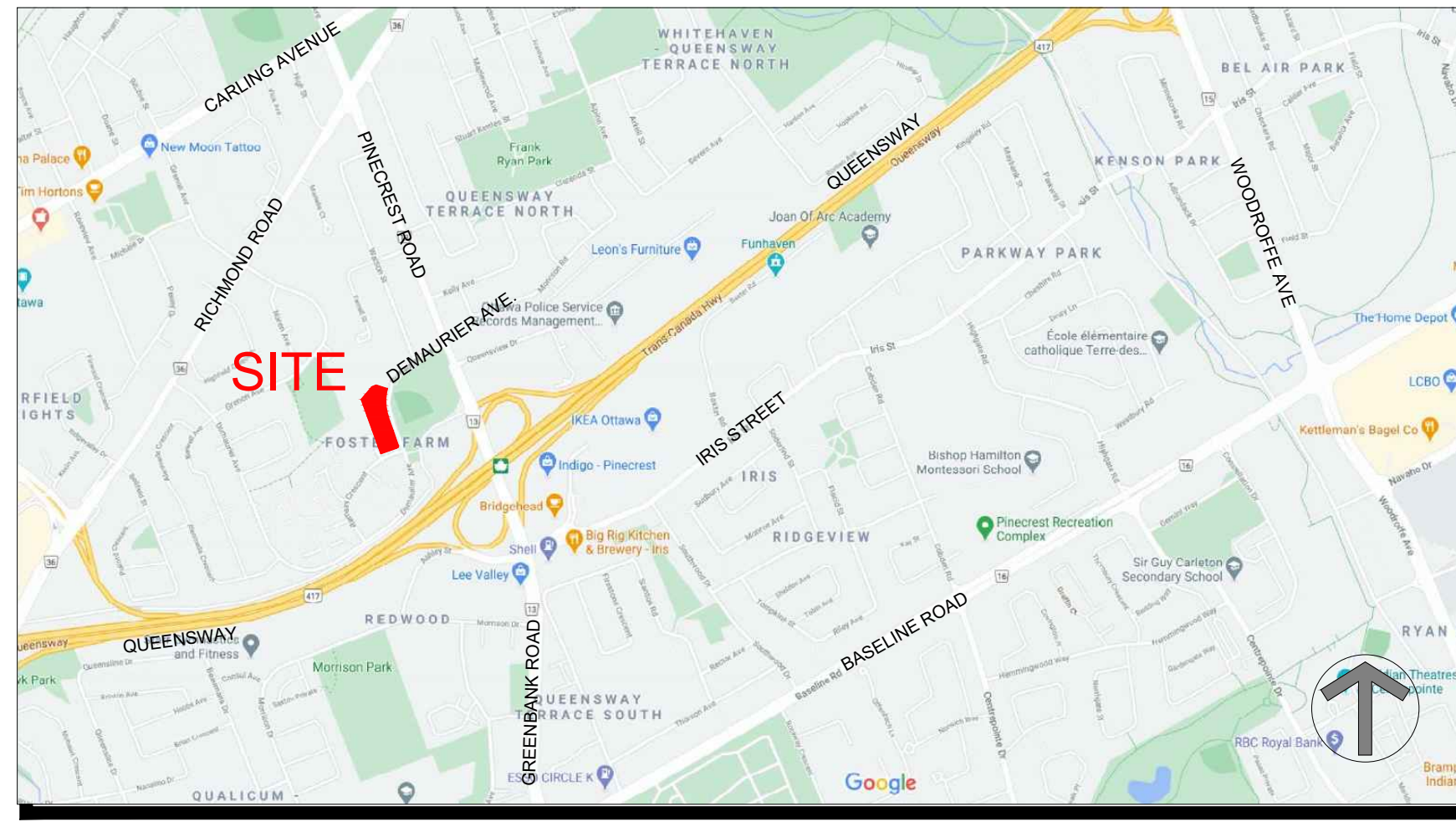
**REVISIONS:**

ISSUED FOR SPA / RE-ZONING - R2	Mar. XX, 23	
ISSUED FOR SPA / RE-ZONING	Jun. 08, 21	
ISSUED FOR DESIGN CONCEPT	Nov. 06, 20	
No.	DESCRIPTION	DATE

**ARCHITECT SEAL:**  
 ONTARIO ASSOCIATION OF ARCHITECTS  
 RODERICK LAHEY  
 LICENCE #275  
 SEAL DATE: STAMP DATE

**NORTH ARROW:**

- SITE PLAN SYMBOLS:**
- EXTERIOR COMMUNAL LANDSCAPE AREA
  - ASPHALT DRIVE/LEISURE/PARKING
  - CONCRETE SIDEWALK
  - COMMERCIAL PATIO / CONCRETE PAVERS
  - PAVERS @ TERRACE LEVEL
  - COMMERCIAL @ L1
  - RESIDENTIAL AMENITY @ L1
  - U/G STORM WATER TANK BELOW - SEE CIVIL
  - ELECTRICAL VAULT BELOW - SEE ELECTRICAL & CIVIL
  - TWSI CROSSING AS PER CITY OF OTTAWA STANDARDS
  - AREA OF MAIN TOWER ABOVE
  - PROPERTY LINE
  - BUILDING SETBACK LINE
  - 11.5M TOWER SETBACK LINE
  - PROPOSED STORM SERVICE
  - PROPOSED WATER SERVICE
  - PROPOSED SANITARY SERVICE
  - FENCE LINE
  - BIKE RACK
  - FH FIRE HYDRANT
  - VEHICULAR DIRECTION
  - EXISTING TREE TO BE REMOVED
  - EXISTING TREE TO BE RETAINED
  - SIAMSE CONNECTION
  - PRIMARY ENTRANCE / EGRESS DOOR
  - SECONDARY DOOR
  - GAS METER REGULATOR - SEE CIVIL & MECHANICAL DRAWINGS
- NOTE:** SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

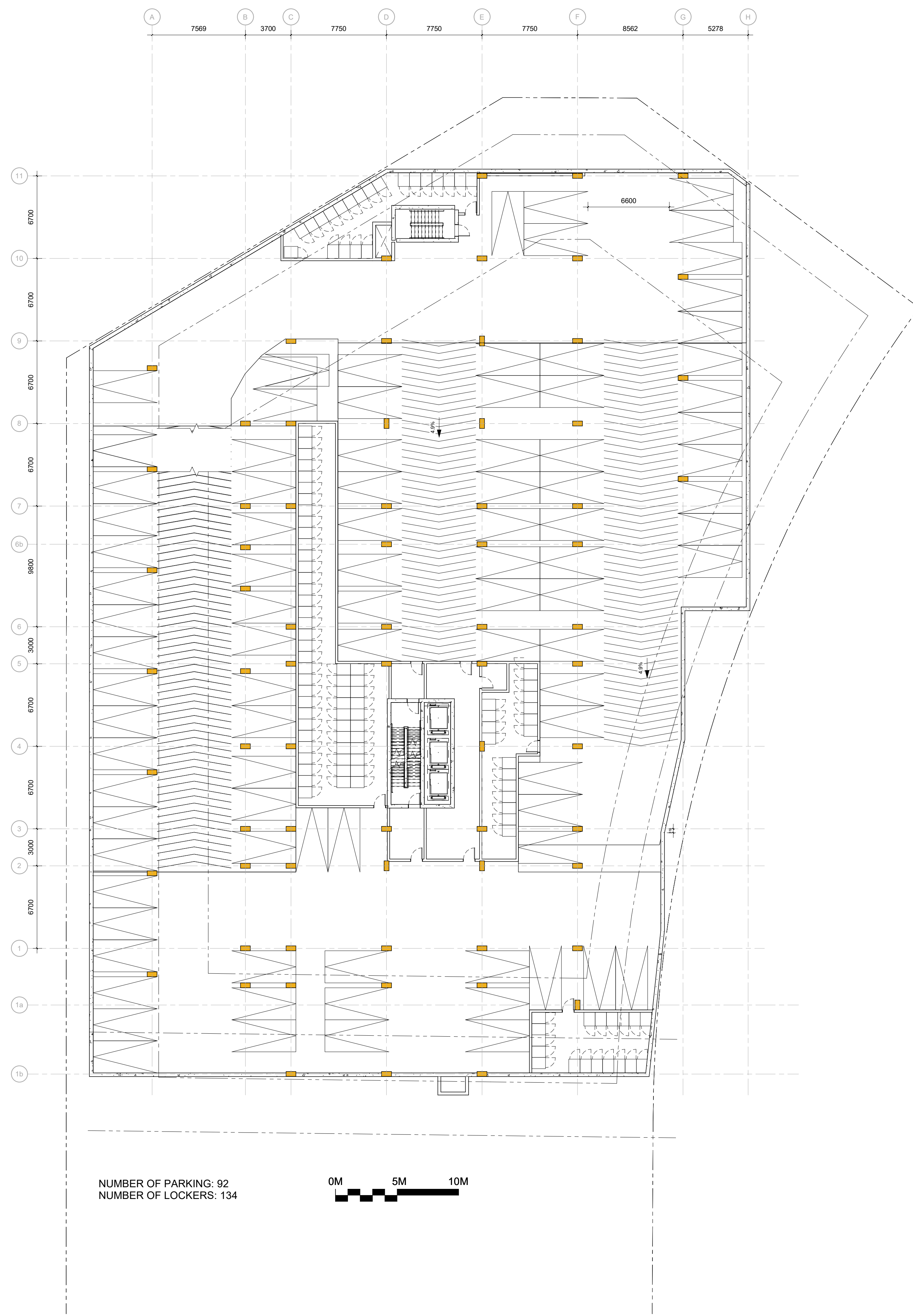


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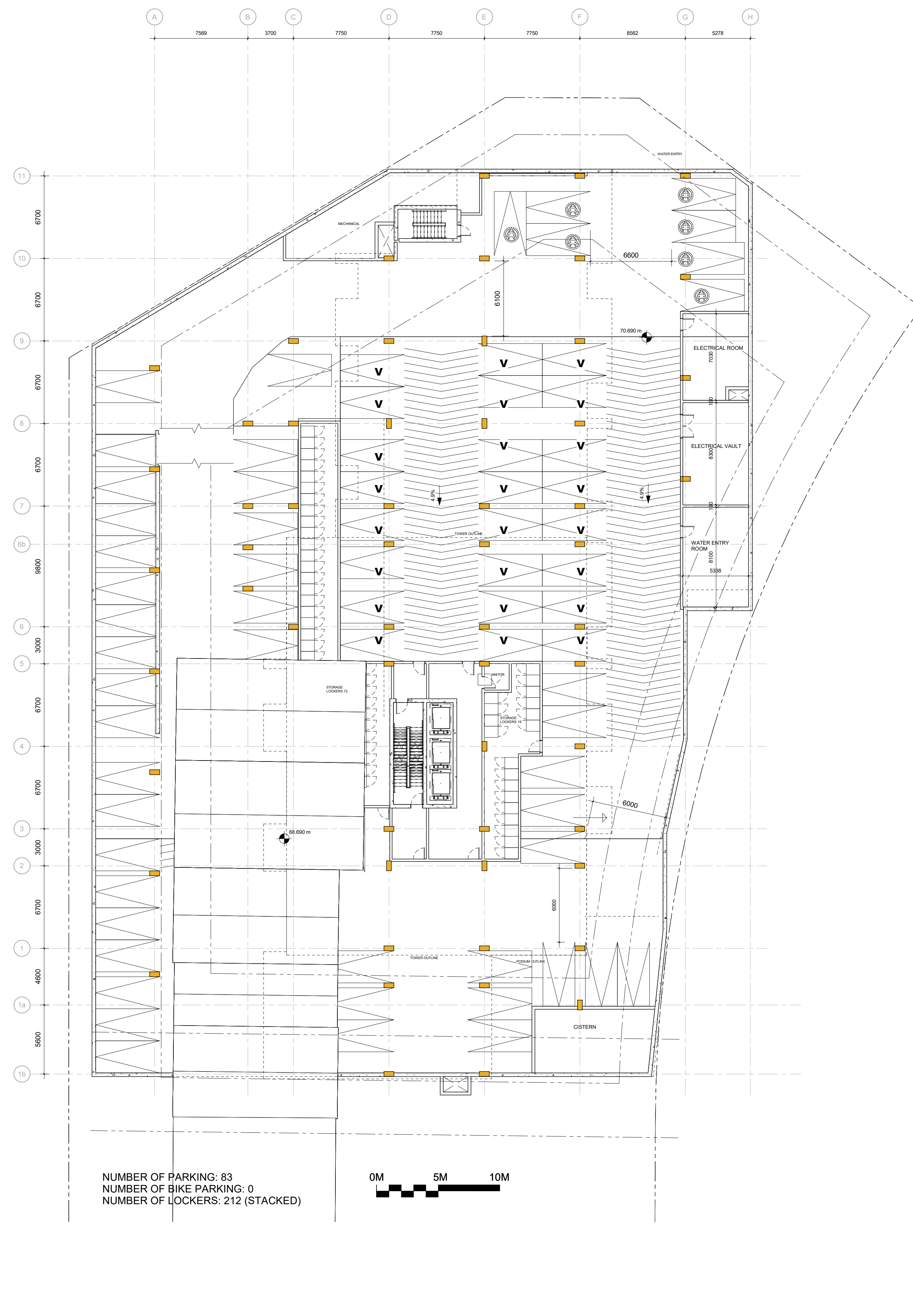
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(0000)	DETAIL NUMBER
(000000)	TITLE SCALE
(0000000)	DETAIL REFERENCE PAGE
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- GENERAL NOTES:**
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NUMBER OF PARKING: 92  
 NUMBER OF LOCKERS: 134

P2 PARKING FLOOR PLAN



NUMBER OF PARKING: 83  
 NUMBER OF BIKE PARKING: 0  
 NUMBER OF LOCKERS: 212 (STACKED)

P1 PARKING FLOOR PLAN

2	UPDATED SPA - Client Review	03.11.22
No.	DESCRIPTION	DATE

ARCHITECT SEAL: **RODERICK LAHEY ARCHITECTS** ARCHITECTS  
 ARCHITECT: **RODERICK LAHEY** LICENCE 4378

NORTH ARROW:

TRUE NORTH

CLIENT:  
**brigil**

ARCHITECT:  
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 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**TYPICAL PARKING AND P1 FLOOR PLAN**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: <b>A-01</b>
PROJECT No: 1922	


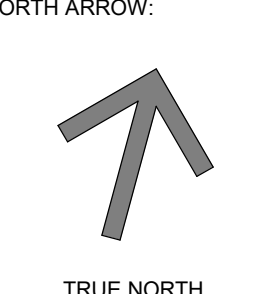
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  - Ⓟ TITLE
  - Ⓠ SCALE
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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22

