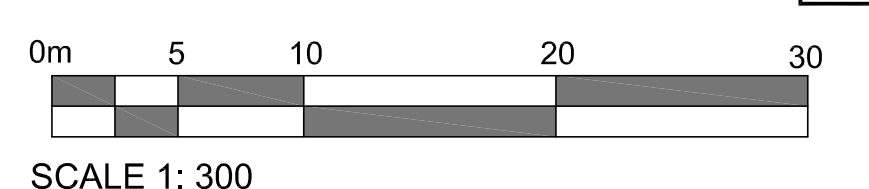


1 SITE PLAN - OVERALL
SP-2
SCALE = 1 : 300



PROJECT DEVELOPER Manor Park Management 231 Britany Drive, Suite D Ottawa, ON Canada, K1K 0R8 E-Mail: isa@manorparkcap.com	PROJECT MANAGER Renfro Land Management 371A Richmond Rd. Unit 2, Ottawa, ON K2L 1Y3 Tel: (613) 883-6124 E-Mail: davidrenfro@outlook.com	LEGAL DESCRIPTION TOPOGRAPHIC SURVEY OF LOT 5 AND PART OF LOTS 6 AND 7 BLOCK 2 REGISTERED PLAN 29 AND LOT 88 AND PART OF LOTS 40 & 41 REGISTERED PLAN 49 CITY OF OTTAWA
SURVEYOR FAIRHALL, MOFFATT & WOODLAND LIMITED 100-600 TERRY FOX DRIVE KANATA, ONTARIO K2L 4B6 Tel: (613) 591-2580 Fax: (613) 591-1495 Email:	GEOTECHNICAL ENGINEER paterson group 154 Colonnade Road South Ottawa, Ontario, K2E 7J5 Tel: 613.226-7381 Email: DGilbert@Patersongroup.ca	URBAN PLANNER FoTenn Consultants Inc. 396 Cooper Street, Unit 300 Ottawa, ON Canada, K2P 2H7 Tel: (613) 730-5709 Fax: (613) 730-1136 E-Mail: posen@fotenn.com
CIVIL ENGINEER WSP 300 - 2611 Queensview Drive Ottawa, ON K2B 8K2 Tel: +1 613-829-2800 Email: Ishaque.Jafferjee@wsp.com	TRANSPORTATION ENGINEER CGH Transportation Inc. 13 Markham Avenue Ottawa, ON K2G 3Z1 Tel: (343) 999-9117 Email: Christopher.Gordon@CGHtransportation.com	LANDSCAPE DESIGNER LEVSTEK CONSULTANTS 5871 Hugh Crescent Ottawa, ON Canada, K0a 2w0 Tel: (613) 826-0518 E-Mail: rievstek@iarocquelevstek.com

SITE PLAN SYMBOLS:

	SOFT LANDSCAPE
	PEDESTRIAN WALKING SURFACE
	DRIVING / PARKING AREA
	CONCRETE SIDEWALK
	CONCRETE DRIVEWAY / RAMP
	UNDEVELOPED AREA
	PARKLAND DEDICATION
	PROPERTY LINE
	FENCE LINE
	BIKE RACK
	ENTRANCE / EXIT DOOR
	COMMERCIAL / EXIT DOOR
	FIRE HYDRANT
	VEHICULAR DIRECTION
	EXISTING TREE TO REMAIN
	SIAMESE CONNECTION

NOTE:
SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

- DRAWING NOTES:**
- PROPERTY LINE
 - PROPOSED ROAD WIDENING
 - OUTLINE OF TOWER
 - LINE OF TOWER BALCONIES ABOVE
 - LINE OF PARKING GARAGE BELOW
 - HEATED RAMP TO U/G GARAGE WITH TRENCH DRAIN
 - EXTERIOR ROOF TOP AMENITY SPACE
 - BICYCLE RACKS. SEE LANDSCAPE PLAN FOR TYPE
 - SIAMESE CONNECTION
 - PARKING GARAGE INTAKE / EXHAUST GRILL
 - 2.6 X 5.2m STANDARD PARKING SPACES
 - DRIVEWAY WITH 150mm BARRIER CURB
 - FIRE HYDRANT
 - SOFT LANDSCAPING
 - 2.0m WIDE CONCRETE SIDEWALK
 - EXTERIOR PATIO (COMMERCIAL / COMMUNAL)
 - BELOW GRADE CISTERN
 - CITY SIDEWALK INSTALL SUMMER OF 2021
 - RAISED PLANTER
 -
 -
 - PARKLAND DEDICATION AREA
 - PHASING LINE
 - HARD SURFACE WALKING SURFACE
 - AT GRADE PRIVATE PATIOS WITH PRIVACY SCREENS
 - 6.0m WIDE FIRE ROUTE
 - EXISTING CHAIN LINK FENCE
 - EXISTING SOFT LANDSCAPED BOULEVARD
 -
 - EXISTING TREE TO REMAIN PROTECT AS REQUIRED
 - ALTER EXISTING STREET AS SHOWN
 - PARKING GRADE EXIT STAIR
 - PROPOSED BUILDING SERVICES, SEE CIVIL
 - 2.1m HT. SOLID WOOD FENCE
 -
 - GAS PRESSURE RELEASE STATION
 - ELECTRIC VEHICLE CHARGING STATION
 - ACCESSIBLE PARKING SPACE
 - DEPRESSED CURB - TWISI AS SHOWN
 - CYCLE REPAIR STATION
 -
 -
 - PROPOSED CITY BOULEVARD - CYCLE TRACK / WARNING STRIP / SIDEWALK

PROJECT INFORMATION

ZONING: TM(2363) S365-h
 SITE AREA: 12,165.45 sq m
 PHASE 1 AREA: 6,150.19 sq m
 PHASE 2 AREA: 6,015.26 sq m

BUILDING STATISTICS

BUILDING HEIGHT - Building 'A': 8 STOREYS - 29.0 m
 BUILDING HEIGHT - Tower 'B1': 37 STOREYS - 116.0 m
 BUILDING HEIGHT - Tower 'B2': 28 STOREYS - 89.0 m
 BUILDING HEIGHT - Tower 'B3': 16 STOREYS - 53.0 m

PROPOSED FSI: 55,824.0 sq m
 600,884 sq ft

GROSS BUILDING - AREAS

BUILDING 'A': 2,516.6 sq m
 TOWER 'B1': 24,146.4 sq m
 TOWER 'B2': 19,197.8 sq m
 TOWER 'B3': 10,645.7 sq m
 TOTAL AREA: 55,961.91 sq m

UNIT STATISTICS

BUILDING 'A': 1 BEDROOM UNITS = 22
 TOWER 'B1': 1 BEDROOM UNITS = 269
 TOWER 'B2': TOWNHOUSE UNITS = 7
 TOWER 'B3': TOWNHOUSE UNITS = 6

AMENITY AREA

REQUIRED (917 UNITS X 6 m²) = 5,502 sq. m.
 PROVIDED: 5,764.8 sq m

LOT COVERAGE

DRIVEWAYS & PARKING = 2,054.05 sq. m.
 PAVED SURFACE = 1,796.2 sq. m.
 BUILDINGS' FOOTPRINT = 3,078.44 sq. m.
 LANDSCAPE OPEN SPACE = 3,852.25 sq. m.
 PARK LAND SPACE = 685.69 sq. m.
 POPS SPACE = 542.58 sq. m.

CAR PARKING

REQUIRED: 0.5 PER UNIT (917 UNITS) = 458
 PROVIDED: 522

BICYCLE PARKING

REQUIRED: 0.5 PER UNIT (915 UNITS) = 458
 PROVIDED: 459

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC 1ST COMMENT RESPONSE	2023 03 15
2	ISSUED FOR UDRP SPC SUBMISSION	2023 01 19
3	ISSUED FOR CONSULTANT COORDINATION	2023 01 10
4	ISSUED FOR SPC APPLICATION - PHASE 1	2022 09 13
5	ISSUED FOR CONSULTANT COORDINATION	2022 06 22
6	ISSUED FOR CONSULTANT COORDINATION	2022 02 21

CLIENT: 2705460 Ontario Inc.

ARCHITECT: rla/architecture
 roderick lahey architect inc.
 56 beech street, ottawa, ontario K1S 3J6
 t. 613.724.9932 f. 613.724.1209

LOCATION: 112 MONTREAL ROAD

SHEET TITLE: SITE PLAN OVERALL

PROJECT No.: 2026

DRAWN: RV
CHECKED: R.V.

SCALE: 1:300

SHEET No.: SP-2