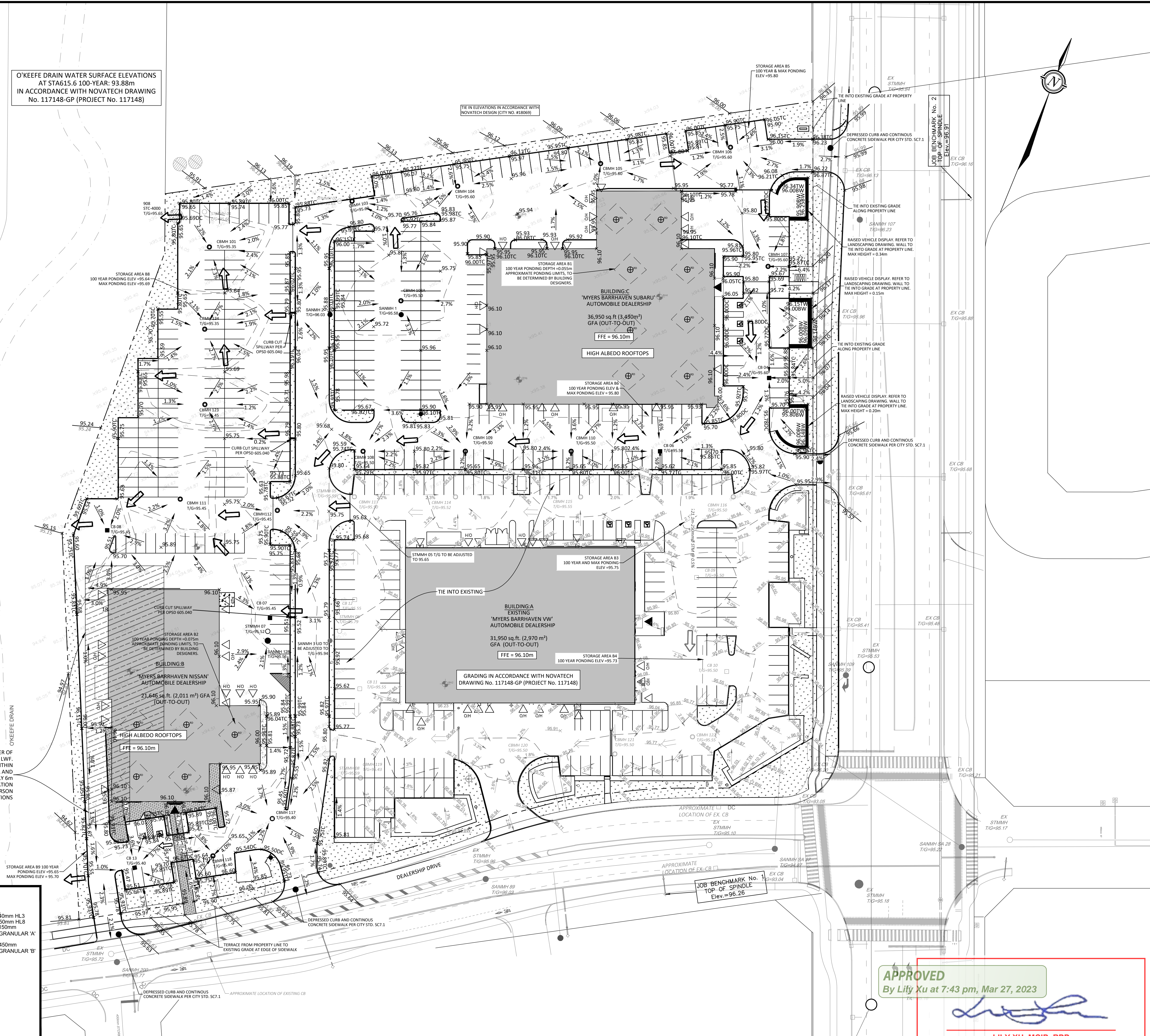
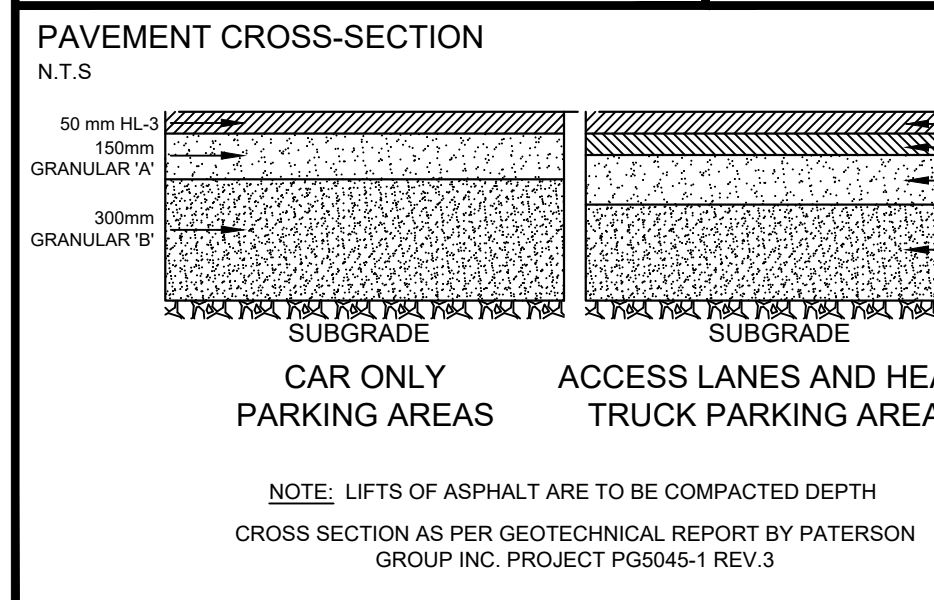
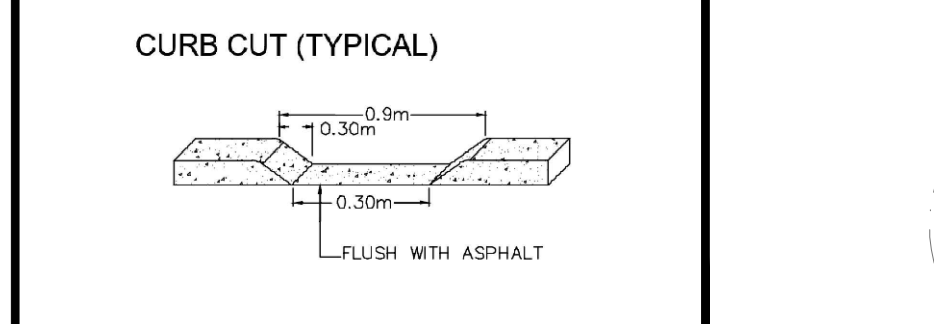
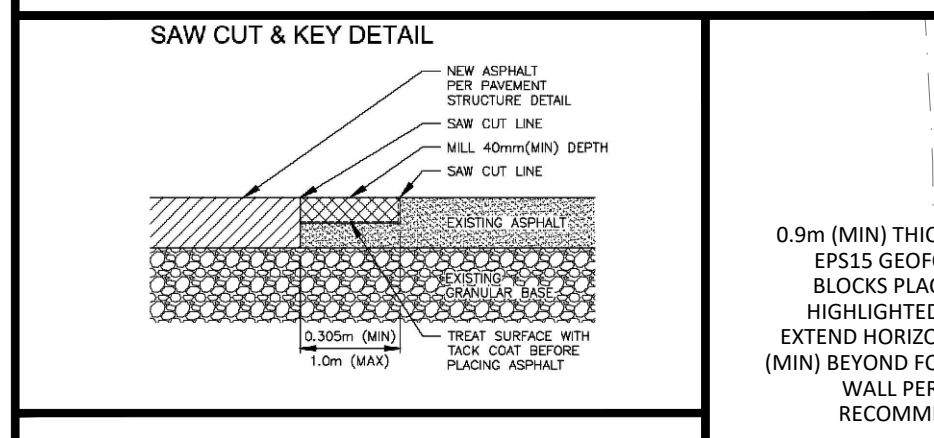


