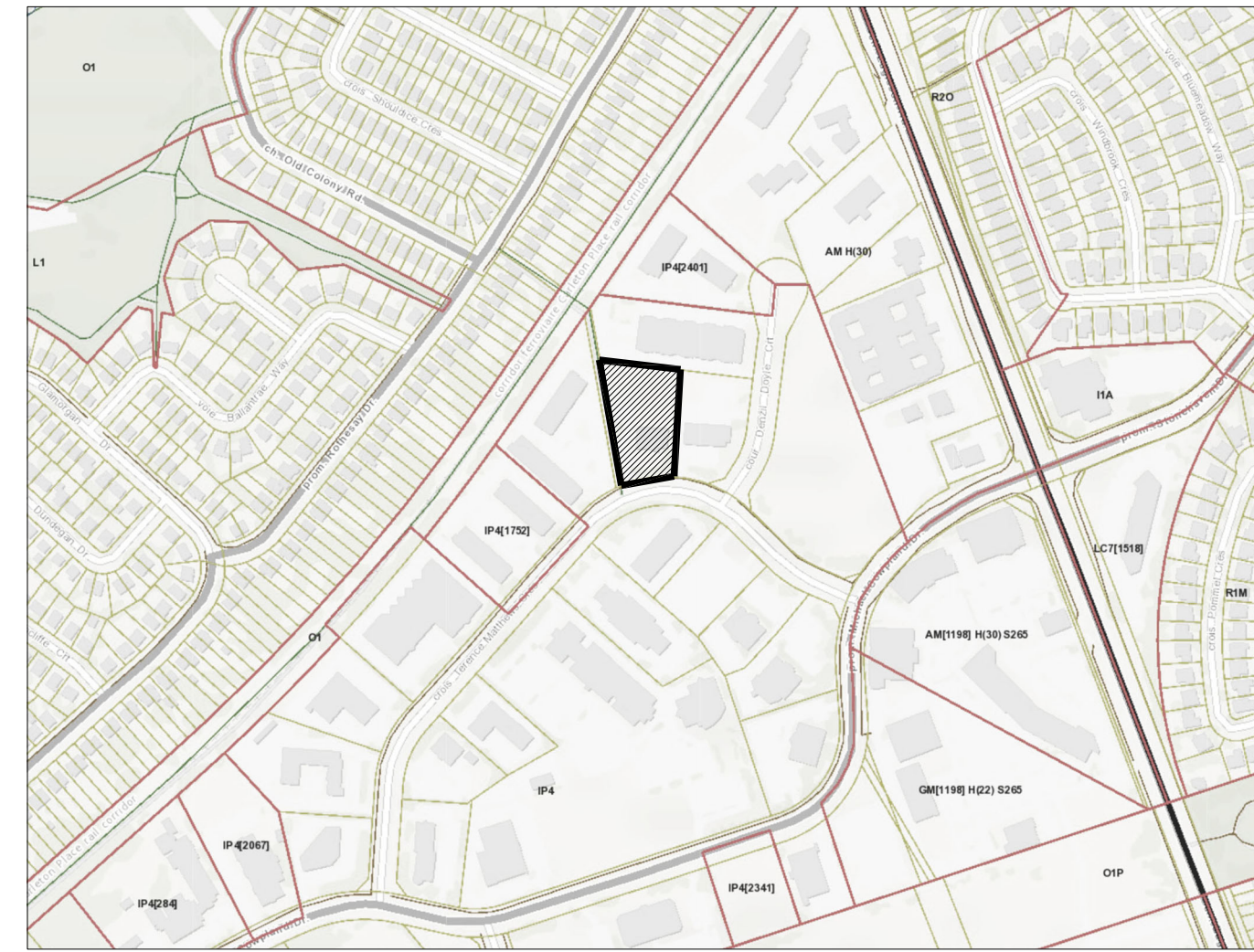


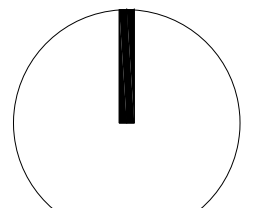
SCALE
0m 5 10 15
SCALE 1:200

- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - EASMENT
 - PAVING
 - LIGHT STANDARD
 - SIGN
 - CATCH BASIN
 - BOLLARD
 - WATER VALVE
 - FIRE HYDRANT
 - MANHOLE
 - DEPRESSED CURB
 - TACTILE WALKING STRIP



GENERAL NOTES

All drawings, specifications, related documents and design are the copyright property of the designer and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the designer's written permission. Verify all measurements on site. Do not scale the drawings.



