

REQUIRED REAR YARD SETBACK

30% OF LOT DEPTH

REAR YARD SOFT LANDSCAPE AREA (78.7 m² | 55.7%)

PROVIDED REAR YARD SETBACK

25% OF LOT DEPTH

—EXISTING BOARD

—EXISTING TIMBER

RETAINING WALL

TO BE REMOVED

DETACHED GARBAGE STORAGE

EXISTING BOARD FENCE———

FENCE TO BE REMOVED

EXISTING BOARD FENCE—

BALCONY

592

SUNKEN† TERRACE

TERRACE

PAVERS, REFER TO CIVIL &

LANDSCAPE

SP-01 SCALE: 1 : 125

LOCATED IN RETAINED TREE CRZ, CONSTRUCT AS PER LANDSCAPE PLANS

ALUM SHED

4 SITE PLAN

SP-01 SCALE: 1 : 75

SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHICAL DETAILS PART 1 - PLAN SHOWING

REGISTERED PLAN 99 CITY OF OTTAWA

5000

2214

FRONT YARD

SOFT LANDSCAPE

AREA

(31.7 m² | 59.2%)

FRONT YARD SETBACK

AVERAGE OF ABUTTING SETBACKS

3194

3509

SUNKEN

PAVER GRID SYSTEM
REFER TO LANDSCAPE

BALCONY

LOCATED IN RETAINED TREE

CRZ, CONSTRUCT AS PER LANDSCAPE PLANS

DEPRESSED SIDEWALK &
CURB TO BE REPLACED BY
FULL HEIGHT, REFER TO CIVIL

205 ARMSTRONG

2 STOREY VINYL SIDED DWELLING

Z

LINE OF BALCONY-

LEVELS 01 & 02

LINE OF ROOF-

LINE OF BUILDING—

LEVELS 01-03

LINE OF BUILDING-LEVEL 01

LINE OF BUILDING-

LEVELS 02 & 03

213 ARMSTRONG 1 1/2 STOREY VINYL SIDED DWELLING OVERHEAD

1 STOREY

-LINE OF BALCONY

LEVELS 01-03

—LINE OF ROOF

—LINE OF BUILDING

LEVELS 01-03

+--LINE OF BALCONY

LEVELS 01-03

VINYL SIDED ADDITION

31290

211 ARMSTRONG STREET

AVG. EXISTING GRADE: 63.860m ASL LEVEL 01: 65.270m ASL

ROOF LEVEL: 74.422m ASL

BUILDING HEIGHT: 10.562m

29682

30484 LOT DEPTH

EXISTING 1 1/2 STOREY———

VINYL SIDED DWELLING TO BE DEMOLISHED

INTERLOCKING PAVERS

PROPOSED 3 STOREY LOW-RISE APARTMENT

17930

WINDOW WELL

PIN 04094 - 0261 (LT) J.D. BARNES LIMITED, 2022

SURVEY INFO SCALE: NTS

SITE PLAN SYMBOLS LEGEND BUILDING ENTRANCE **BUILDING EXIT**

WOOD BOARD FENCE

OHW — OVERHEAD WIRES

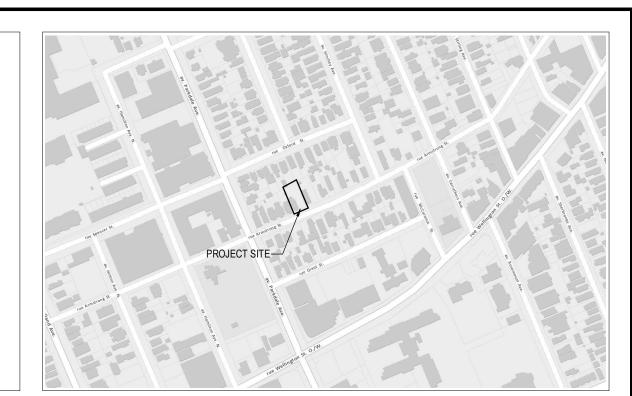
UP UTILITY POLE

→ BICYCLE PARKING

EXISTING TREE (PRESERVE & PROTECT) REFER TO CIVIL EXISTING TREE (TO BE REMOVED)

