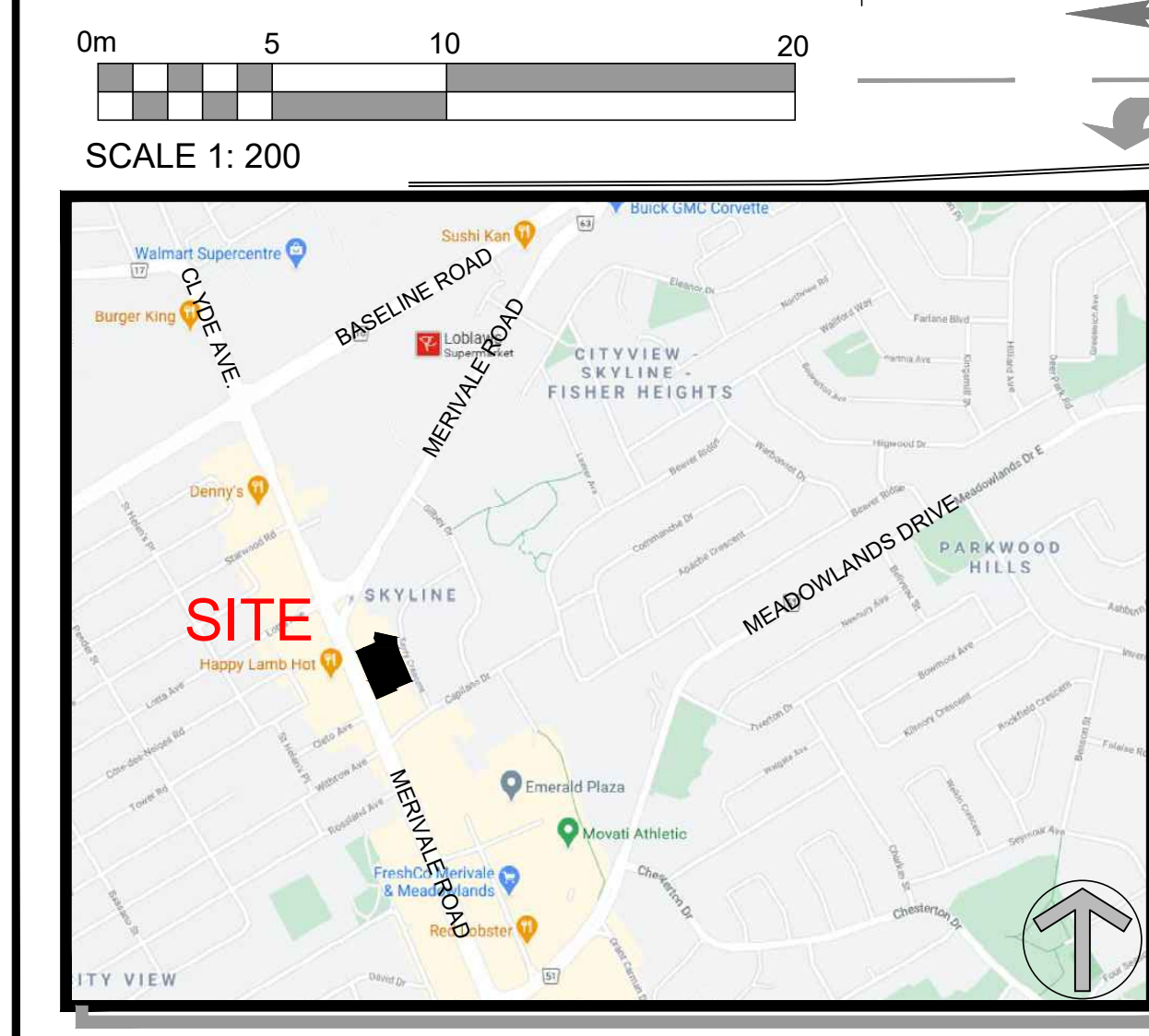
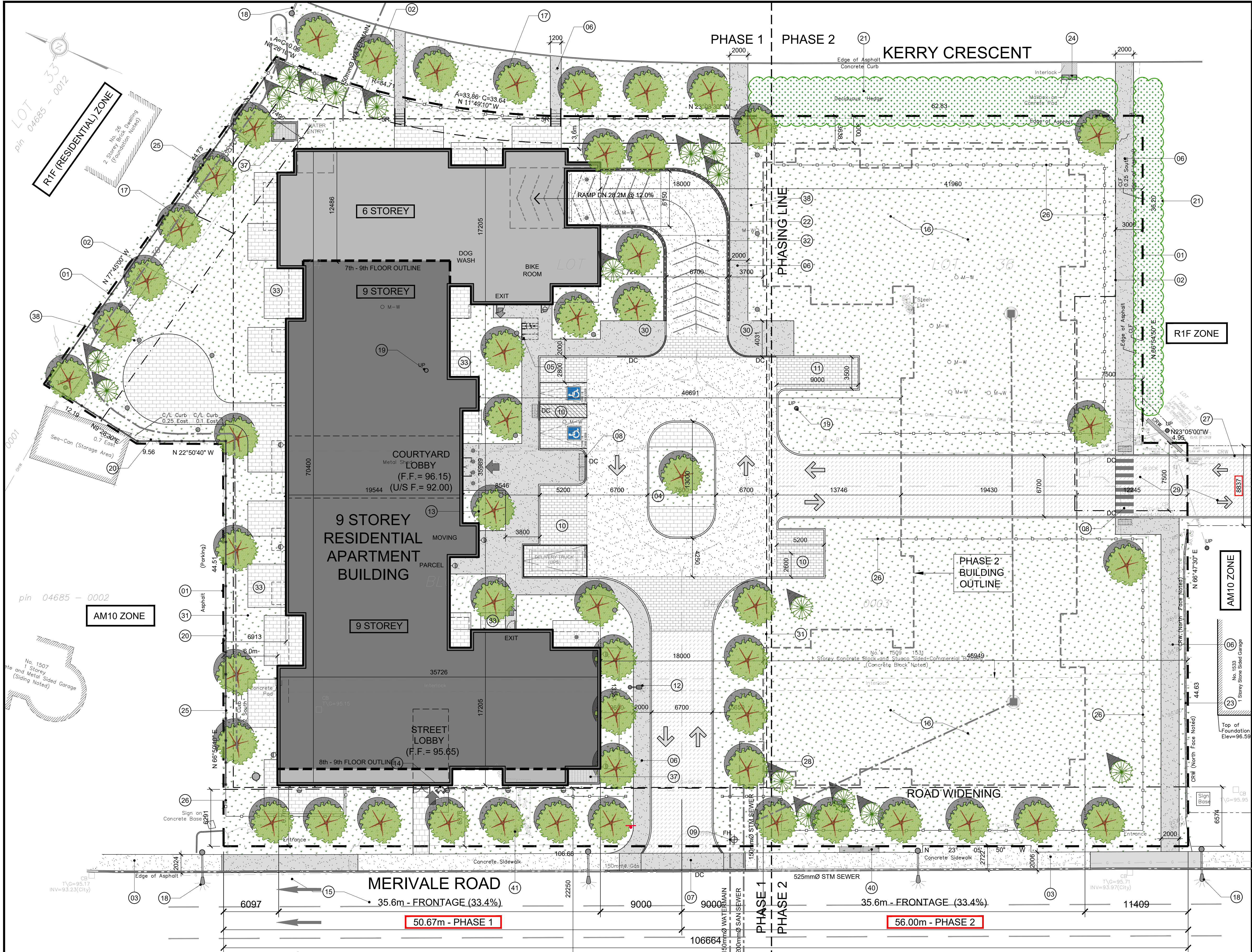