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CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
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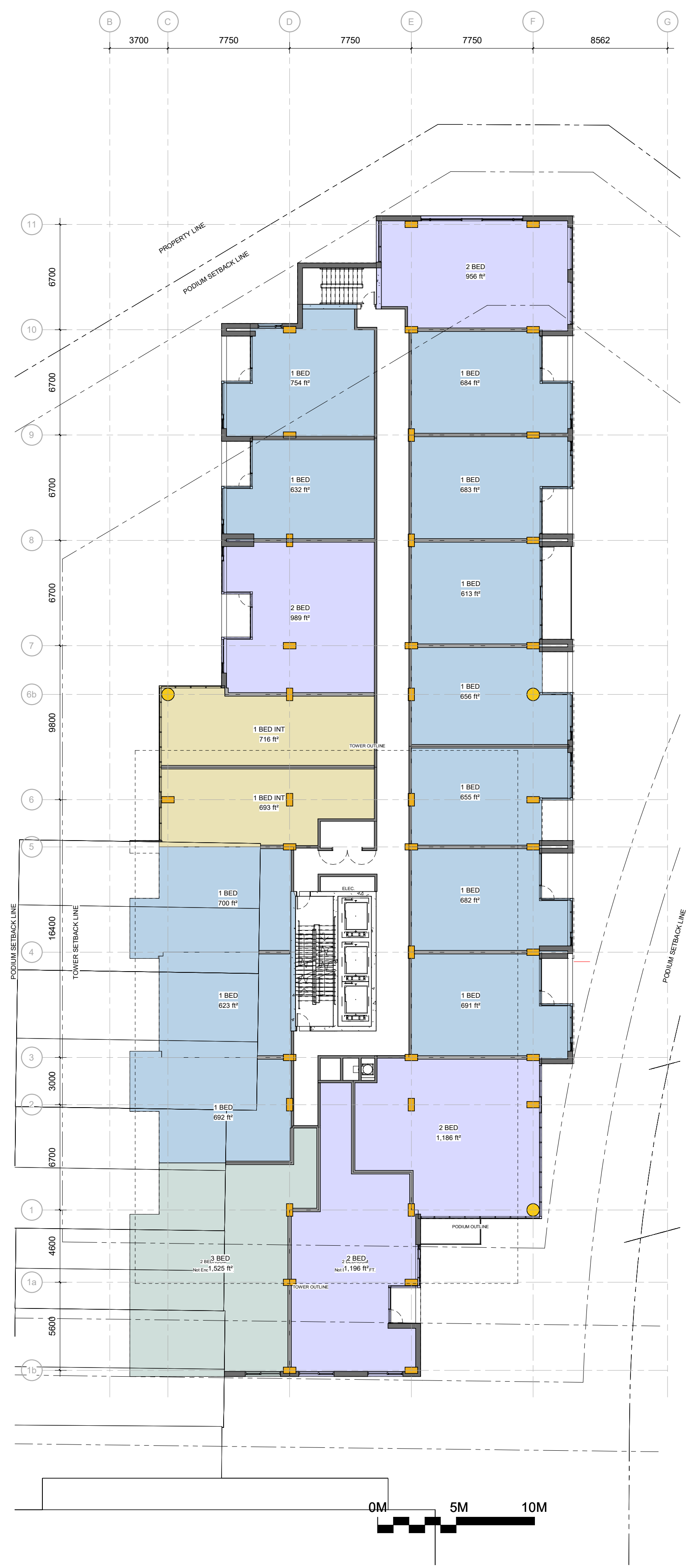
PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 FLOOR PLANS

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: <b>A-02</b>
PROJECT No: 1922	



GROUND FLOOR PLAN



TYPICAL PODIUM L2-L6 FLOOR PLAN

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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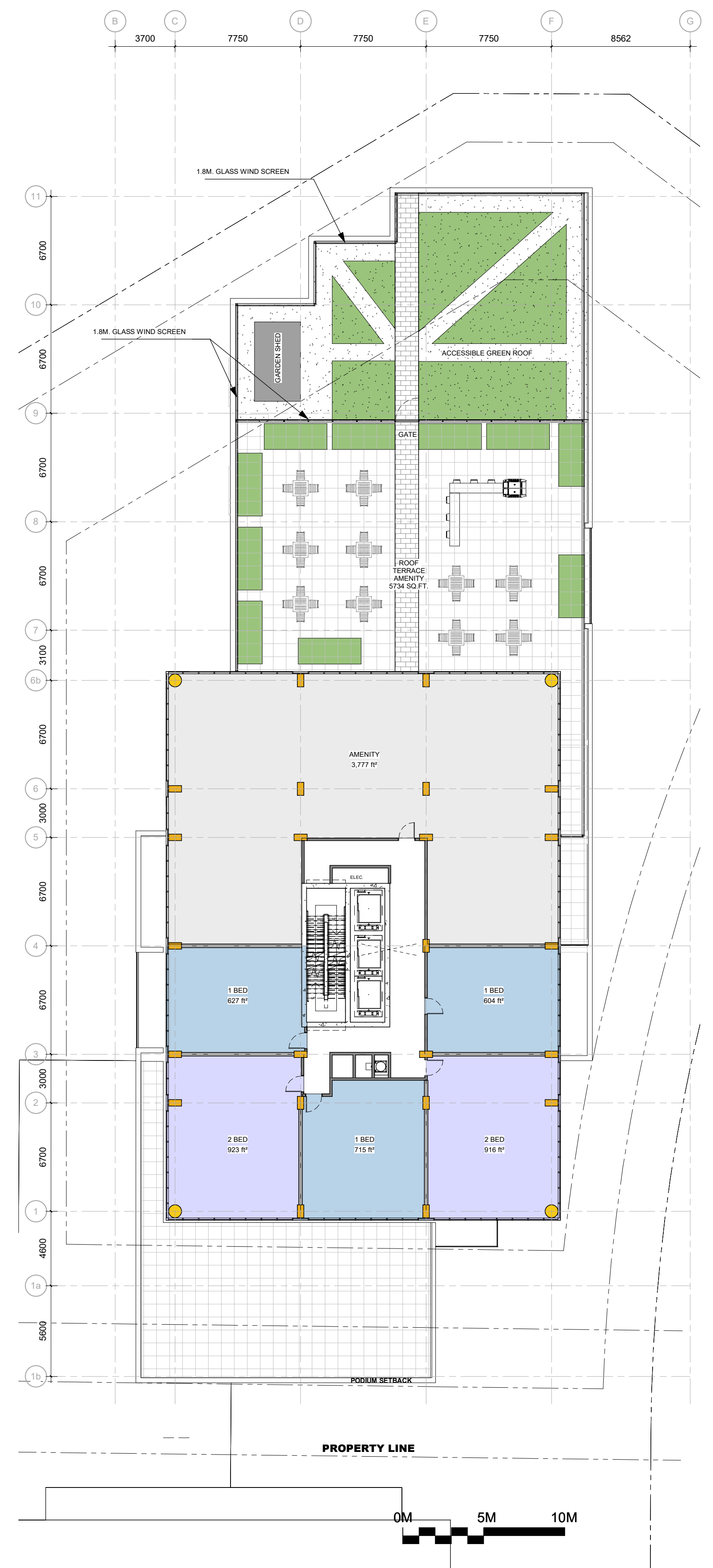
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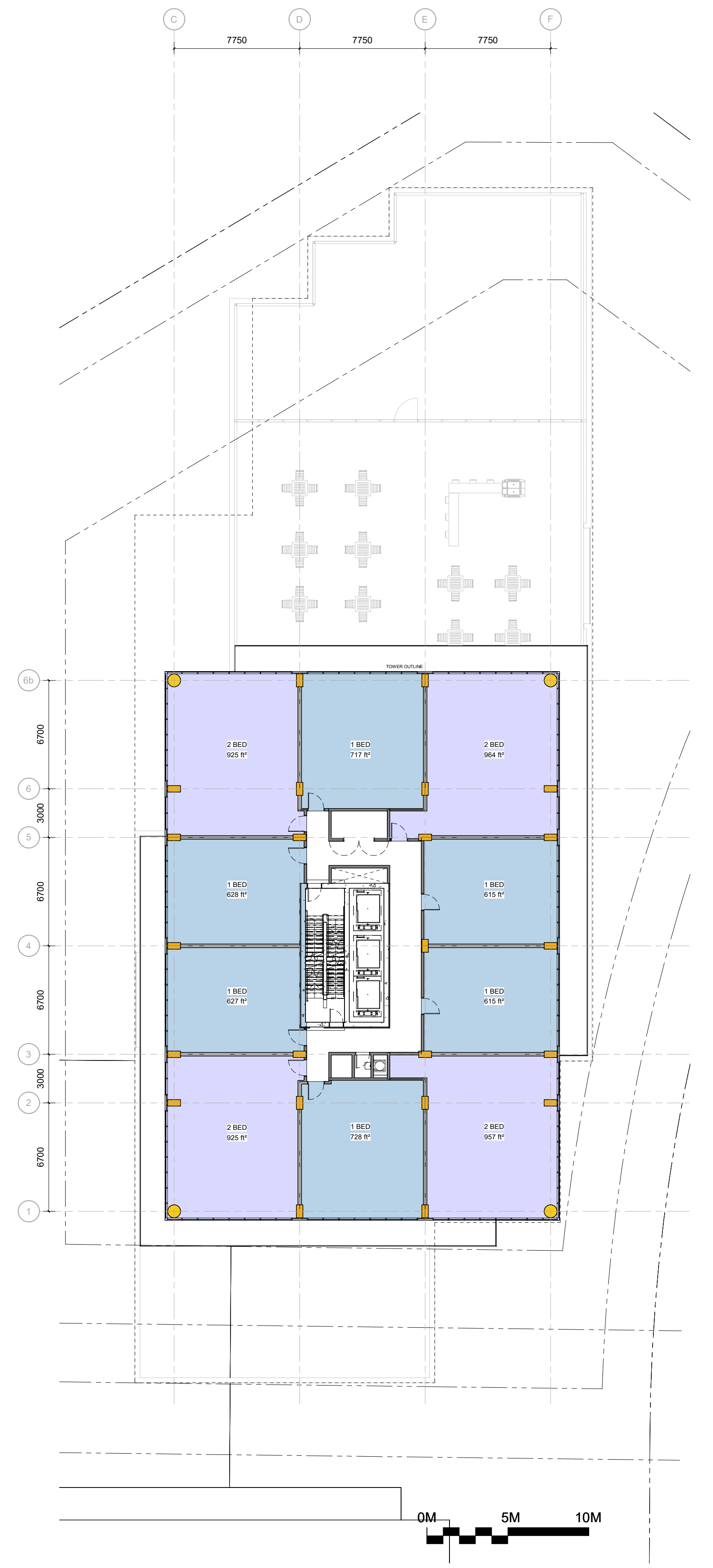
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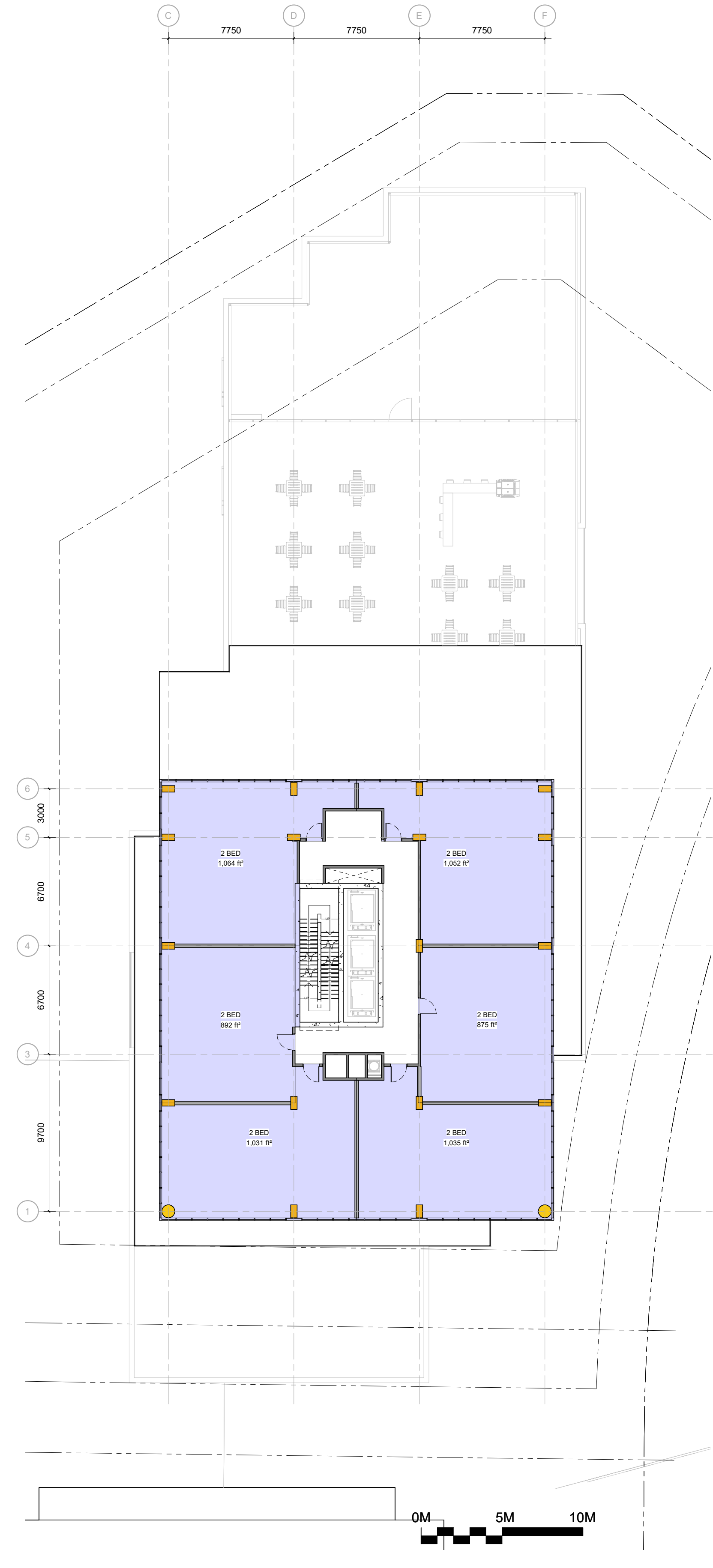
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7TH FLOOR PLAN



TYPICAL TOWER FLOOR PLAN L8 - L38



TYPICAL PH FLOOR PLAN L39 - L40

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22

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NORTH ARROW:

CLIENT:  
**brigil**

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 rla/architecture  
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PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 FLOOR PLANS

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: <b>A-03</b>
PROJECT No: 1922	