- NOTES:
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
 - CURB DETAILS SEE SCL 1, SCL 2 AND SCL 3.
 - BOLLARD DETAILS SEE SCL 4 AND SCL 5.
 - MAXIMUM SLOPE VARIES, SEE PRIVATE APPROACH BY-LAW.
 - UNCONTROLLED INTERSECTION MEANS AN ENTRANCE NOT LOCATED AT A TRAFFIC SIGNAL OR ALL-WAY STOP CONTROL.



GENERAL NOTES

- THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND ARE NOT A GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.
- THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED FROM INFORMATION SUPPLIED BY (OR SHOWN ON) ANNS, O'SULLIVAN, VOLLEBERG LTD. JUNE 19 1996-19 AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR.
- THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
- THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITIES.
- EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE CITY.
- TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
- DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/CITY.
- ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE CITY'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
- ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY:
 - ELECTRICAL SERVICE - HYDRO ONE,
 - GAS SERVICE - ENBRIDGE,
 - TELEPHONE SERVICE - BELL CANADA,
 - TELEVISION SERVICE - ROGERS.
- INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONE, BELL AND THE CITY.
- CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION.
- ALL PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE SPECIFIED.

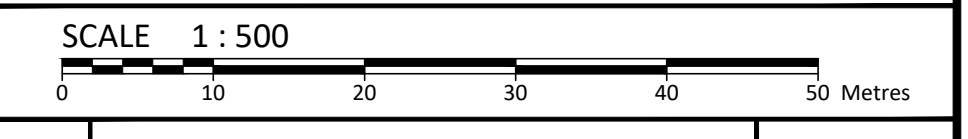


LEGEND

- LEGAL BOUNDARY
- EXISTING DITCH
- PROPOSED ASPHALT
- PROPOSED FENCE
- BUILDING ENTRANCE
- PROPOSED BUILDING OUTLINE
- EXISTING BOREHOLE
- EXISTING CATCHBASIN
- PROPOSED TOP OF CURB GRADE
- PROPOSED GRADE
- LOT CORNER GRADE
- PROPOSED STORM MANHOLE CATCHBASIN
- PROPOSED STORM CATCHBASIN
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED OVERLAND FLOW
- PROPOSED DEPRESSED CURB
- EXISTING OVERLAND FLOW

BENCHMARKS:

No.	DESCRIPTION	ELEVATION
1	TOP OF SPINDLE	96.26m
2	TOP OF SPINDLE	96.91m



No.	Revision/Issue	Date
04	ISSUED FOR APPROVAL	11/04/2022
03	ISSUED FOR REVIEW	10/20/2022
01	ISSUED FOR REVIEW	08/23/2022
00	ISSUED FOR REVIEW	03/02/2022

Check and verify all dimensions before proceeding with the work. Do not scale drawings.

McINTOSH PERRY
115 Walgreen Road, RR3, Carp, ON K0A 1L0
Tel: 613-836-2184 Fax: 613-836-3742
www.mcintoshperry.com

(FOR REVIEW ONLY)
NOT FOR CONSTRUCTION

Stamp:

Client: **ZENA INVESTMENTS CORPORATION**
1200 BASELINE ROAD, OTTAWA, ON K2C 0A6

Project: **4149 STANDHERD DRIVE**
MYERS NISSAN & SUBARU

NEPEAN ONTARIO

Drawing Title: **GRADING PLAN**

Scale: 1:500 Project Number: CCO-22-2933

Drawn by: M.M. Checked by: A.G. Designed by: M.M.

APPROVED
By Lily Xu at 7:43 pm, Mar 27, 2023

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

PROJECT: 4149 Standherd Drive, 115 Walgreen Road, RR3, Carp, ON K0A 1L0
 DRAWING: CCO-22-2933-GRADING PLAN
 DATE: MARCH 2023
 SHEET: SC7.1 OF 7
 DESIGNED BY: M.M.
 CHECKED BY: A.G.
 DATE PLOTTED: Friday, November 04, 2022 11:45 AM