PROJECT INFORMATION	
ZONING	AM10
SITE AREA (OVERALL)	8,866.0 sq. m, 95,756 sq. ft.
SITE AREA (PHASE 1)	5,357.3 sq. m, 57,666 sq. ft.
SITE AREA (PHASE 2)	3,508.7 sq. m, 38,090 sq. ft.
REQUIRED	
BUILDING HEIGHT	9 STOREYS - 30 m
DENSITY - F.S.I.	3.5
FRONT YARD SETBACK	3.0 m
INTERIOR YARD SETBACK	0.0, 3.0 & 7.5 m
REAR YARD SETBACK	3.0 m
AMENITY AREA PER UNIT	6.0 sq. m
VEHICLE PARKING - RESIDENTIAL	0.5 PER UNIT
VEHICLE PARKING - VISITOR ONLY	0.1 PER UNIT (AREA X)
BICYCLE PARKING - RESIDENTIAL	0.5 PER UNIT
DRAWING NOTES	
1 PROPERTY LINE	
2 BUILDING SETBACK LINE	
3 EXISTING CONCRETE SIDEWALK TO REMAIN	
4 LANDSCAPE ISLAND WITH 150mm BARRIER CURB	
5 BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK	
6 CONCRETE WALK, WIDTH AS NOTED	
7 DEPRESSED CURB & SIDEWALK, CONTINUOUS	
8 DEPRESSED CURB & TWSI	
9 FIRE HYDRANT	
10 STANDARD PARKING SPACE (2.6 X 5.2 M)	
11 LOADING ZONE	
12 LIGHT STANDARD - LOCATION TO BE CONFIRMED	
13 BUILDING CANOPY	
14 SIAMESE CONNECTION	
15 FIRE ROUTE	
16 SOFT LANDSCAPING	
17 EXISTING CEDAR HEDGE TO BE REMOVED	
18 EXISTING STREET LIGHT	
19 EXISTING HYDRO POLE TO BE REMOVED	
20 EXISTING MOVABLE CURB TO BE REMOVED	
21 EXISTING CEDAR HEDGE	
22 RAMP RETAINING WALL, MAX. HT. 1.1m ABOVE GRADE	
23 EXISTING RETAINING WALL	
24 EXISTING CANADA POST MAIL BOXES	
25 2.1m HT. SOLID WOOD FENCE, SEE LANDSCAPE	
26 LOW METAL PICKET FENCE, SEE LANDSCAPE	
27 EXISTING RETAINING WALL TO BE REMOVED	
28 BELOW GRADE CISTERN WITH ACCESS MH	
29 EXISTING SERVICE LANE TO BE EXTENDED	
30 REFUGE PICK UP AREA WITH DEPRESSED CURB	
31 EXTENT OF BELOW GROUND PARKING GARAGE	
32 HEATED GARAGE RAMP WITH TRENCH DRAIN	
33 PRIVATE PATIO AT GRADE	
34 EXISTING FIRE HYDRANT	
35 HYDRO EQUIPMENT	
36 TEMPORARY SNOW STORAGE AREA	
37 INTAKE / EXHAUST GRILL FOR U/G PARKING GARAGE	
38 LIGHT BOLLARD	
39 REPLACE EXISTING DEPRESSED CURB AND SIDEWALK WITH BARRIER CURB AND SIDEWALK	
40 OC TRANSPO BUS STOP WITH WOODEN BENCHES	
41 EXISTING RAISED BILLBOARD TO BE REMOVED	
SITE PLAN SYMBOLS	
[Symbol] ASPHALT DRIVING AISLE	
[Symbol] CONCRETE DRIVING AISLE	
[Symbol] CONCRETE SIDEWALK / WALK	
[Symbol] CONCRETE PAVERS, SEE LANDSCAPE DRAWINGS	
[Symbol] CONCRETE PAVERS ON DRIVING SURFACE	
[Symbol] PROPERTY LINE	
[Symbol] BUILDING SETBACK LINE	
[Symbol] 1.2m & 1.5m HT. METAL PICKET FENCE	
[Symbol] 2.1m HT. SOLID WOOD FENCE	
[Symbol] BIKE RACK	
[Symbol] ENTRANCE / EXIT DOOR	
[Symbol] FH	
[Symbol] FIRE HYDRANT	
[Symbol] VEHICULAR DIRECTION	
[Symbol] PROPOSED TREES	
[Symbol] SIAMESE CONNECTION	
[Symbol] SITE LIGHTING	
NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN	