REFER TO CIVIL

CVMDOLCLECEND



3 LOCATION PLAN

7	SYMBOLS LEGEND	(3)	LOCA
)	SCALE: N.T.S.	SP-01	SCALE: N.

SITE STATISTICS					
ZONING MECHANISM [R4-UB]	REQUIRED	PROVIDED			
MIN. LOT WIDTH 162(a)	15m	15.362m			
MIN. LOT AREA 162(a)	450m²	468.3m²			
MIN. FRONT YARD SETBACK 144(1)(a)	(3824 + 3194) /2	3.509m			
MIN. INTERIOR SIDE YARD SETBACK Table 162A	1.5m	1.5m			
MIN. REAR YARD AREA 144(3)(a)	25% of lot area 468.3 * 0.25 = 117.1m ²	141.24m²			
MIN. REAR YARD SETBACK 144A(iii)	[30% of lot depth] 9.15m	[25% of lot depth] 7.62m			
MAX. BUILDING HEIGHT Table 162A	11m	10.56m			
PARKING SPACE RATES 101(3)(a)	None required for first 12 units				
MIN. VISITOR PARKING RATES 102(2)	None required for first 12 units	-			
BICYCLE PARKING RATES Table 111A(b)(i)	0.5 per dwelling unit	6 Spaces			
REAR YARD SOFT LANDSCAPING 161(15)(b)(iii)	50% of the rear yard area must be softly landscaped.	78.7m² / 141.24m² = 55.7%			
FRONT YARD SOFT LANDSCAPING Table 161	40% of the front yard area must be softly landscaped.	31.7m² / 53.53m² = 59.2%			
MIN. 2-BEDROOM UNIT RATES 161(16)(b)(i)	25% of dwelling units must have at least two bedrooms.	50% (6 Units)			
MIN. GLAZING RATES 161(20)(g)	The front facade must comprise at least 25% windows.	58.093m² / 138.154m² = 42.0%			
FACADE ARTICULATION / BALCONIES 161(20)(j)(ii)	No additional recession of the front facade is required when balconies are provided for every unit facing a public street	Complies			

2	ZONING
\SP-01/	SCALE: N.T.S.

UNIT BREAKDOWN					
FLOOR	1 BEDROOM	1 BED + DEN	2 BEDROOM	TOTAL	
LEVEL 00	2		1	3	
LEVEL 01	2		1	3	
LEVEL 02	1		2	3	
LEVEL 03	1		2	3	
TOTAL	6	0	6	12	

on the front facade.

BUILDING EFFICIENCY					
FLOOR	BUILDING AREA	RENTABLE AREA	EFFICIENCY		
LEVEL 00	2,365 sqft	1,850 sqft	78%		
LEVEL 01	2,365 sqft	1,850 sqft	78%		
LEVEL 02	2,395 sqft	2,000 sqft	84%		
LEVEL 03	2,395 sqft	2,000 sqft	84%		
TOTAL	9,520 sqft	7,700 sqft	81%		

SP-01 SCALE: N.T.S.

stu		VN	BREAKDOW	UNIT
!	TOTAL	2 BEDROOM	1 BED + DEN	1 BEDROOM
	3	1		2
	3	1		2
211 ARMSTI	3	2		1

211 ARMSTRONG STREET
OTTAWA, ON
K1V 211/2

10 REISSUED FOR SITE PLAN CONTROL

ISSUED FOR COORDINATION

ISSUE RECORD

O ARCHITECTS

RYAN M. KOOLWINE

LICENCE 7370

REISSUED FOR SITE PLAN CONTROL

REISSUED FOR SITE PLAN CONTROL

REISSUED FOR SITE PLAN CONTROL

ISSUED FOR SITE PLAN CONTROL

23-03-30

23-03-15

23-02-15

23-01-27

22-07-26 22-06-22

22-05-18

22-05-13

22-04-29

22-03-16

ENERAL ARCHITECTURAL NOTES:

without the expressed consent of the Architect.

This drawing is the property of the Architect and may not be reproduced or used

Drawings are not to be scaled. The Contractor is responsible for checking and

verifying all levels and dimensions and shall report all discrepancies to the

Upon notice in writing, the Architect will provide written/graphic clarification or

supplementary information regarding the intent of the Contract Documents. The Architectural drawings are to be read in conjuction with all other Contract

Documents including Project Manuals and the Structural, Mechanical and

Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.

Mechanical and Electrical items not clearly located will be located as directed by

These documents are not to be used for construction unless specifically noted for

Architect and obtain clarification prior to commencing work.

4	NOTED	JDH	RMK
PROJ	SCALE	DRAWN	REVIEWE

SITE	PLAN	

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca