

LANDSCAPE ARCHITECT
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URBAN PLANNER
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LEGAL DESCRIPTION
TOPOGRAPHIC PLAN OF SURVEY OF
LOTS 1 AND 2
(SOUTH PRETORIA AVENUE)
REGISTERED PLAN 53786
CITY OF OTTAWA

SURVEYOR
Farley, Smith & Denis Surveying Ltd.
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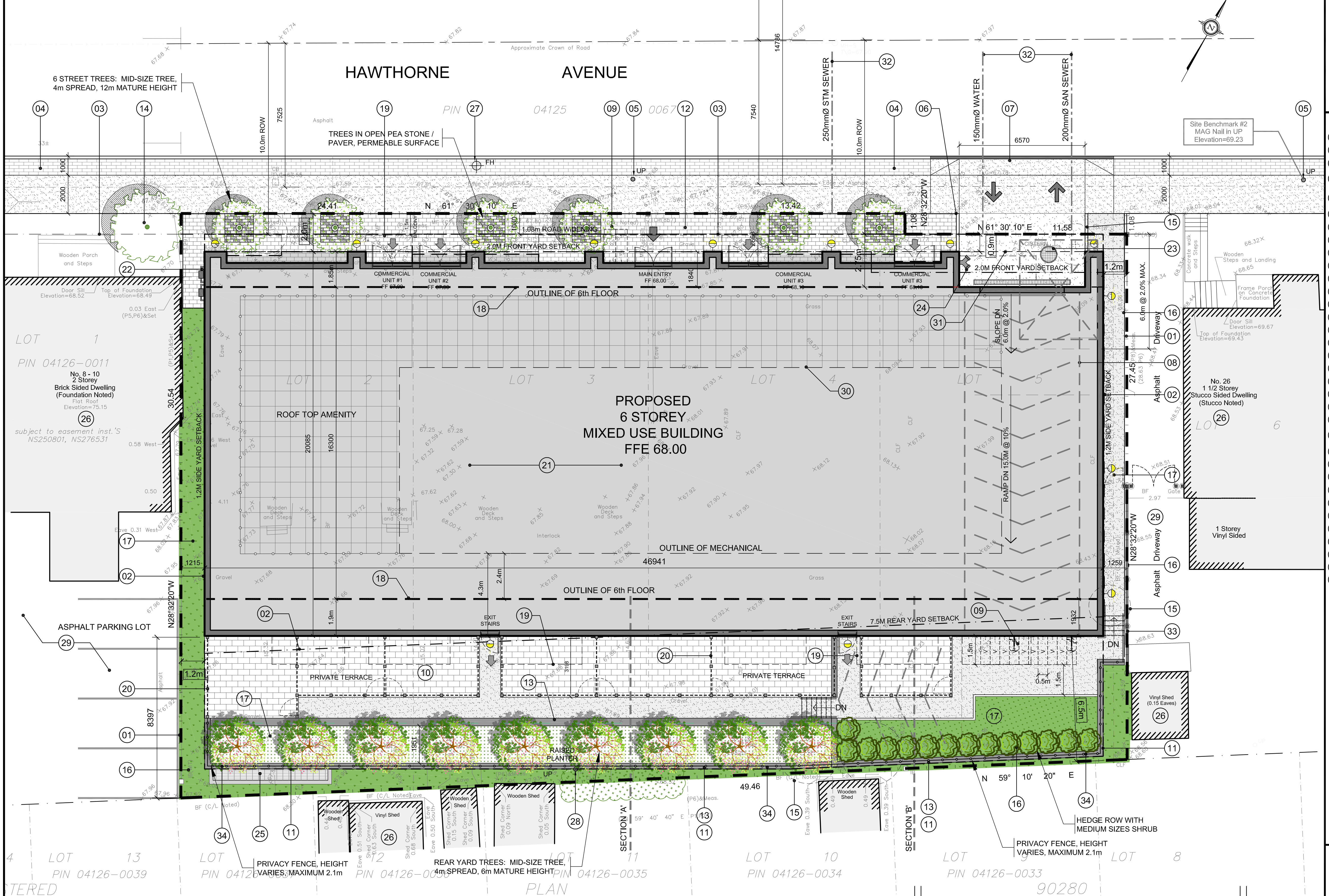
PROJECT DEVELOPER
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PROJECT INFORMATION			
Zoning By-law 2006-250 Consolidation	TM12(183)H(14.5)	SITE AREA	0.109 ha. 1,093.0 sq. m. (11,749 sq. ft.)
ZONING	REQUIRED	PROVIDED	
BUILDING HEIGHT	4 STOREYS / 14.5m (GEO. ELEV.)	6 STOREYS / 20.0m (GEO. ELEV.)	
GRADE (GEODETTIC ELEVATION - ASL)	0.0m	0.0m	
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0m	0.0m	
FRONT YARD SETBACK - MAXIMUM	3.0m	0.9m	
FRONT YARD SETBACK - MINIMUM	2.0m	0.9m	
FRONT YARD SETBACK ABOVE 15m OR 4th FL.	+ 2.0m	16.5m / 5th FL. +0.6m	
INTERIOR YARD SETBACK	1.2m	1.2m / 1.2m	
REAR YARD SETBACK	7.5m	6.5m	
FRONT YARD PERMITS PROJECTIONS	1.0m	0.0m	
REAR YARD ANGULAR PLANE	7.5m SETBACK - 45% @ 15m ht.	6.5m SETBACK 45% @ 18.0m ht.	
AMENITY AREA - TOTAL PER UNIT - 6.0m²	402m²	535m²	
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m²	201m²	217m²	
VEHICLE PARKING - RESIDENTIAL (AFTER 12 UNITS - 0.5 per unit)	26	42	
VEHICLE PARKING - VISITOR ONLY (AFTER 12 UNITS - 0.1 per unit)	5	5	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	34	70	
BICYCLE PARKING - COMMERCIAL - 1 PER 250m² GFA	1	2	
ABLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
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NOTATION SYMBOLS:

- (N) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (A) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- (W) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- (D) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- (#) - DETAIL NUMBER
- (#) - DETAIL REFERENCE PAGE
- (#) - DETAIL CROSS REFERENCE PAGE



- DRAWING NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS
 - PROPOSED ROAD WIDENING
 - 1.0m BOULEVARD + 2.0m WIDE SIDEWALK AS PART OF HAWTHORNE RECONSTRUCTION PROJECT
 - EXISTING HYDRO POLES TO BE BURIED AS PART OF HAWTHORNE RECONSTRUCTION PROJECT
 - ENTRANCE DRIVEWAY WITH 150 BARRIER CURBS
 - DEPRESSED CURB & SIDEWALK TO CITY STANDARDS
 - INTERNAL PARKING GARAGE RAMP WITH TRENCH DRAIN
 - BICYCLE PARKING SPACE
 - PRIVATE TERRACE AT GRADE
 - OUTLINE OF UNDERGROUND PARKING LEVEL
 - HARD SURFACE WALKWAY
 - LOW RETAINING / PLANTING WALL
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING CHAIN LINK TO BE REMOVED
 - SOFT LANDSCAPING
 - OUTLINE OF BUILDING ABOVE
 - BALCONY ABOVE
 - PRIVACY SCREEN
 - EXISTING BUILDING TO BE REMOVED
 - NATURAL GAS EQUIPMENT
 - STORM WATER TANK WITH ACCESS COVER & OVERFLOW CATCH BASIN - SEE CIVIL PLAN
 - SIAMENSE CONNECTION
 - AIR INTAKE / EXHAUST GRILL
 - EXISTING BUILDING ON ADJACENT LAND
 - PROPOSED FIRE HYDRANT
 - EXISTING UTILITY POLE TO BE ALTERED AS REQUIRED
 - EXISTING ASPHALT PARKING AREA ON ADJACENT LAND
 - OUTLINE OF MECHANICAL PENTHOUSE
 - GROUND FLOOR CANOPY ABOVE
 - PROPOSED SERVICES
 - BOARD FENCE TO BE REPLACES
 - SOLID PRIVACY FENCE 2.1m MAX. HEIGHT

PROJECT STATISTICS

GROSS BUILDING AREAS (CITY OF OTTAWA ZONING AREA)	
BASEMENT LEVEL	0.0 sq. m. 000 sq. ft.
GROUND FLOOR	561.0 sq. m. 6,009 sq. ft.
2nd FLOOR	774.1 sq. m. 8,332 sq. ft.
3rd & 4th FLOOR	2 x 774.1 sq. m. 1,548.2 sq. ft. 2 x 8,332 sq. ft. 16,664 sq. ft.
5th FLOOR	766.6 sq. m. 8,292 sq. ft.
6th FLOOR	631.2 sq. m. 6,794 sq. ft.
MECHANICAL PENTHOUSE	0.0 sq. m. 000 sq. ft.
TOTAL AREA	4,135.3 sq. m. 44,512 sq. ft.

UNIT STATISTICS

STUDIO UNIT	6
ONE BEDROOM UNIT	14
ONE BEDROOM + DEN UNIT	16
TWO BEDROOM UNIT	26
TWO BEDROOM + DEN UNIT	5
TOTAL	67
COMMERCIAL AREA	284.5 sq. m. 3,062 sq. ft.

CAR PARKING

REQUIRED BY ZONING BY-LAW	
RESIDENCE	- 0.5 PER DWELLING UNIT (AFTER 12 UNITS) 28
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS) 6
COMMERCIAL RETAIL	- 1.25 PER 100m² GFA (AFTER 200m² GFA) 0
TOTAL	31

PROVIDED

RESIDENCE	- 0.61 PER DWELLING UNIT 41
VISITOR	- 0.1 PER DWELLING UNIT 6
COMMERCIAL RETAIL	- NON REQUIRED 0
TOTAL	47

BICYCLE PARKING

REQUIRED	
RESIDENCE	- 0.5 PER UNIT (67 UNITS) 34
COMMERCIAL	- 1.0 PER 250m² GFA 1
TOTAL	35

PROVIDED

INTERIOR - P1 LEVEL	- 1.0 PER UNIT (67 UNITS) 67
EXTERIOR	12
TOTAL	79

REVISIONS:	
ISSUED FOR SPC APPLICATION	Apr. 12, 23
ISSUED FOR GENERAL UPDATE	Apr. 04, 23
ISSUED FOR ZA 1st ROUND REVIEW	Mar. 17, 23
ISSUED FOR COMMUNITY CONSULTATION	Jan. 16, 23
ISSUED FOR ZONING AMENDMENT	Sept. 15, 22
ISSUED FOR CONSULTANT REVIEW	Aug. 17, 22
ISSUED FOR DESIGN CONCEPT	Aug. 11, 22
No. DESCRIPTION	DATE

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**

NORTH ARROW:

SEAL DATE: STAMP DATE

CLIENT: **REAL ESTATE JBHoldings Inc**

LOT COVERAGE

PAVED SURFACE =	18.5 sq. m. 1.3%
BUILDING FOOTPRINT =	911.3 sq. m. 63.0%
LANDSCAPE OPEN SPACE =	517.2 sq. m. 35.7%
TOTAL =	1,447.0 sq. m. 100.0%

AMENITY SPACE

PRIVATE TERRACE AT GRADE =	100.0 sq. m.
ROOF TOP COMMUNAL TERRACE =	210.0 sq. m.
6th FLOOR PRIVATE TERRACE =	110.0 sq. m.
PRIVATE BALCONIES =	200.0 sq. m.
TOTAL =	620.0 sq. m.
TOTAL COMMUNAL =	210.0 sq. m.
REQUIRED - 6.0M² PER UNIT (67) =	402.0 sq. m.
REQUIRED COMMUNAL @ 50% =	201.0 sq. m.

REFUGE REQUIREMENT (67 UNITS)

GARBAGE	- 0.11 PER UNIT	7 YARDS
RECYCLING GMP	- 0.018 PER UNIT	2 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	3 YARDS
COMPOST	- 240L PER 50 UNITS	2

SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- CITY SIDEWALK - BOULEVARD
- ASPHALT WALK / DRIVEWAY
- SOFT LANDSCAPING
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- COMMERCIAL DOOR / FIRE EXIT
- PROPERTY LINE
- CITY STREET LIGHTING

BUILDING CONSTRUCTION AREAS

P2 PARKING LEVEL	
P1 PARKING LEVEL	
GROUND FLOOR	
2nd FLOOR	
3rd & 4th FLOOR	
5th FLOOR	
6th FLOOR	
MECHANICAL LEVEL	
TOTAL AREA (ABOVE GROUND)	

KEY MAP