BUILDING STATISTICS	
UNIT STATISTICS	
STUDIO	24
1 BEDROOM UNIT	84
1 BEDROOM + DEN UNIT	55
2 BEDROOM UNIT	37
2 BEDROOM + DEN UNIT	2
TOTAL	202
GROSS BUILDING FLOOR AREA	
(OTTAWA ZONING DEFINITION)	
GROUND FLOOR	913.9 sq. m, 9,837 sq. ft.
2nd - 6th FLOOR	5 x 1,482.4 sq. m, 5 x 16,004 sq. ft.
7th FLOOR	1,103.4 sq. m, 11,877 sq. ft.
8th - 9th FLOOR	2 x 1,057.5 sq. m, 2 x 11,363 sq. ft.
TOTAL AREA ABOVE GRADE	11,594.3 sq. m, 124,800 sq. ft.
CAR PARKING	
REQUIRED	
RESIDENT	0.5 PER UNIT (202 UNITS)
VISITOR	0.1 PER UNIT (AREA X)
TOTAL	123
PROVIDED	
RESIDENT	0.79 PER UNIT
VISITOR	0.2 PER UNIT
TOTAL	202
LOCATION	
SURFACE PARKING SPACES	8
LEVEL P1 PARKING SPACES	93
LEVEL P2 PARKING SPACES	101
TYPE / SIZE	
STANDARD PARKING SPACE	2.6 x 5.2 m
SMALL CAR PARKING SPACE	2.4 x 4.6 m
BARRIER FREE SPACE - TYPE A	3.4 x 5.2 m
BARRIER FREE SPACE - TYPE B	2.4 x 5.2 m
BICYCLE PARKING	
REQUIRED	
RESIDENT	0.5 PER UNIT (202 UNITS)
TOTAL	102
PROVIDED	
RESIDENT	1 PER UNIT
TOTAL	202
GROUND FLOOR BIKE ROOM	56
UNDERGROUND PARKING LEVEL P1	100
UNDERGROUND PARKING LEVEL P2	46
AMENITY AREA	
AT GRADE EXTERIOR - PRIVATE	360.1 sq. m
AT GRADE EXTERIOR - COMMUNAL	491.1 sq. m
INTERIOR AMENITY - COMMUNAL	287.6 sq. m
EXTERIOR AMENITY - COMMUNAL	532.1 sq. m
BALCONIES - PRIVATE	1,528.1 sq. m
TOTAL	2,828.8 sq. m
TOTAL COMMUNAL	1,300.8 sq. m
REQUIRED (202 UNITS X 6 m²) = 1,212 sq. m	
REQUIRED COMMUNAL @ 50% = 606 sq. m	
SITE COVERAGE	
BUILDING FOOTPRINT	34.2%, 1,804.3 sq. m
DRIVING SURFACE	18.6%, 980.3 sq. m
LANDSCAPE AREA	47.3%, 2,496.4 sq. m
PHASE 1 TOTAL	100.0%, 5,283 sq. m
SOLID WASTE COLLECTION	
PROVIDED	
GARBAGE COMPACTED @ 0.053 cu yd per unit	10.76 yd
GMP CONTAINERS @ 0.018 cu yd per unit	3.65 yd
FIBRE CONTAINERS @ 0.018 cu yd per unit	7.71 yd
ORGANICS CONTAINERS @ one 240L per unit	4.06 yd

