



CLIENT:  
**ACCESS PROPERTY DEVELOPMENT**  
100 Canadian Rd. Suite 300  
Toronto, ON M1R 4Z5

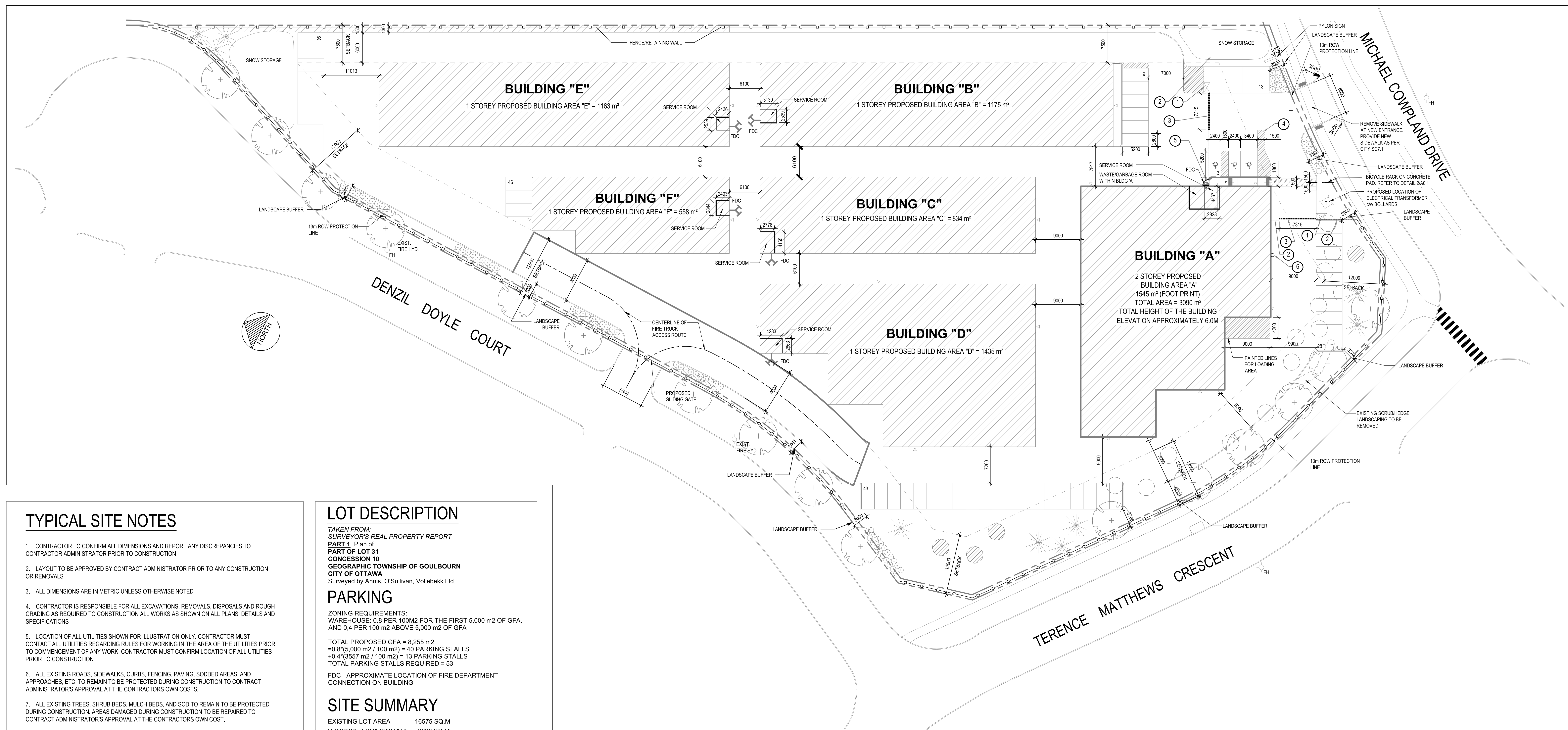
CLIENT REF #

PROJECT:  
**Access Storage 60 Denzil Doyle Ct**

REV PLAN

DISCLAIMER:  
THIS DRAWING AND ANY INFORMATION CONTAINED HEREIN SHALL NOT BE USED, REPRODUCED OR FORWARDED WITHOUT WRITTEN PERMISSION OF ARCHITECTURE 49. THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND UTILITIES LOCATIONS FROM THE RECORD AND THE DRAWING IS NOT TO BE SCALE.