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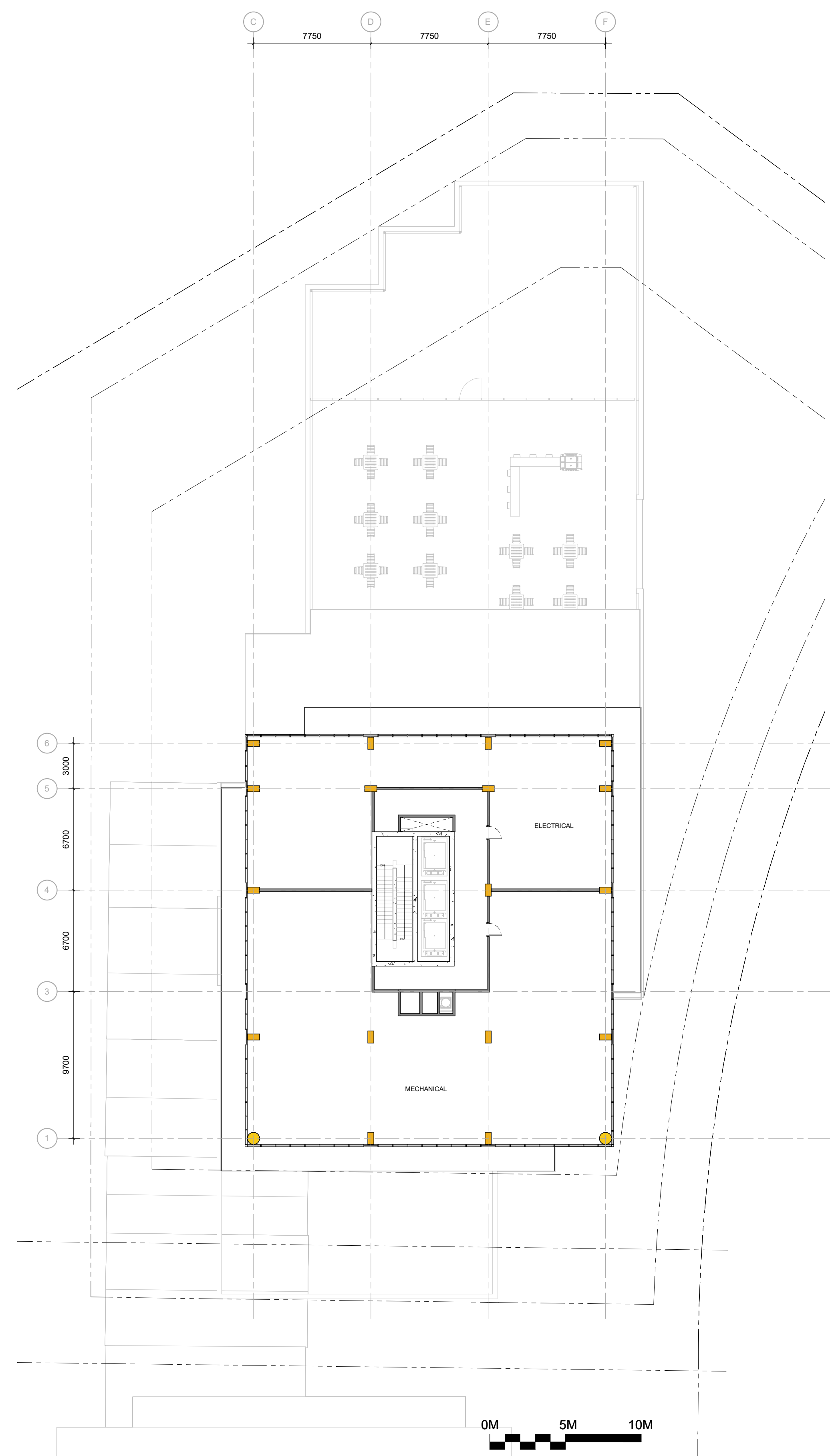
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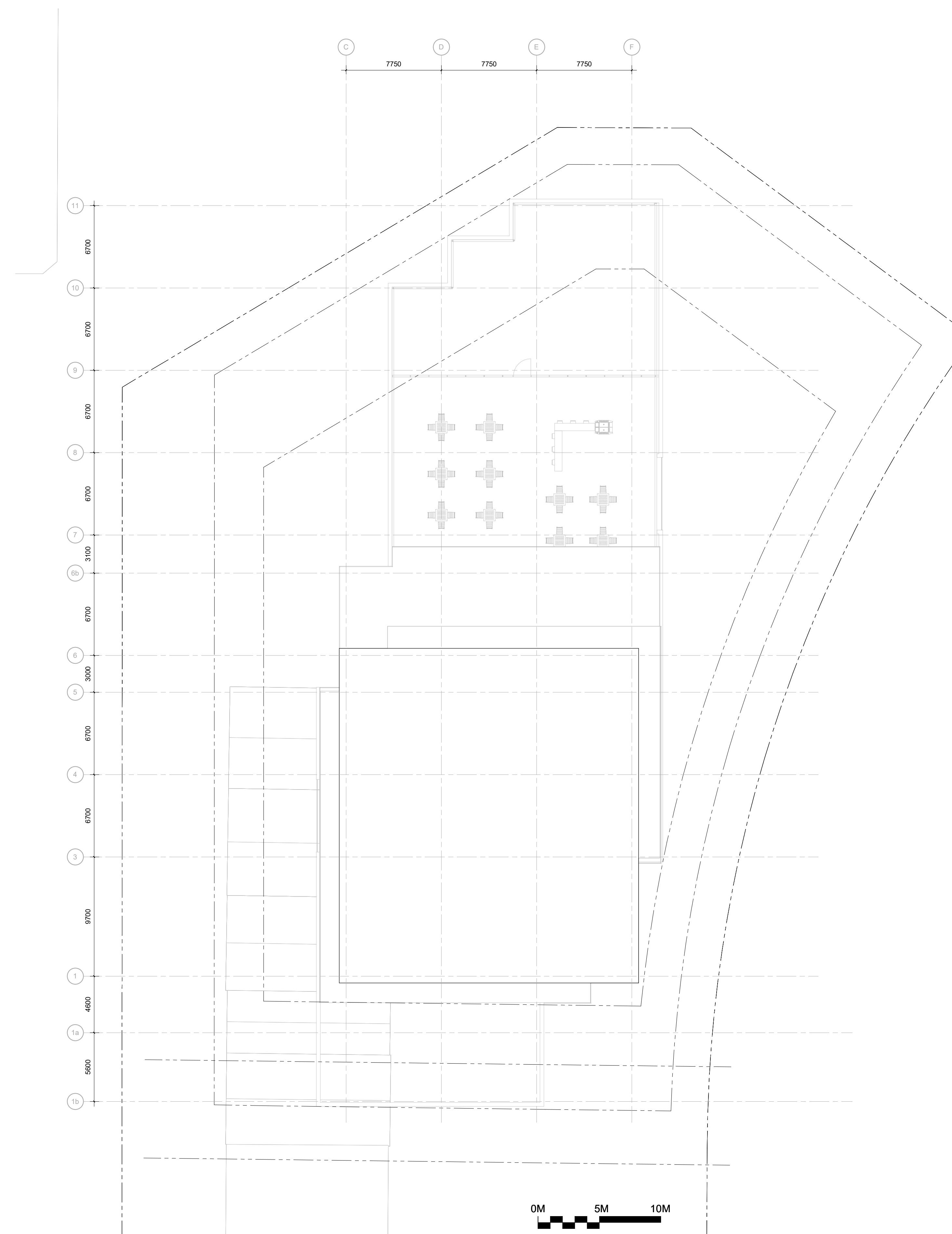
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MECHANICAL FLOOR PLAN



ROOF PLAN

No.	DESCRIPTION	DATE

ARCHITECT SEAL:  
  
 ARCHITECTS  
 RODERICK LAHEY  
 LICENCE  
 4795

NORTH ARROW:  
  
 TRUE NORTH

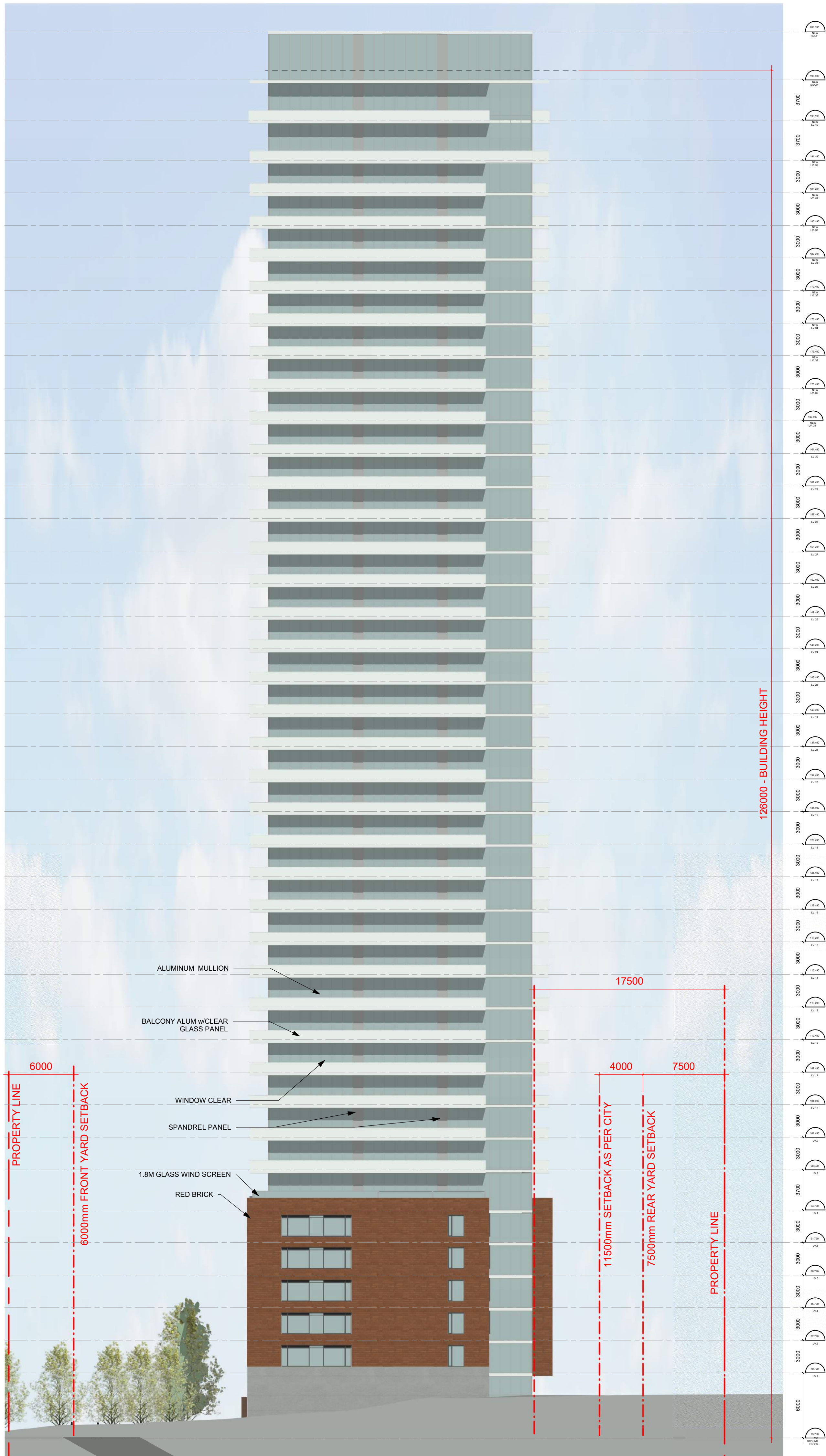
CLIENT:

ARCHITECT:  
  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

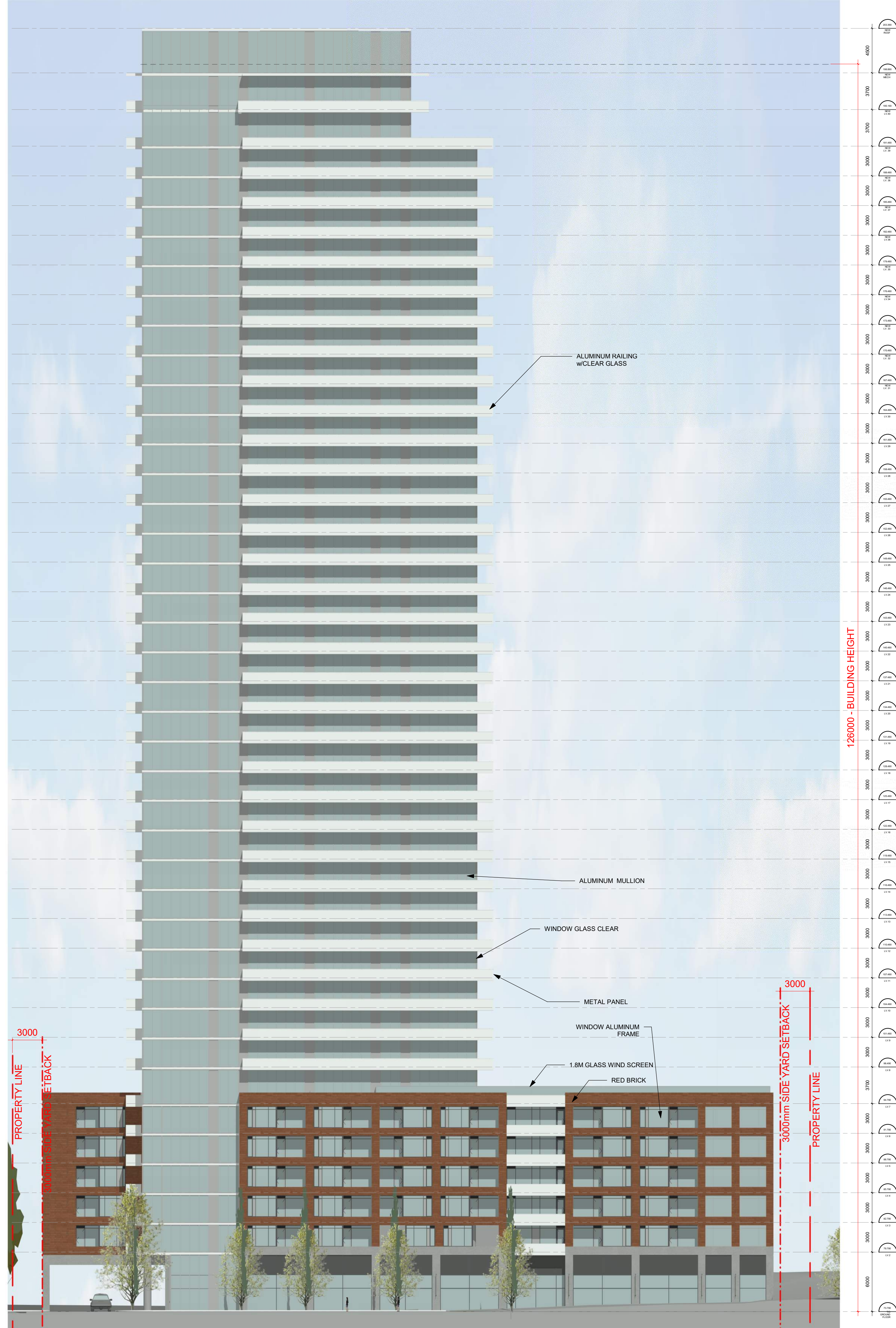
PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 FLOOR PLANS

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: <b>A-04</b>
PROJECT No: 1922	



NORTH ELEVATION



EAST ELEVATION

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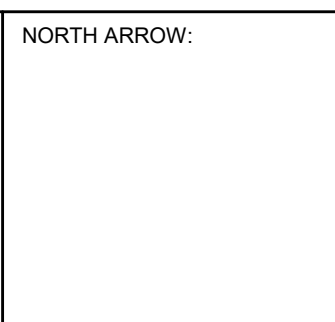
**NOTATION SYMBOLS:**

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- (00) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
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- (00) TITLE
- (000000) SCALE
- (000000) DETAIL REFERENCE PAGE
- (000000) DETAIL CROSS REFERENCE PAGE

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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **brigil**

ARCHITECT: **rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**ELEVATIONS**


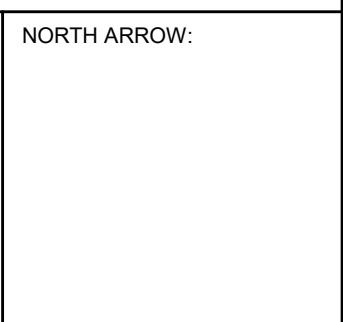
DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: <b>A-05a</b>
PROJECT No: 1922	

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ARCHITECT SEAL:  NORTH ARROW: 