NOT FOR CONSTRUCTION

NO.	ISSUED FOR	DATE
1	SITE PLAN CONTROL	11/10/2022
2	BUILDING PERMIT	19/12/2022
3	SPA RESPONSE	03/02/2023

SITE DATA

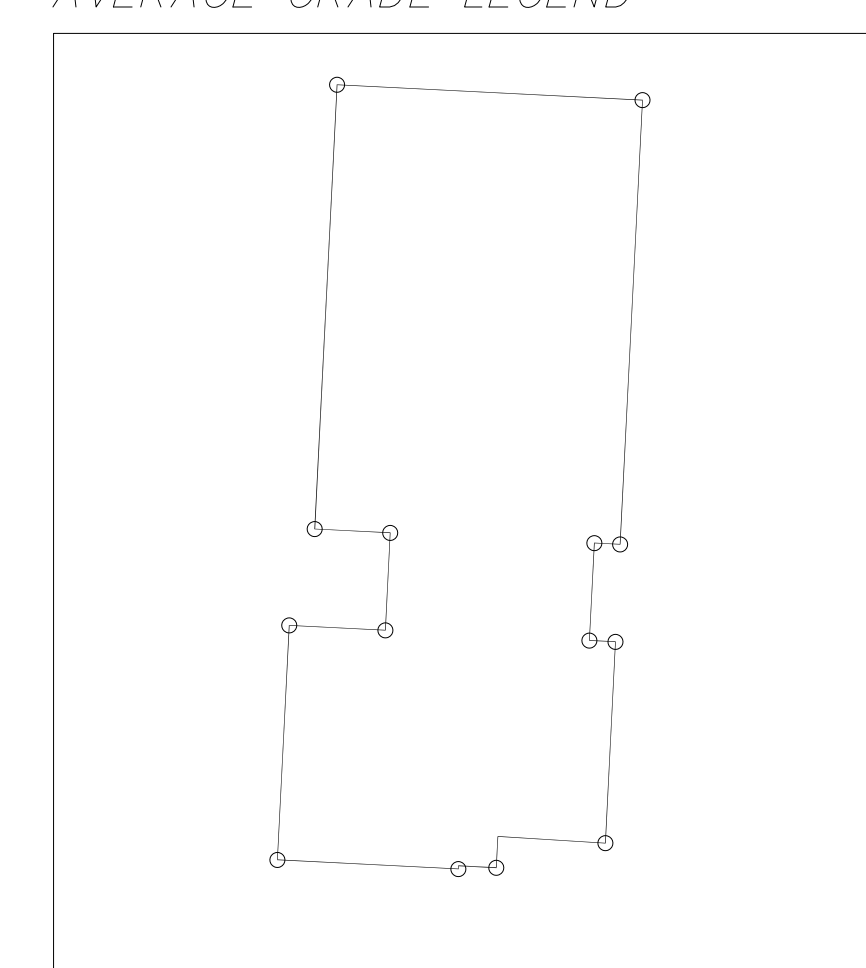
LEGAL DESCRIPTION	PART 30, 5R-10105, PIN 04744-0135
CIVIL ADDRESS	100 TERENCE MATTHEWS CR, KANATA, ON
ZONING NOTES	OFFICIAL PLAN DESIGNATION: GENERAL URBAN AREA, ZONING: BUSINESS PARK INDUSTRIAL ZONE : IP4 ABUTTING ZONES: IP4
BUILDING AREA	1407 m2

PROJECT STATS

PROVISION	REQUIRED	PROVIDED
MINIMUM LOT AREA	4,000 m2	5,480 m2
MINIMUM LOT WIDTH	45 m	45 m
MAXIMUM LOT COVERAGE	N/A	N/A
MINIMUM FRONT YARD AND CORNER SIDE YARD	12 m	24.6 m
MINIMUM INTERIOR SIDE YARD	7.5 m	7.5 m
MINIMUM REAR YARD	7.5 m	7.5 m
MAXIMUM FLOOR SPACE INDEX	2	0.25
MAXIMUM BUILDING HEIGHT	22 m	4.75 m
MINIMUM WIDTH OF LANDSCAPING II) ABUTTING A STREET	3 m	24.6 m
MINIMUM WIDTH OF LANDSCAPING III) IN ALL OTHER CASES	NO MINIMUM	N/A
PARKING	2.4/100 m2 GFA = 34	34
BICYCLE PARKING	1 / 250 m2 GFA = 6	8
LOADING SPACES	1 IF 1000-10000 m2 GFA = 1	1

AVERAGE GRADE LEGEND

	A	B
1	AVERAGE GRADE	
2	POINT	GRADE
3	1	101.69
4	2	101.64
5	3	101.69
6	4	101.69
7	5	101.69
8	6	101.36
9	7	101.52
10	8	101.52
11	9	101.42
12	10	101.44
13	11	101.69
14	12	101.69
15	13	101.5
16	14	101.69
17	AVERAGE GRADE: 101.587	



Molly Smith

MOLLY SMITH
PLANNER II
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Molly Smith at 3:27 pm, Apr 21, 2023



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PROJECT
GIFFORD CARR
INSURANCE BUILDING

DRAWING TITLE
SITE PLAN

Date 2022-06-28

Drawn by

Checked by

Scale 1:200

DRAWING NUMBER

A0.01