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED.

NOTATION SYMBOLS:

(00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

(00) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

(00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

(000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

(00) - DETAIL NUMBER

(00) - TITLE

(00) - DETAIL REFERENCE PAGE

(00) - DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

(A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.

(B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A500 SERIES.

(C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.

(D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.

(E) ALL EXTERIOR WALLS ARE TO BE TYPE "W1" UNLESS NOTED OTHER WISE.

(F) ALL INTERIOR PARTITIONS ARE TO BE TYPE "P1" UNLESS NOTED OTHER WISE.

ISSUED FOR SPC ROUND 1 CITY RESPONSE	10 04 2023
REVISED AS PER UDRP COMMENTS	29 07 2022
GENERAL REVISIONS REQUESTED BY OWNER	29 07 2022
ISSUED FOR UDRP	22 06 2022
ISSUED FOR SPC ROUND 1 CITY RESPONSE	03 05 2022
ISSUED FOR SITE PLAN CONTROL	20 12 2021
ISSUED FOR CONSULTANT COORDINATION	19 11 2021
REVISED BUILDING DESIGN	31/08/2020
REVISED BUILDING DESIGN	17/06/2020
ISSUED FOR REZONING APPLICATION-R1	31/01/2020
ISSUED FOR REZONING APPLICATION	15/10/2019
ISSUED FOR COMMUNITY MEETING	03/10/2019

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

ARCHITECT:

rla/architecture
roderick lahey architect inc.

56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

1509 MERIVALE ROAD

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN

DRAWN:	CHECKED:
RV	R.V.
SCALE:	SHEET No.
1:200	SP-1
PROJECT No.	
2034	