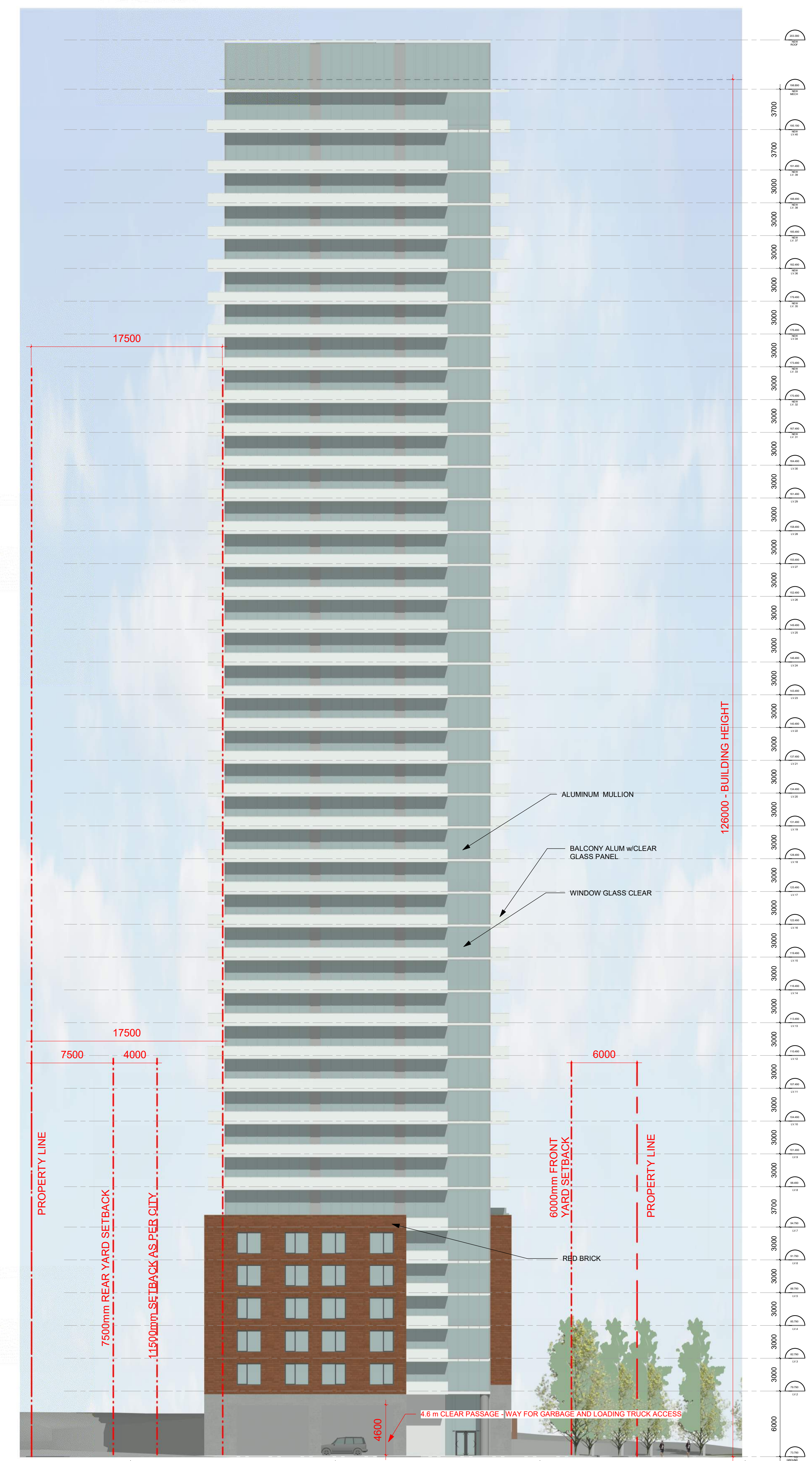
CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
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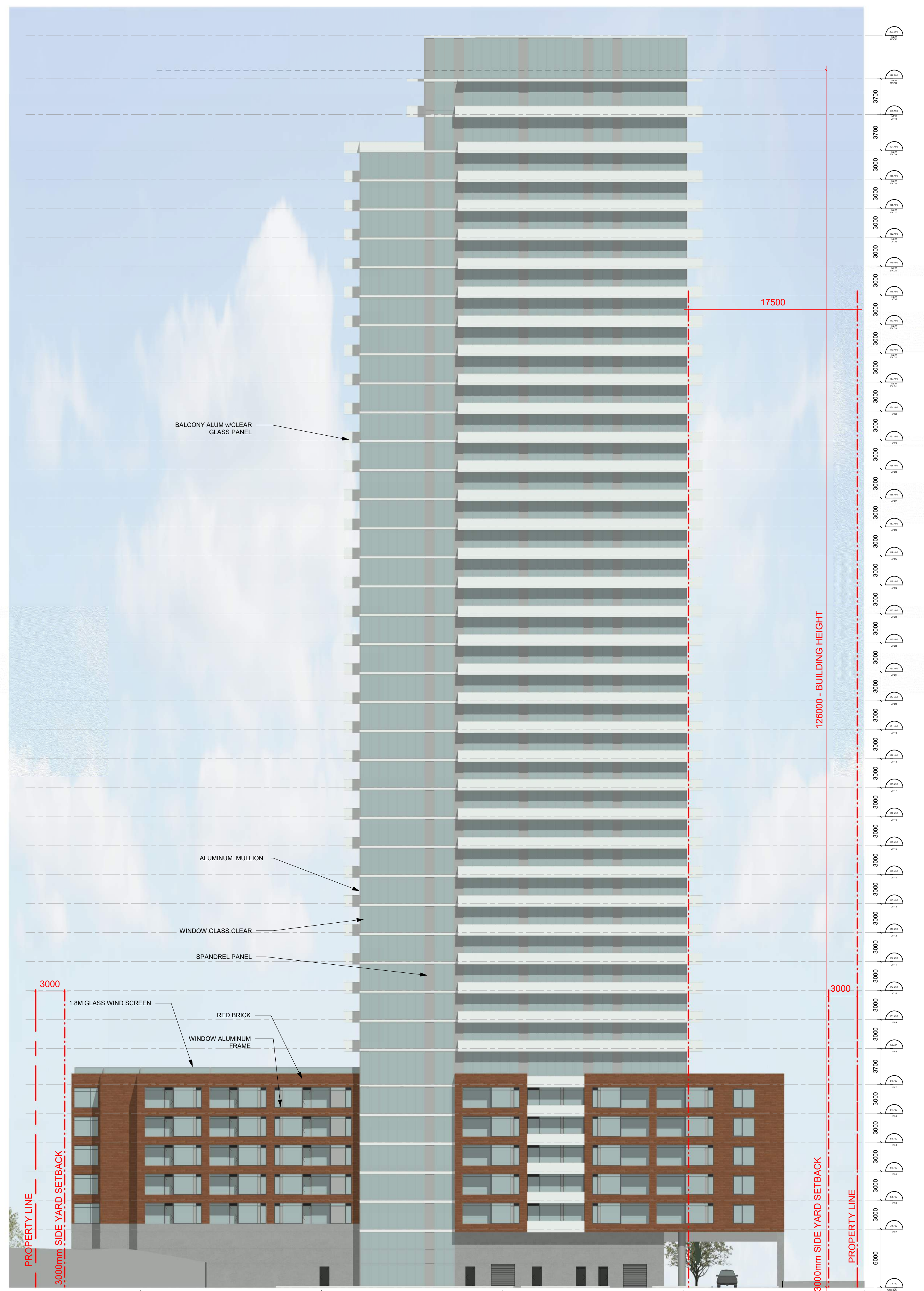
PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**ELEVATIONS**

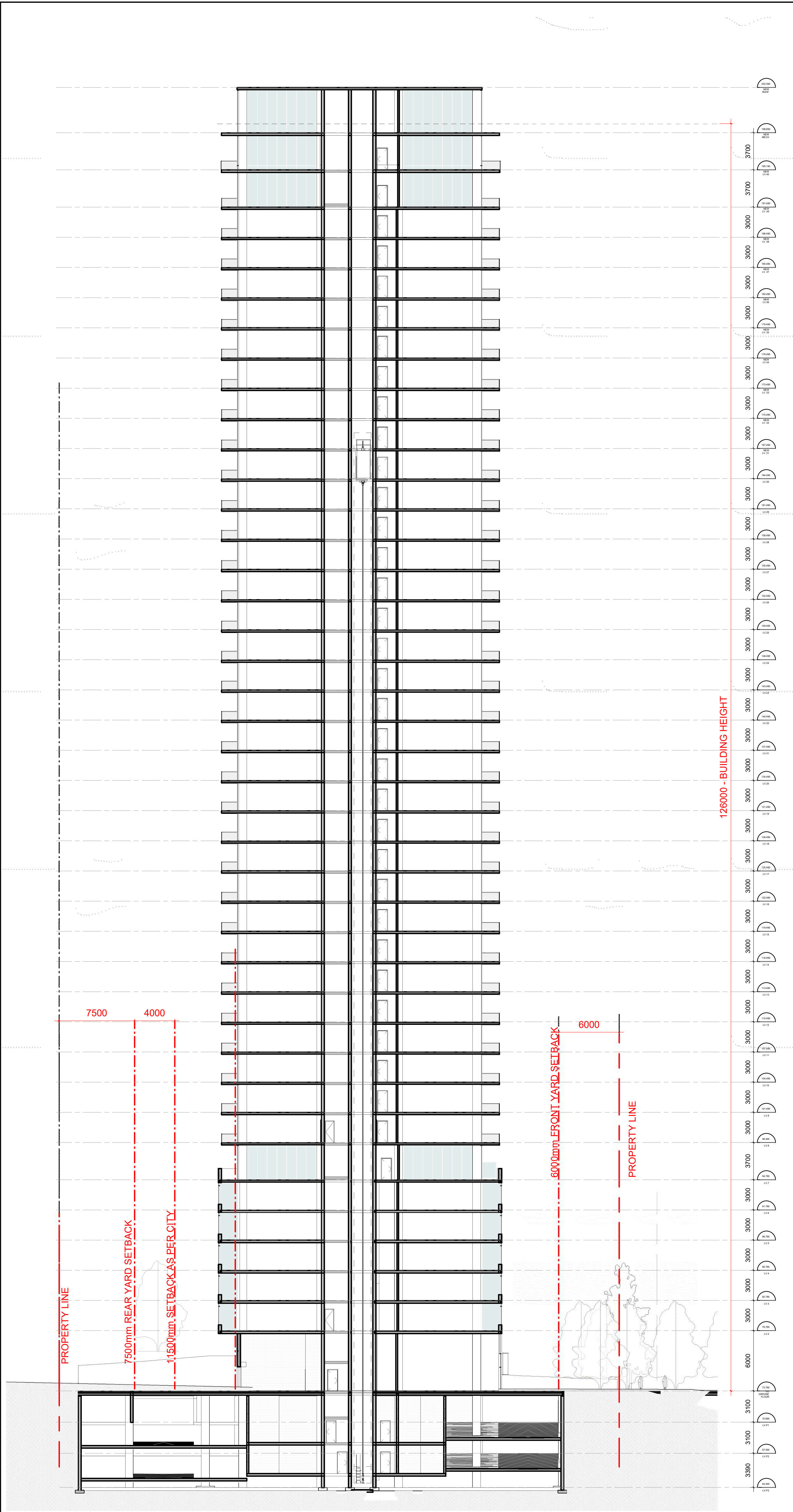
DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: <b>A-05b</b>
PROJECT No: 1922	



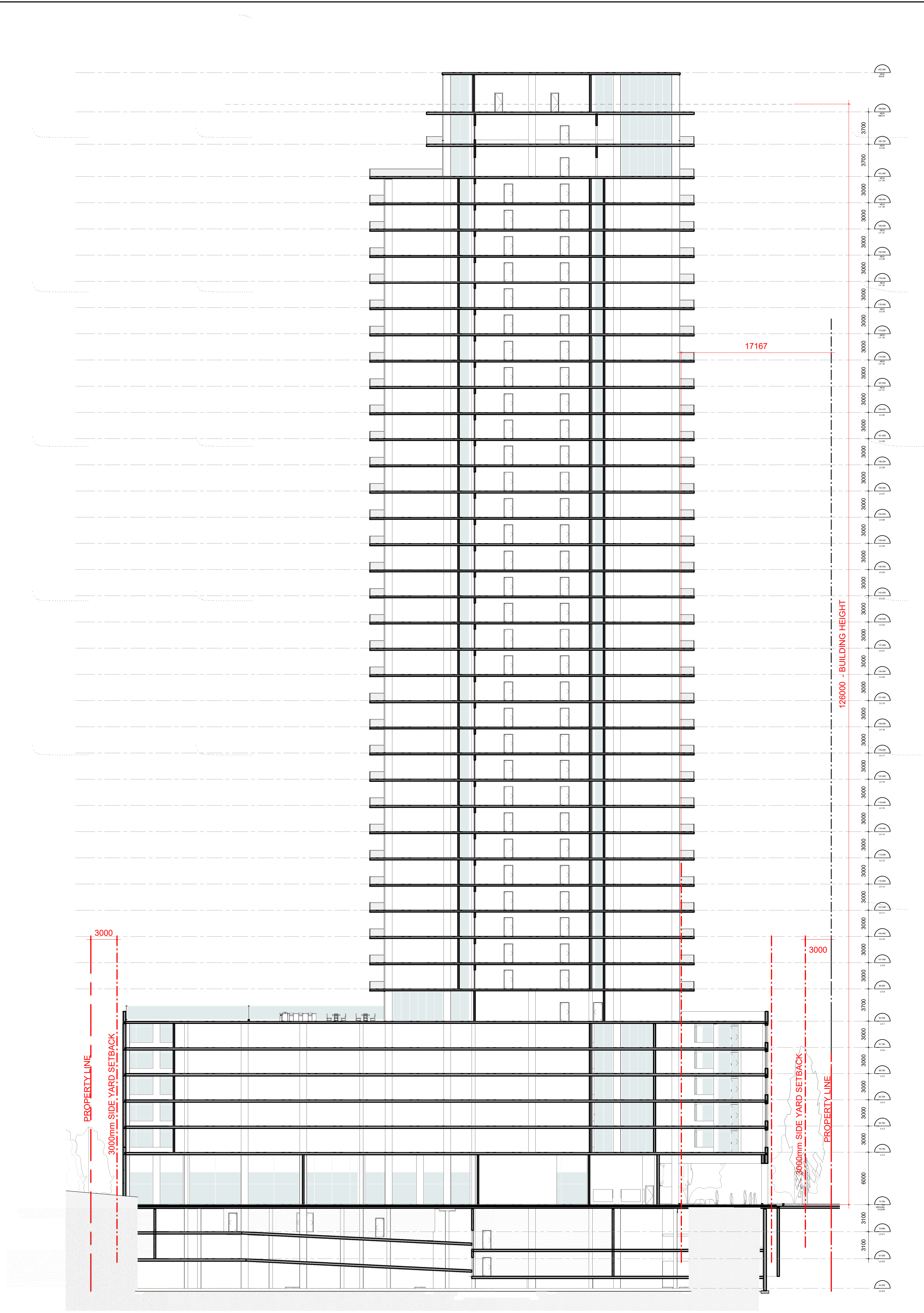
**SOUTH ELEVATION**



**WEST ELEVATION**



NORTH-SOUTH SECTION



EAST-WEST SECTION



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1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAUER AVENUE**  
 2829 DUMAUER AVE, OTTAWA, ON

SHEET TITLE:  
**SECTIONS**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: <b>A-06</b>
PROJECT No: 1922	





VIEW LOOKING NORTH-WEST



VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH ALONG DUMAURIER AVE.

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- (000000) SCALE
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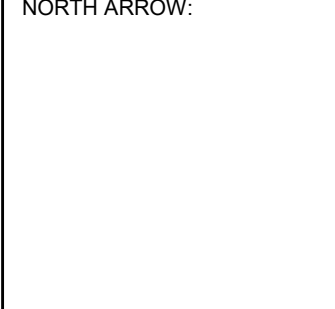
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REVISIONS:

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES**

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: <b>A-07</b>
PROJECT No: 1922	



VIEW LOOKING NORTH-EAST



VIEW LOOKING NORTH-WEST STREETSCAPE ALONG DUMAQUIER AVE.



VIEW LOOKING SOUTH-EAST STREETSCAPE ALONG DUMAQUIER AVE.

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- ⑤ TITLE SCALE
- ⑥ DETAIL REFERENCE PAGE
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ARCHITECT:  
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PROJECT TITLE:  
**2829 DUMAQUIER AVENUE**  
 2829 DUMAQUIER AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES**

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: <b>A-08</b>
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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PLOT DATE: 2023-03-24 12:49:00 PM

D07-12-17-0063



VIEW FROM FARRELL STREET



VIEW FROM DUMAURIER AVENUE AND WATSON STREET



VIEW FROM DUMAURIER AND RAMSEY CRESCENT

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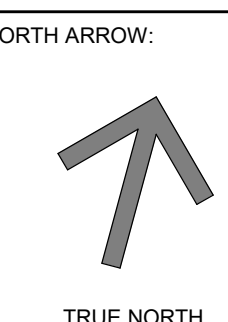
① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.  
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 ○00 TITLE SCALE  
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No.	DESCRIPTION	DATE

REVISIONS:

	
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CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
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PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 PERSPECTIVES

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: <b>A-09</b>
PROJECT No: 1922	



VIEW LOOKING SOUTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING EAST

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2	UPDATED SPA - Client Review	03/11/22
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REVISIONS:

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2829 DUMAURIER AVE, OTTAWA, ON

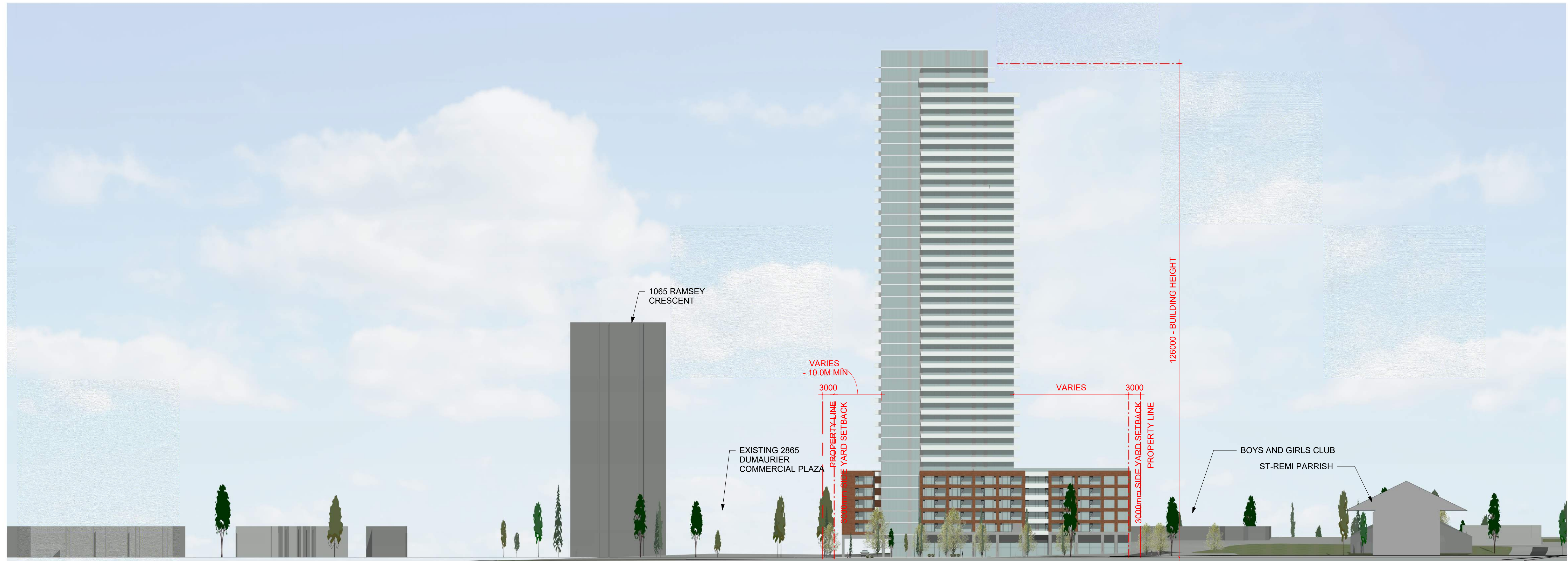
SHEET TITLE:  
**PERSPECTIVES - FUTURE BUILD-OUT**

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: <b>A-10</b>
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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VIEW LOOKING WEST



FUTURE VIEW LOOKING WEST

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REVISIONS:

ARCHITECT SEAL: NORTH ARROW:

CLIENT:  
**brigil**

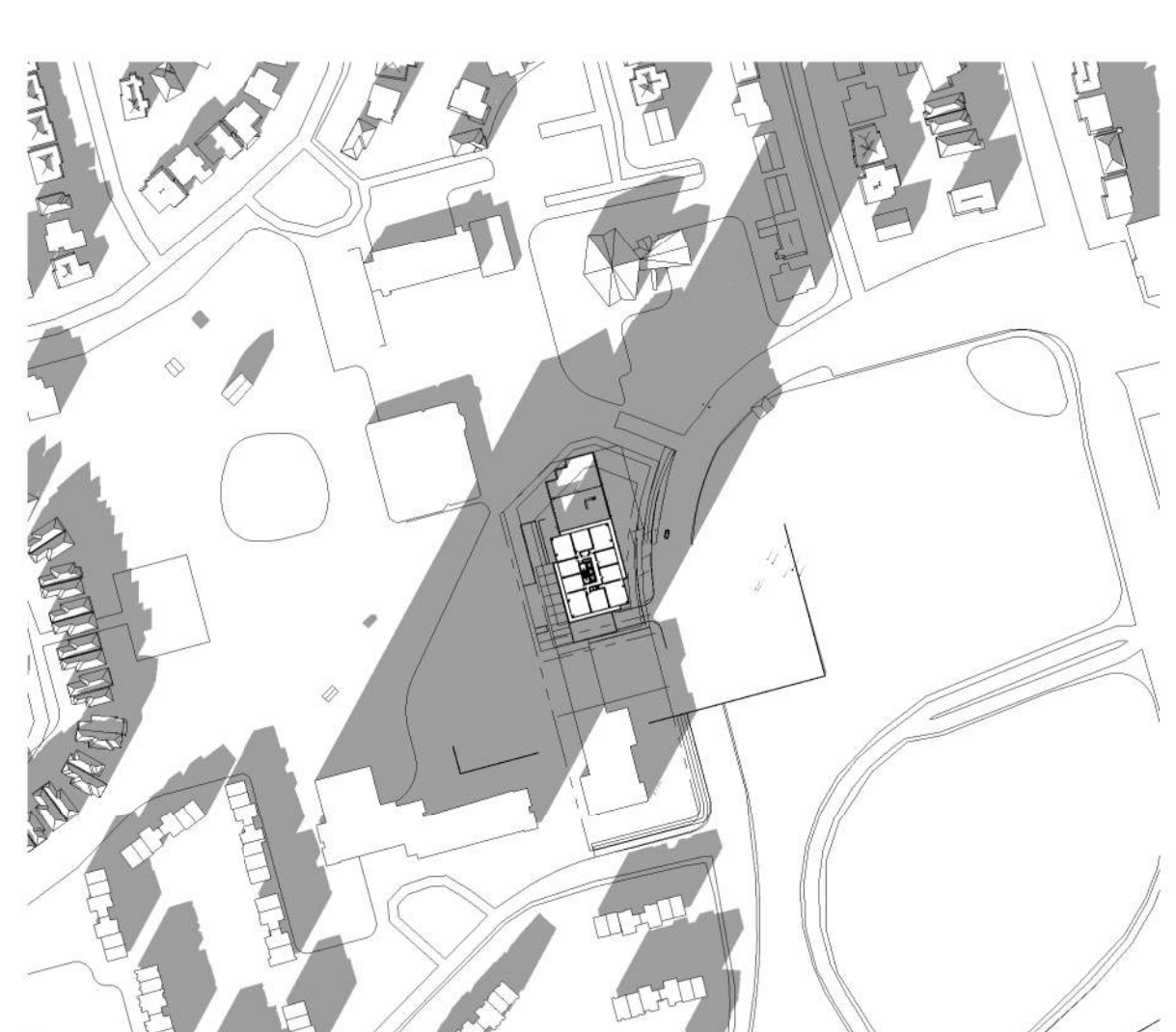
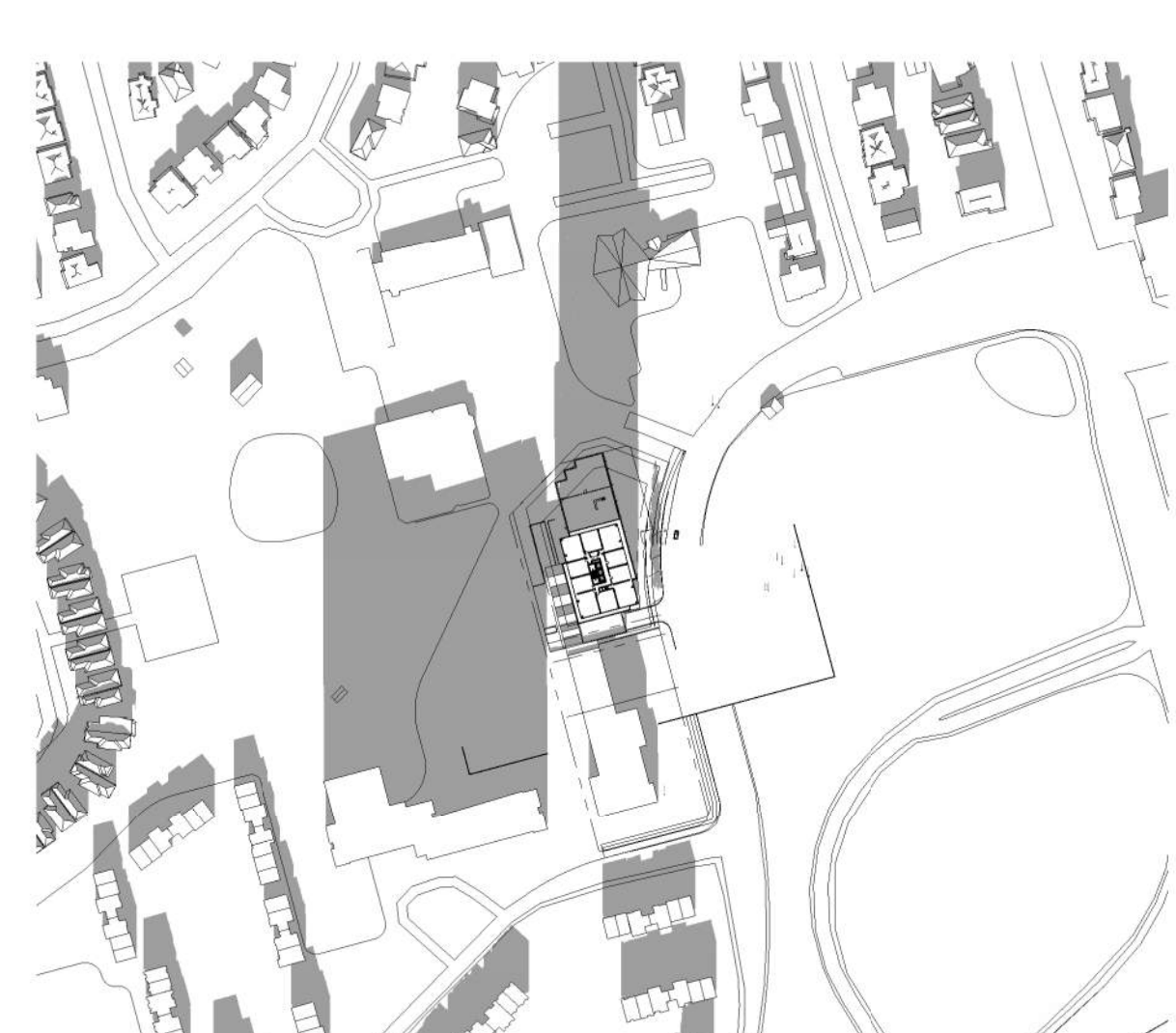
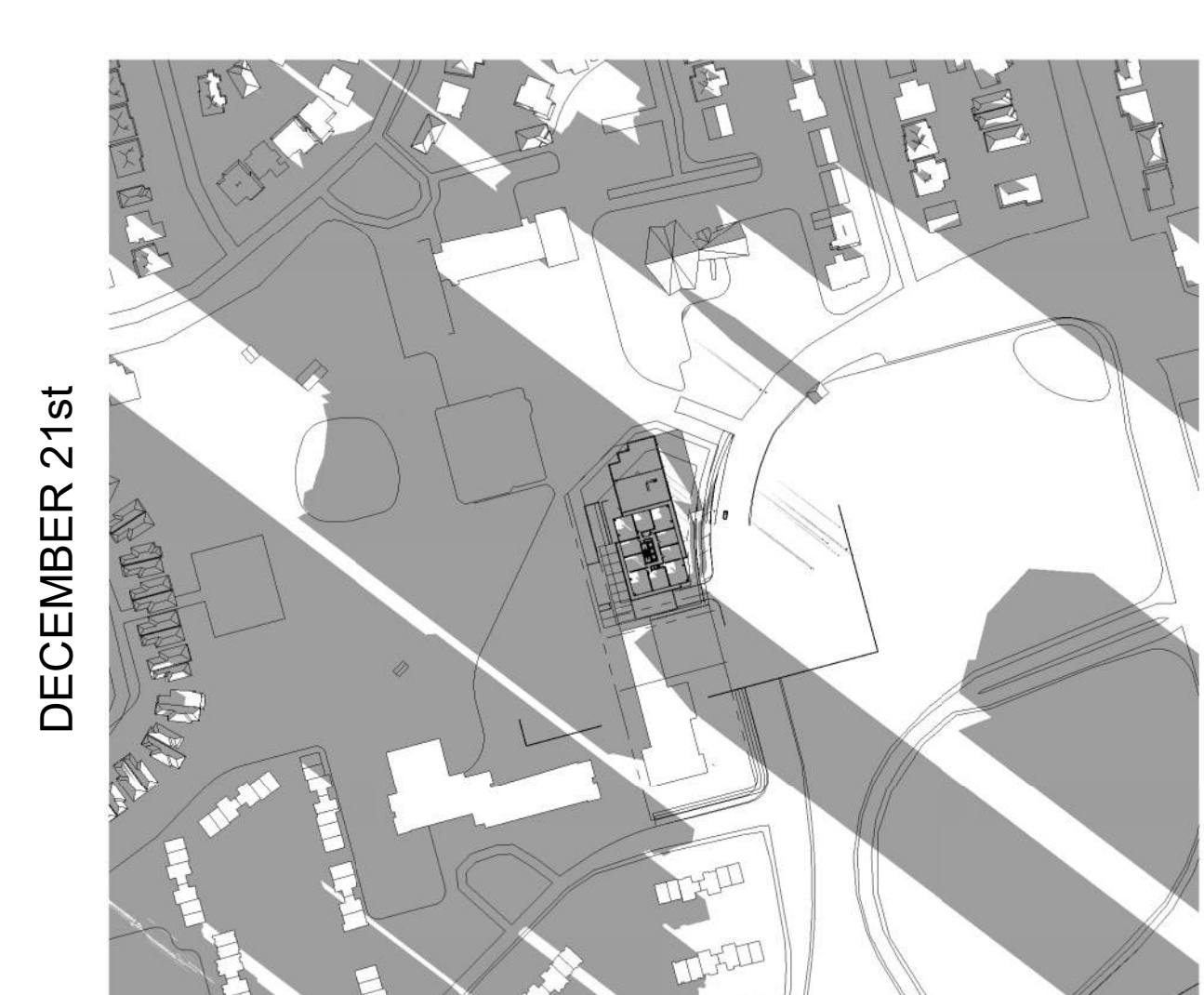
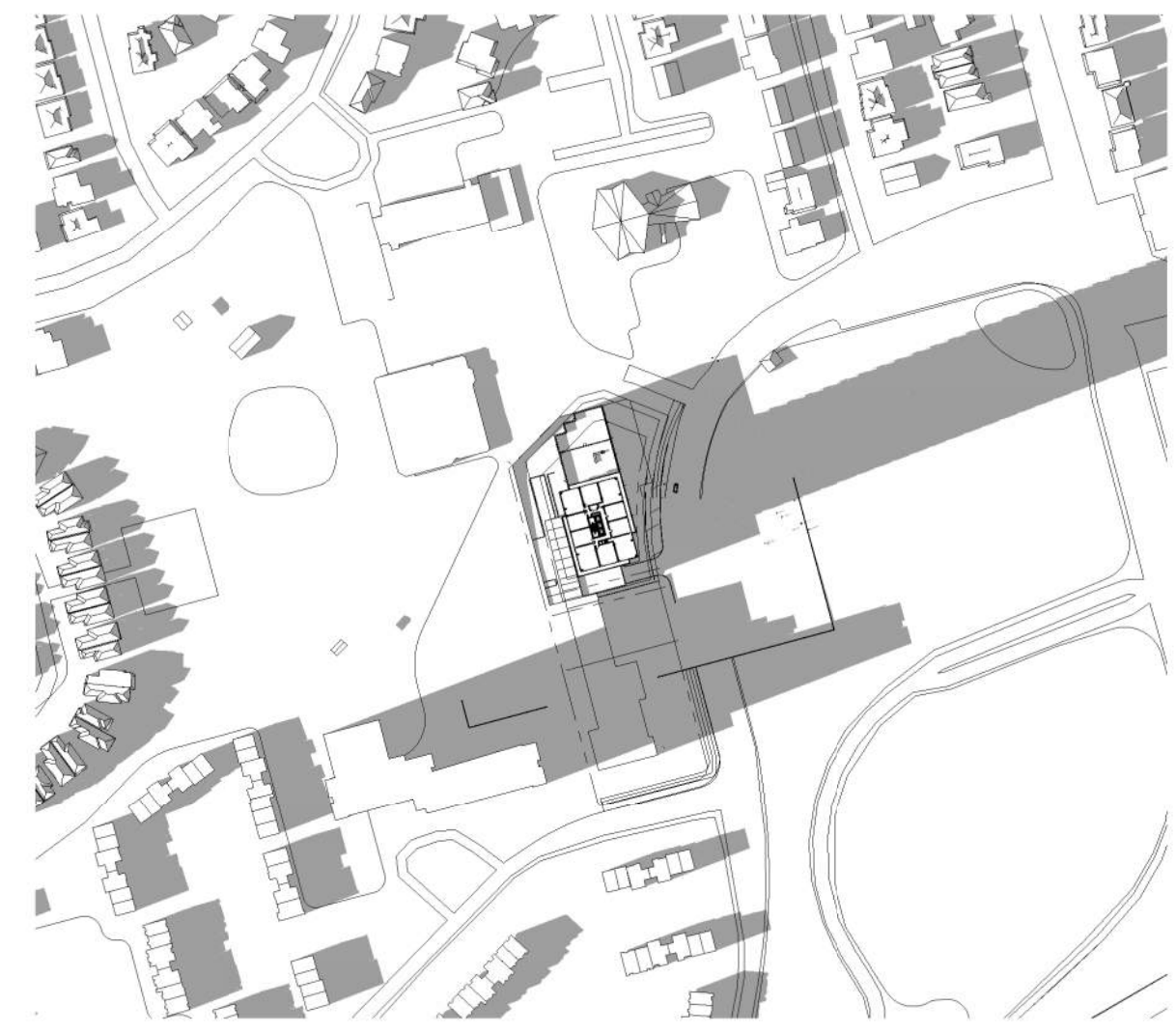
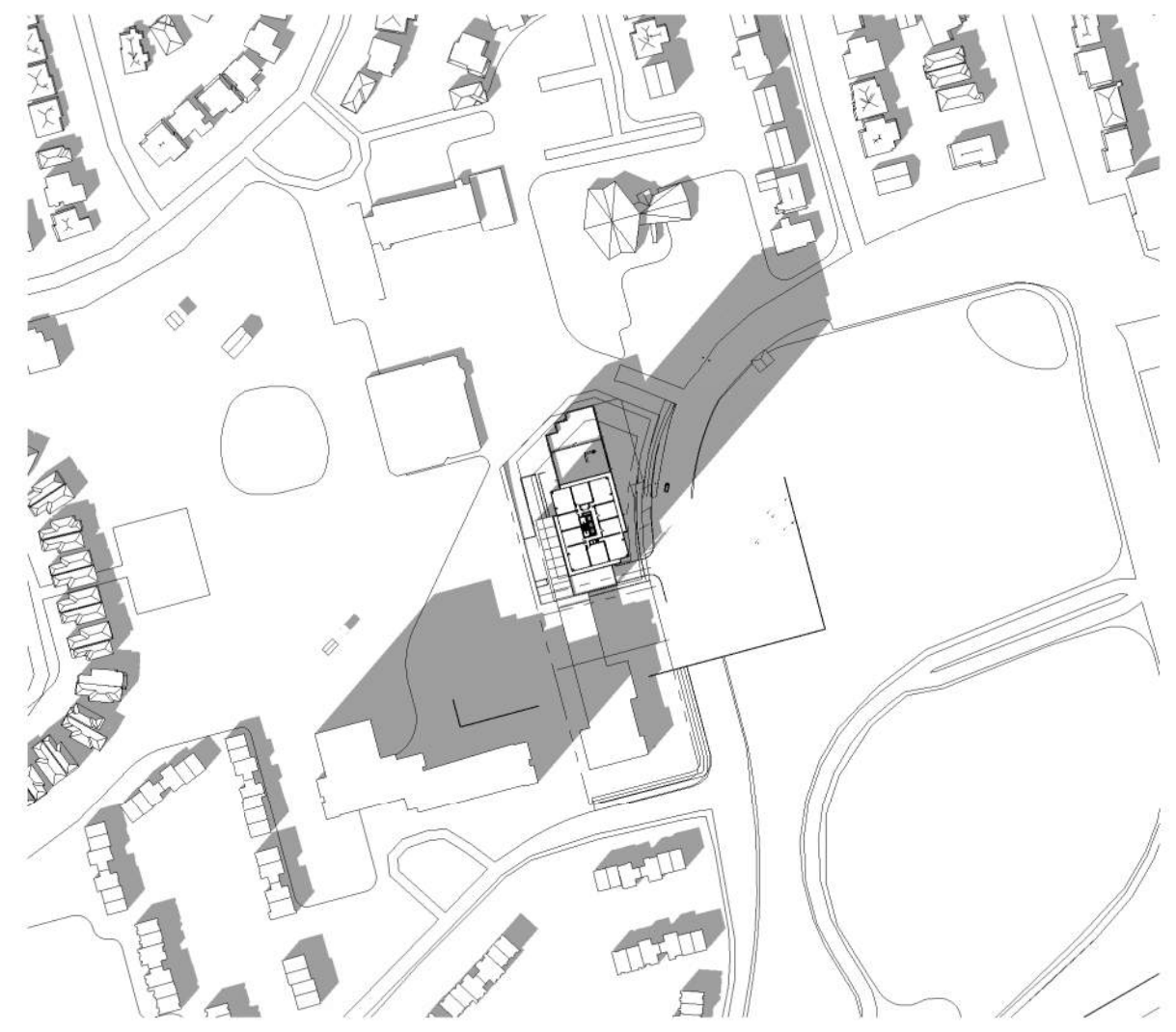
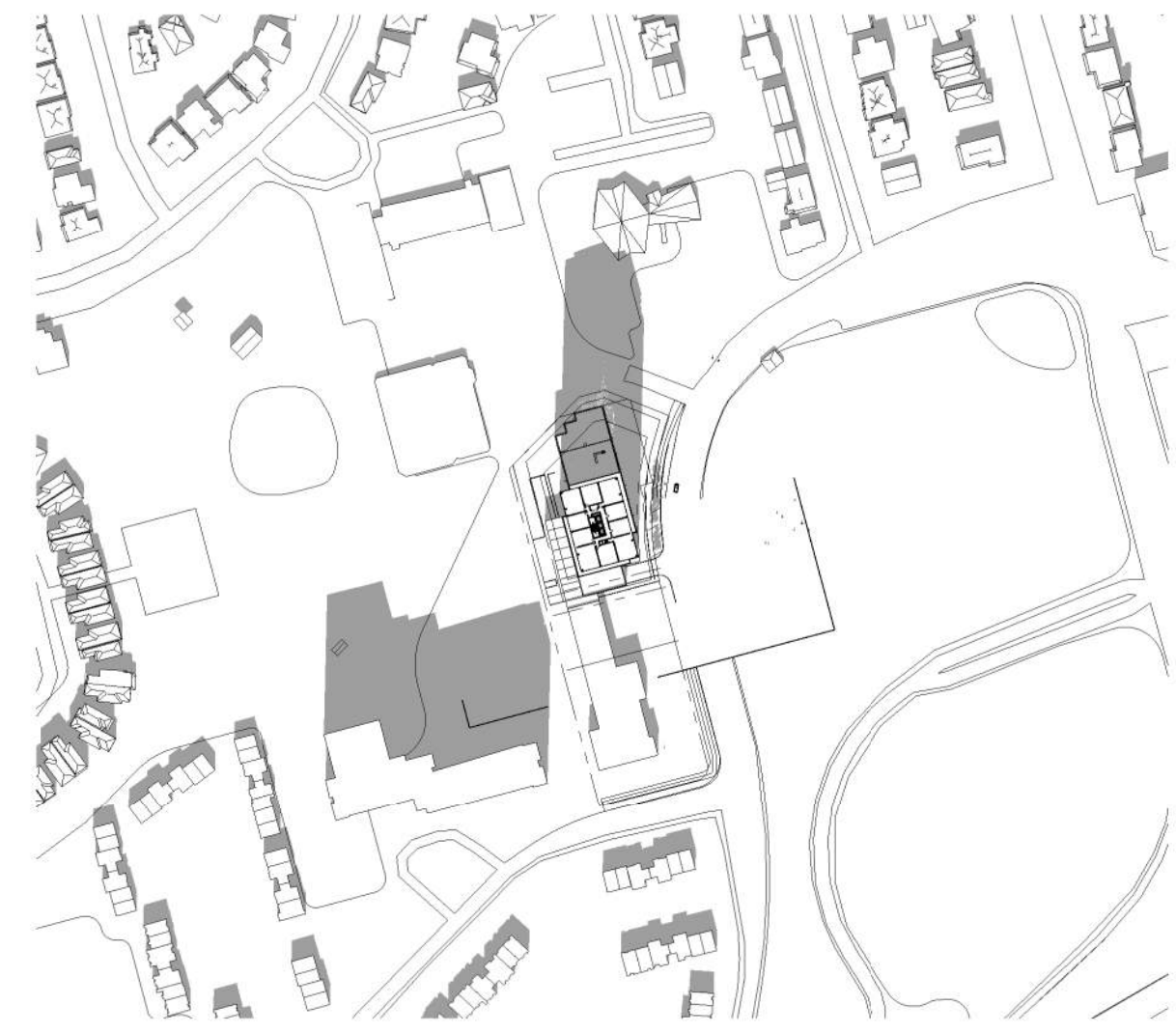
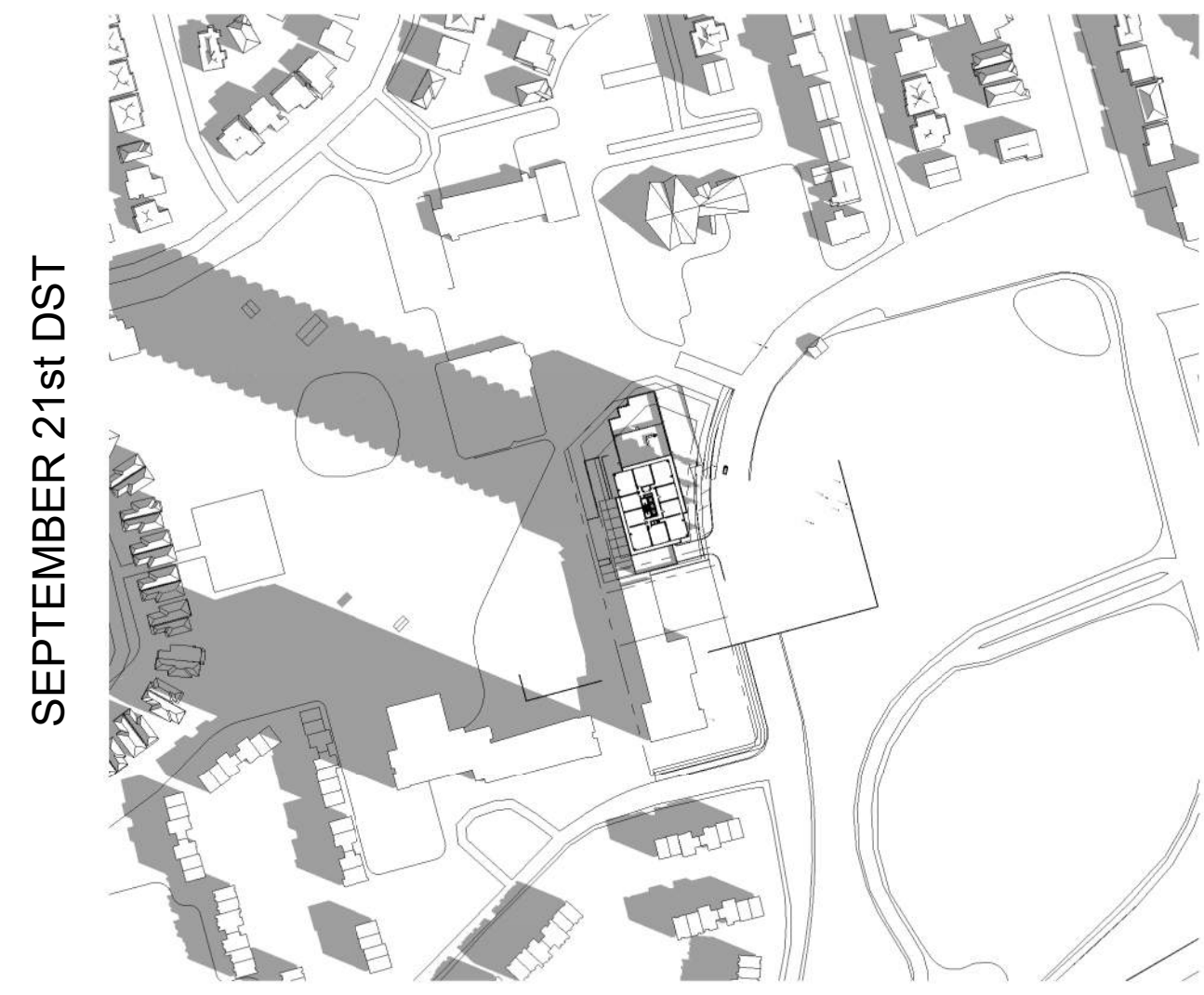
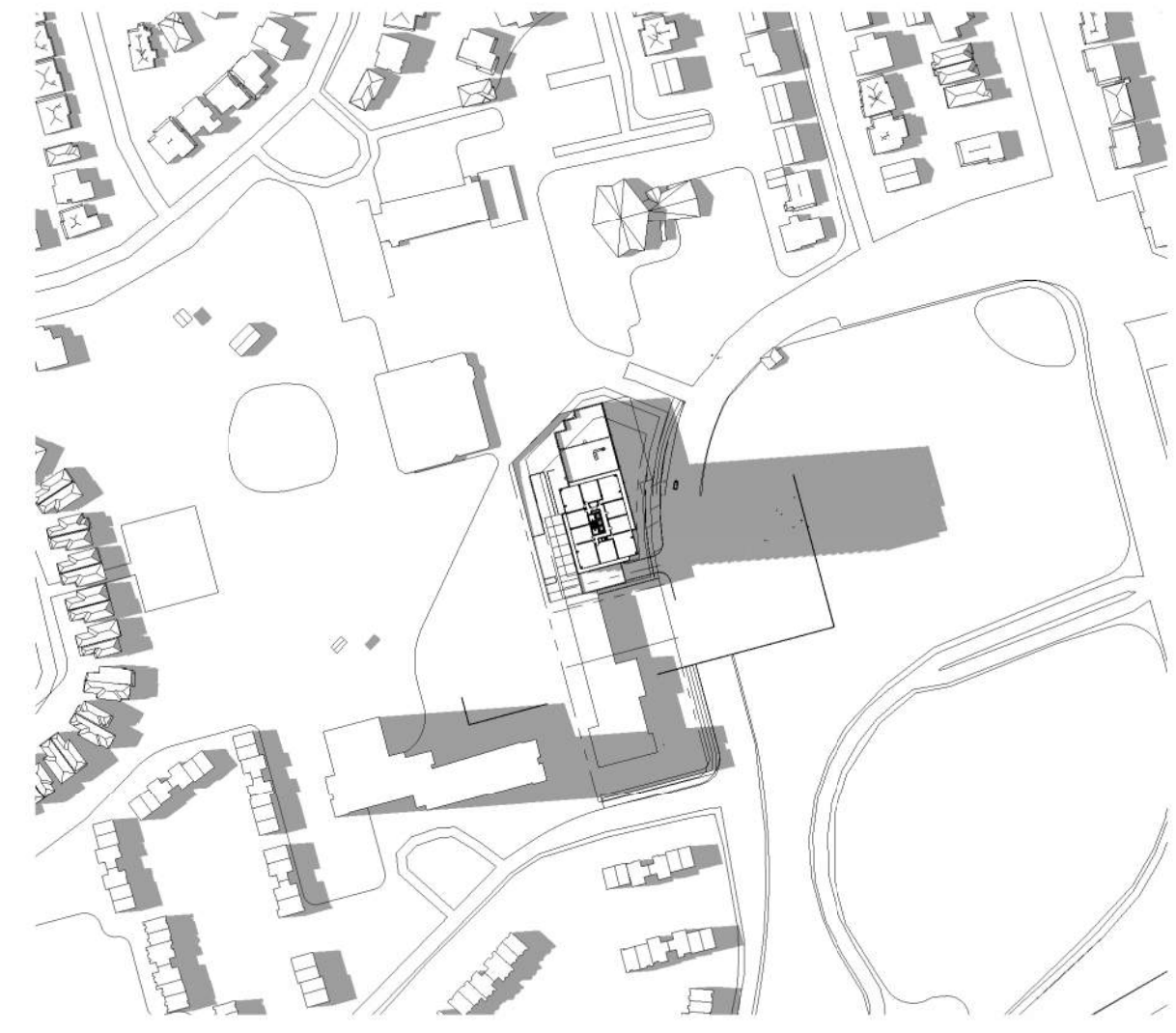
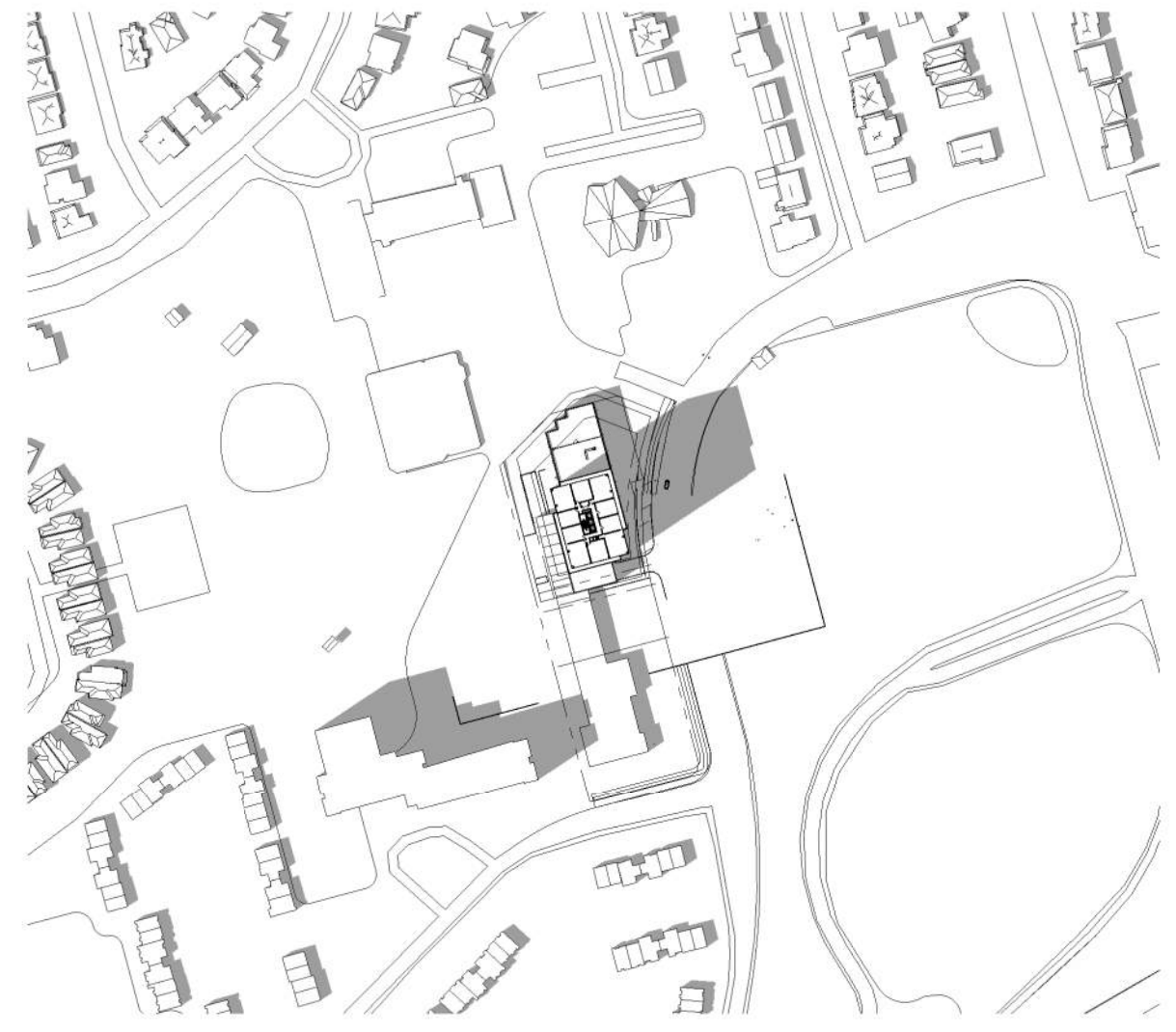
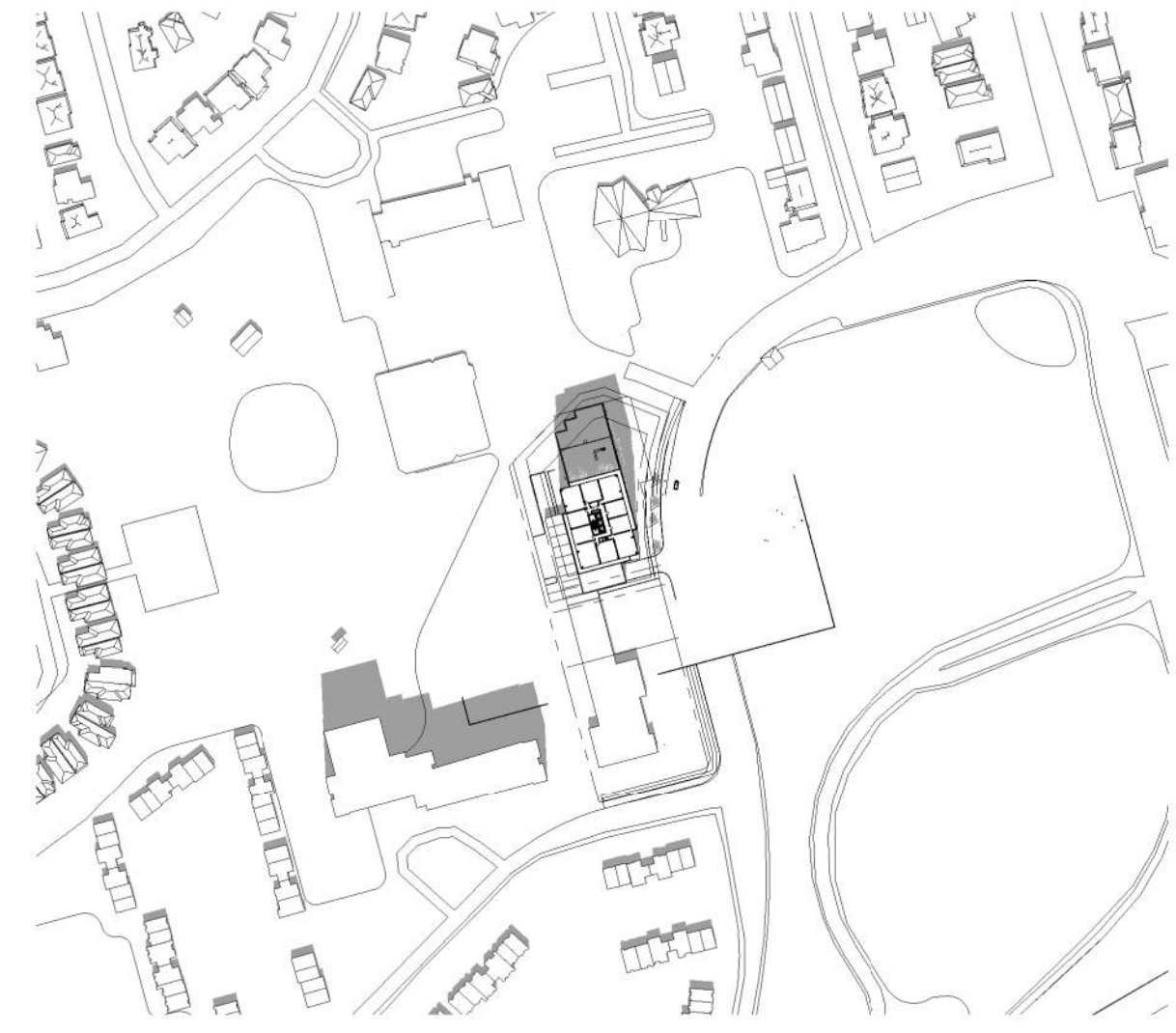
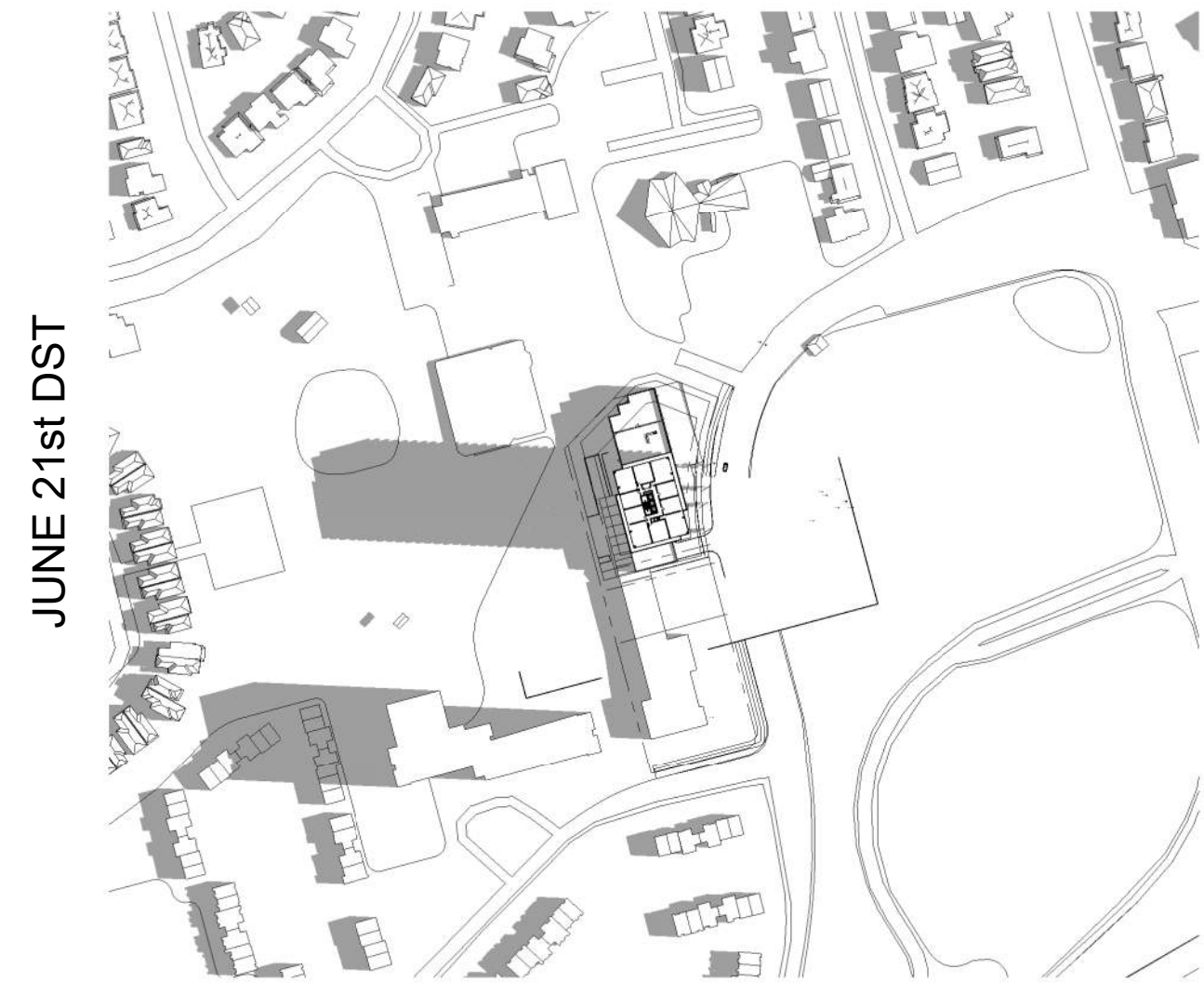
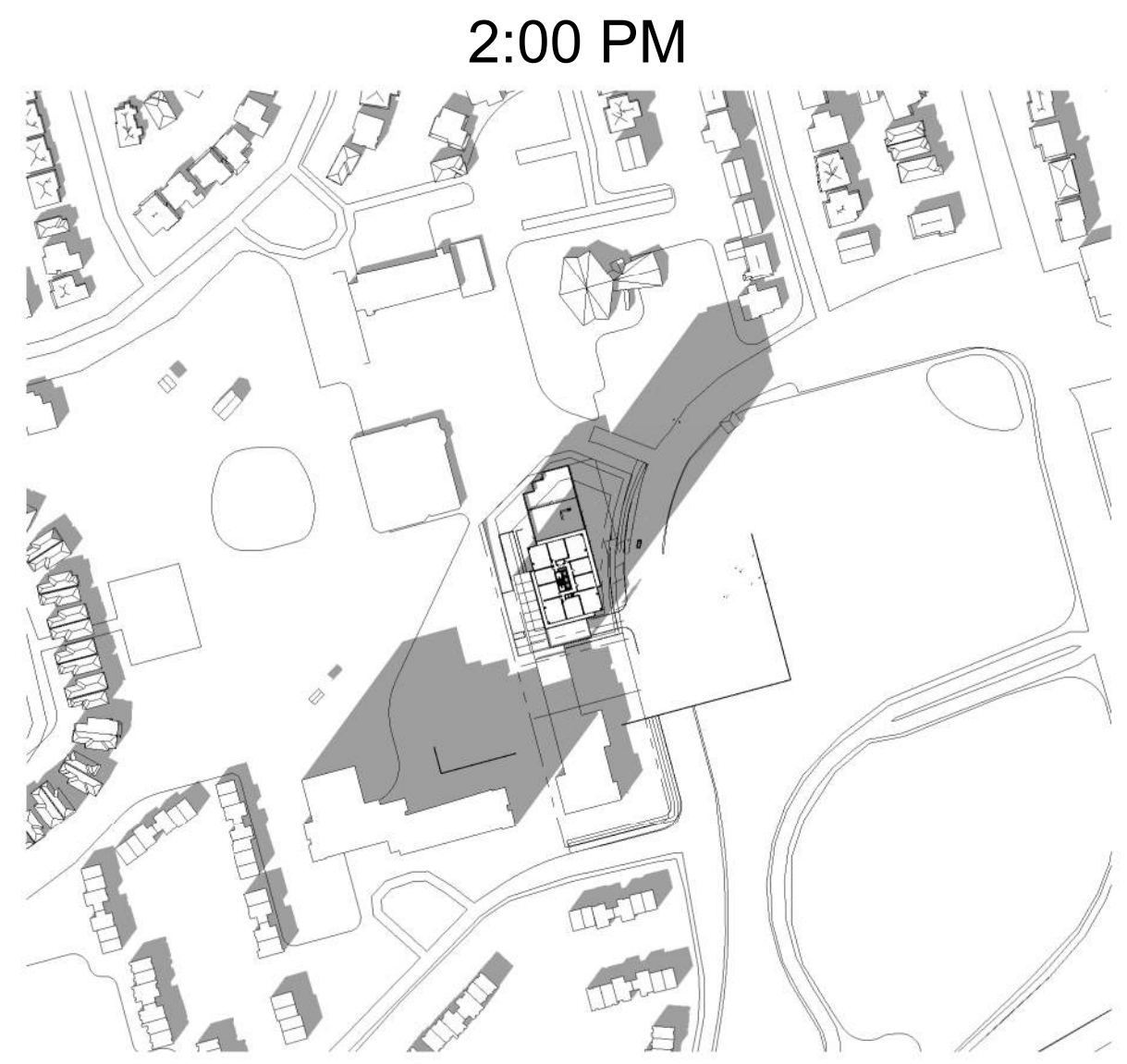
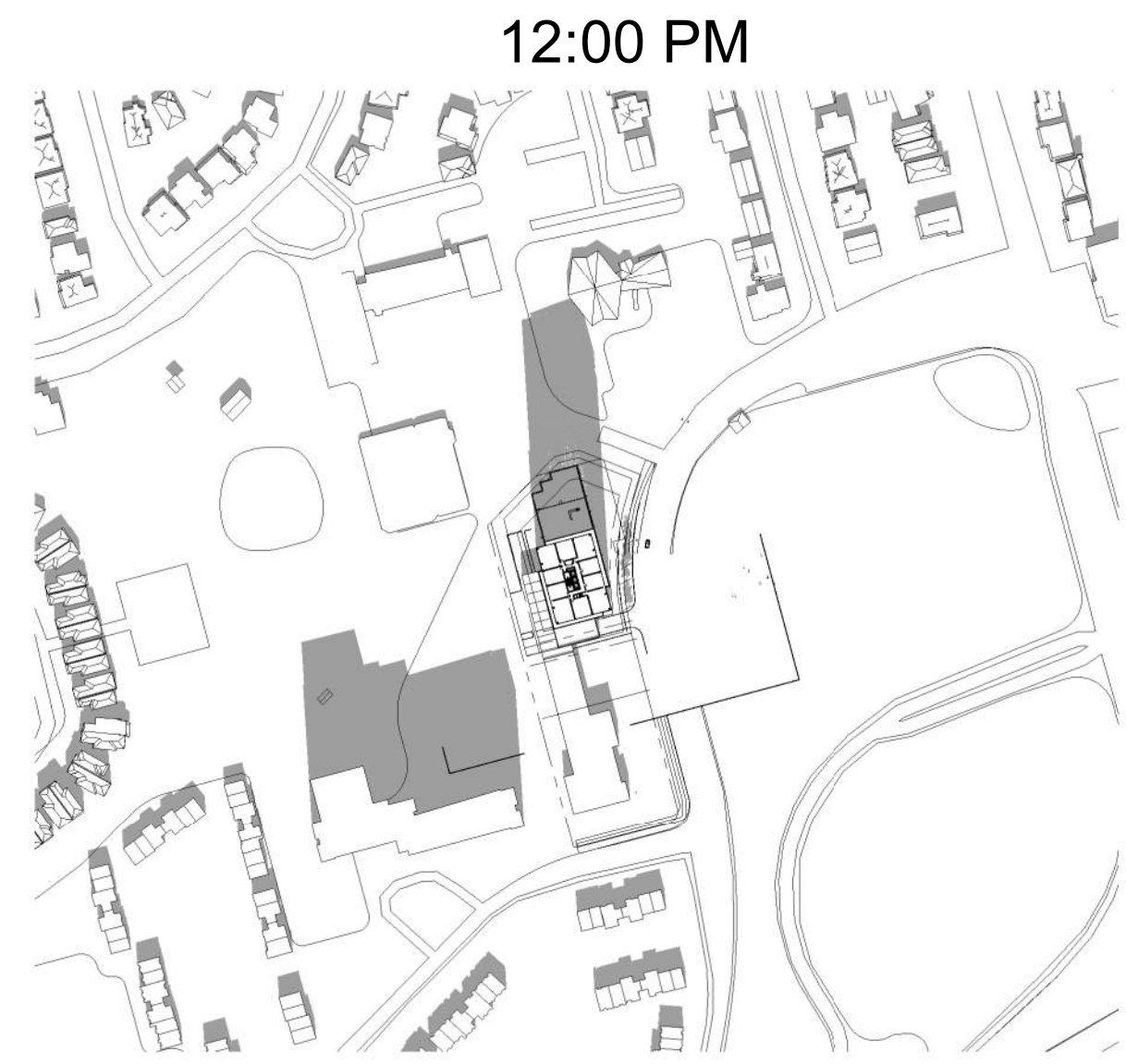
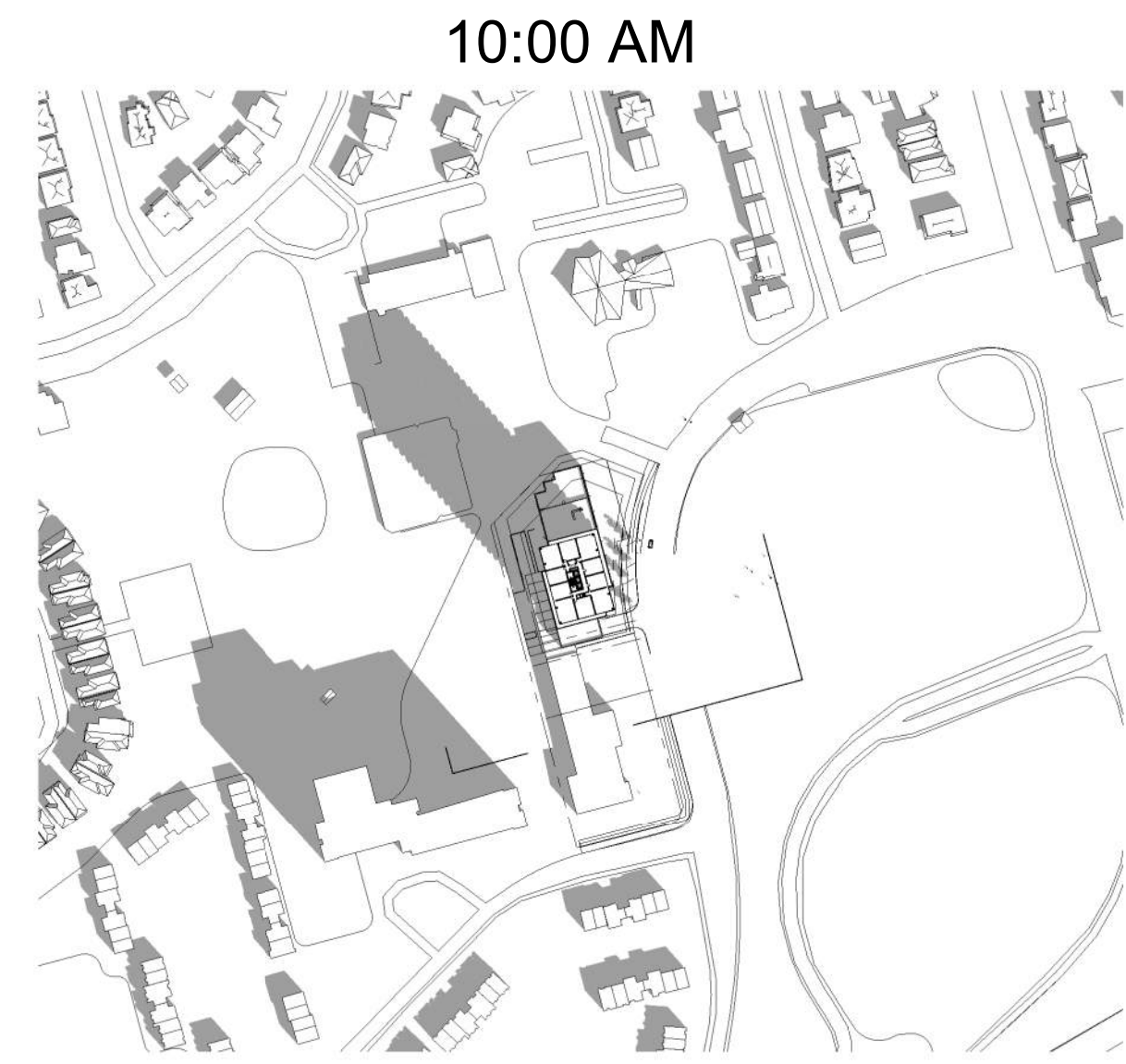
ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**OVERALL SITE ELEVATIONS**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 500	SHEET No: <b>A-11</b>
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 C:\Users\gasparza\OneDrive - Roderick Lahey Architect Inc\Documents\1922-2829 Dumauiere - R20\_gasparza\B1\_UZ.rvt D07-12-17-0063 2023-04-03 4:13:26 PM #17421



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.  
 DO NOT SCALE DRAWINGS.  
 COPYRIGHT RESERVED.

**NOTATION SYMBOLS:**

- ⓪ INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- Ⓛ INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- Ⓜ INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- Ⓝ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- Ⓞ DETAIL NUMBER
- Ⓟ TITLE SCALE
- Ⓠ DETAIL REFERENCE PAGE
- Ⓡ DETAIL CROSS REFERENCE PAGE

**GENERAL NOTES:**

- A REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- B REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
- C REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.
- D ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- E ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- F ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHERWISE.
- G ALL REINFORCED CONCRETE SUSPENDED COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

2	UPDATED SPA - Client Review	03.11.22
	ISSUED FOR SPARE-ZONING	08.06.21
No.	DESCRIPTION	DATE

REVISIONS:

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.roderricklahey.ca

PROJECT TITLE:  
 2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 SUNSHADE STUDY

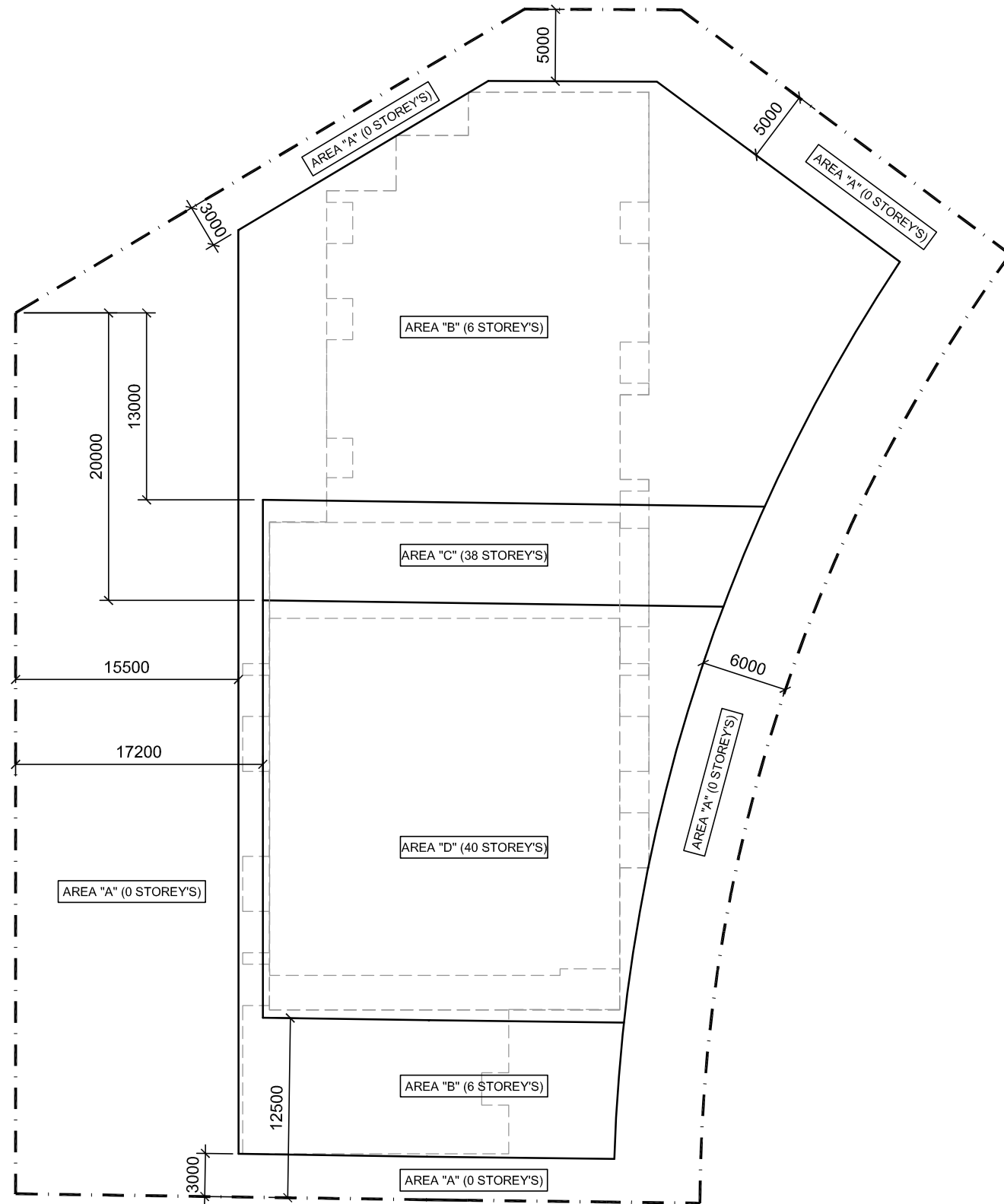
DRAWN:  
 G.E.

CHECKED:  
 J.G.

SCALE:  
 1 : 3000

SHEET No:  
**A-12**

PROJECT No:  
 1922



**MAXIMUM BUILDING HEIGHTS  
AND MAXIMUM NUMBER OF STOREYS**

**LA HAUTEUR DE BATIMENT MAXIMALE**

AREA/ SECTEUR A : 0.0m (0 storeys/ étages)  
 AREA/ SECTEUR B : 23.0m (6 storeys/ étages)  
 AREA/ SECTEUR C : 118.0m (38 storeys/ étages)  
 AREA/ SECTEUR D : 126.0m (40 storeys/ étages)