ISSUED FOR: REVISION



**TYPICAL SITE NOTES**

- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACTOR ADMINISTRATOR PRIOR TO CONSTRUCTION
- LAYOUT TO BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS
- ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, REMOVALS, DISPOSALS AND ROUGH GRADING AS REQUIRED TO CONSTRUCTION ALL WORKS AS SHOWN ON ALL PLANS, DETAILS AND SPECIFICATIONS
- LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- ALL EXISTING ROADS, SIDEWALKS, CURBS, FENCING, PAVING, SODDED AREAS, AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CONTRACT ADMINISTRATOR'S APPROVAL AT THE CONTRACTOR'S OWN COSTS.
- ALL EXISTING TREES, SHRUB BEDS, MULCH BEDS, AND SOD TO REMAIN TO BE PROTECTED DURING CONSTRUCTION. AREAS DAMAGED DURING CONSTRUCTION TO BE REPAIRED TO CONTRACT ADMINISTRATOR'S APPROVAL AT THE CONTRACTOR'S OWN COST.
- USE SPECIFIED BACKFILL IN ALL TRENCHES RUNNING BELOW ALL STRUCTURES, PAVING, WALKWAYS, ETC.
- FILL ALL HOLES AND LOW AREAS TO DESIGN SUBGRADE WITH COMPACTED FILL (SUITABLE TO SURFACE FINISH). FOR SODDED/PLANTED AREAS USE COMPACTED CLEAN EARTH FILL SUITABLE FOR PLANT GROWTH. FOR PAVED AREAS USE COMPACTED GRANULAR BASE.
- ALL TREES WITHIN OR IMMEDIATELY ADJACENT TO AREA OF WORK TO BE PROTECTED TO CITY OF OTTAWA TREE PROTECTION STANDARDS.

**ONTARIO BUILDING CODE**

- SITE PLAN DESIGN IS BASED ON "SECTION 3.10. SELF-SERVICE STORAGE BUILDINGS".
- OCCUPANCY CLASSIFICATION IS F-2, ALL BUILDING ARE SPRINKLERED. OCCUPANT LOAD DOES NOT APPLY.
- SPATIAL SEPARATIONS DOES NOT APPLY BETWEEN BUILDINGS AS PER OBC 3.10.4.3 (4). THE DISTANCE BETWEEN INDIVIDUAL BUILDINGS SHALL NOT BE LESS THAN 6M.
- PER OBC 3.10. PROVISIONS FOR FIRE FIGHTING MEETS 9M WIDE ACCESS ROUTE AND UNOBSTRUCTED PATH OF TRAVEL FOR THE FIREFIGHTER FROM THE VEHICLE TO THE FIRE DEPARTMENT CONNECTION (FDC) OF MAX. 45M.

**ZONING**

60 Denzil Doyle Court  
SITE INFORMATION  
Legal Description:  
Part of Lot 31, Concession 10, Geographic Township of Goulbourn, City of Ottawa

Municipal Address:  
60 Denzil Doyle Court, Kanata, ON

Site Area:  
16,575 m<sup>2</sup> (178,411.8 ft<sup>2</sup>)

Building Area:  
Existing: N/A  
Proposed: 8,255 m<sup>2</sup> (88,856.1 ft<sup>2</sup>)

ZONING INFORMATION:  
Zoning:  
Business Park Industrial, Subzone 4 Kanata South Business Park (IP4)

Lot Coverage (Sec 205, Table 205f):  
Required: 50% (maximum)  
Proposed: 40%

Building Height (Sec. 205, Table 205f(i)):  
Required: 22 m (maximum)  
Proposed: 8.6 m

Floor Space Index (Sec. 205, Table 205f(j)):  
Required: 2 (maximum)  
Proposed: 0.5

8,255m<sup>2</sup>

Required Yards (Sec. 206, Table 206B):  
Min. Front Yard: Building A - 12 m (12 m required)  
Min. Interior Side Yard: Buildings B and E - 7.5 m (7.5 m required)  
Min. Rear Side Yard: 12 m (7.5 m required)

**LOT DESCRIPTION**

TAKEN FROM:  
SURVEYOR'S REAL PROPERTY REPORT  
PART 1 Plan of  
PART OF LOT 31  
CONCESSION 10  
GEOGRAPHIC TOWNSHIP OF GOULBOURN  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

**PARKING**

ZONING REQUIREMENTS:  
WAREHOUSE: 0.8 PER 100M<sup>2</sup> FOR THE FIRST 5,000 m<sup>2</sup> OF GFA,  
AND 0.4 PER 100 m<sup>2</sup> ABOVE 5,000 m<sup>2</sup> OF GFA

TOTAL PROPOSED GFA = 8,255 m<sup>2</sup>  
= 0.8 (5,000 m<sup>2</sup> / 100 m<sup>2</sup>) = 40 PARKING STALLS  
+ 0.4 (3,255 m<sup>2</sup> / 100 m<sup>2</sup>) = 13 PARKING STALLS  
TOTAL PARKING STALLS REQUIRED = 53

FDC - APPROXIMATE LOCATION OF FIRE DEPARTMENT CONNECTION ON BUILDING

**SITE SUMMARY**

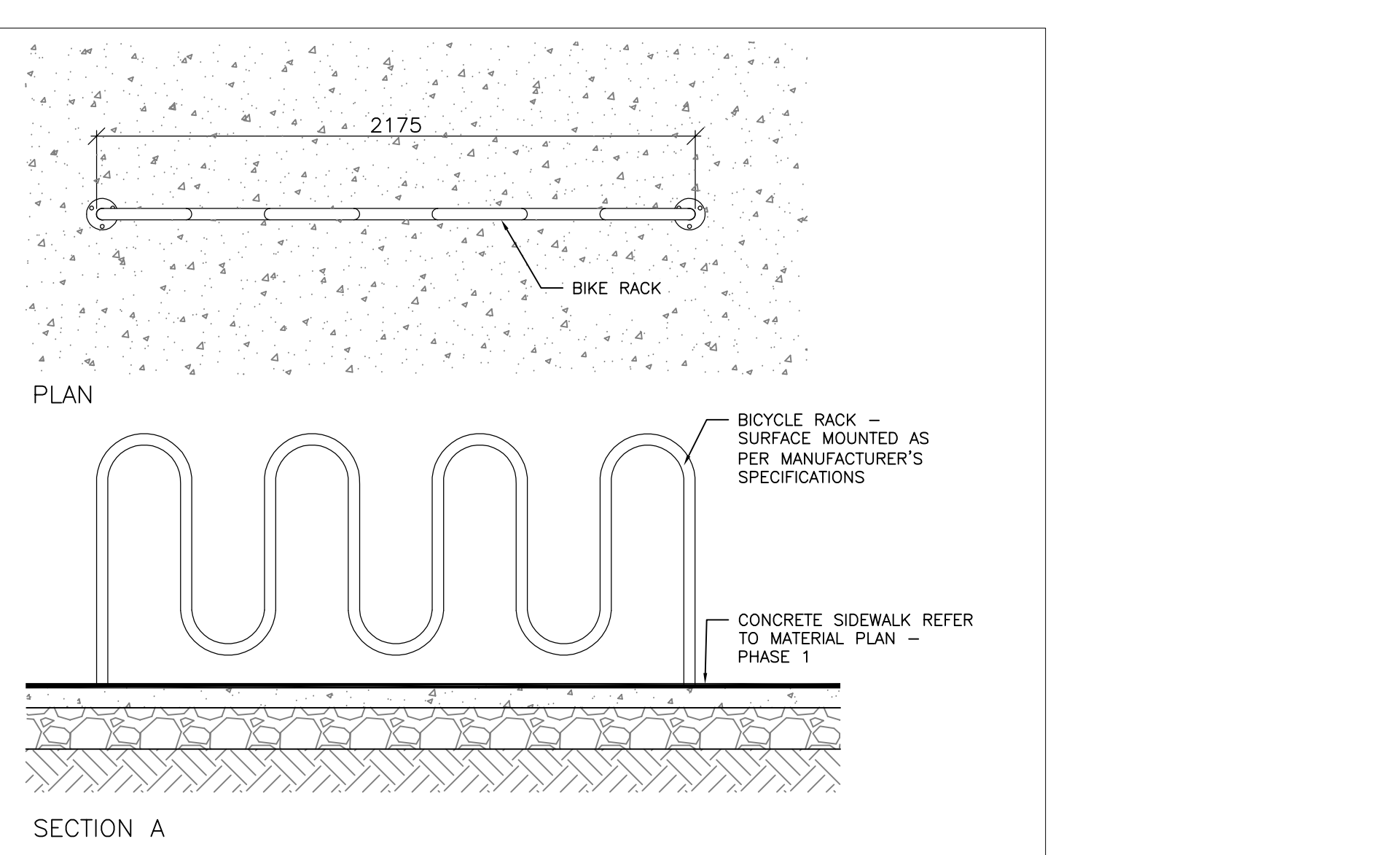
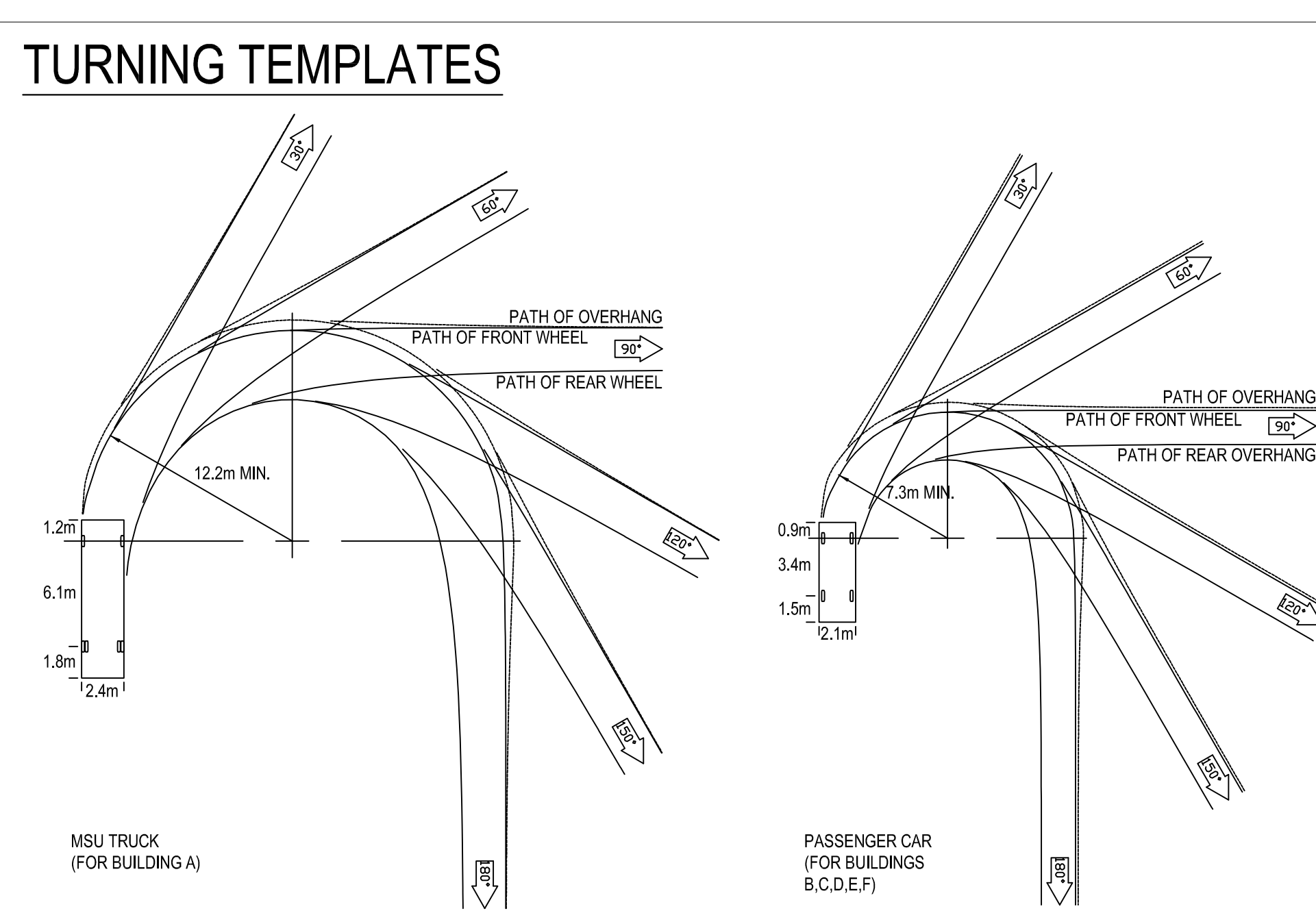
EXISTING LOT AREA 16575 SQ.M  
PROPOSED BUILDING "A" 3090 SQ.M  
PROPOSED BUILDING "B" 1173 SQ.M  
PROPOSED BUILDING "C" 834 SQ.M  
PROPOSED BUILDING "D" 1435 SQ.M  
PROPOSED BUILDING "E" 1163 SQ.M  
PROPOSED BUILDING "F" 558 SQ.M  
TOTAL PROPOSED G.F.A. 8255 SQ.M

LOT COVERAGE (8255-1545 BLDG"A") 6710 40% PROPOSED  
THE MAXIMUM PERMITTED LOT COVERAGE IS 55% AS PER TABLE 205(C)

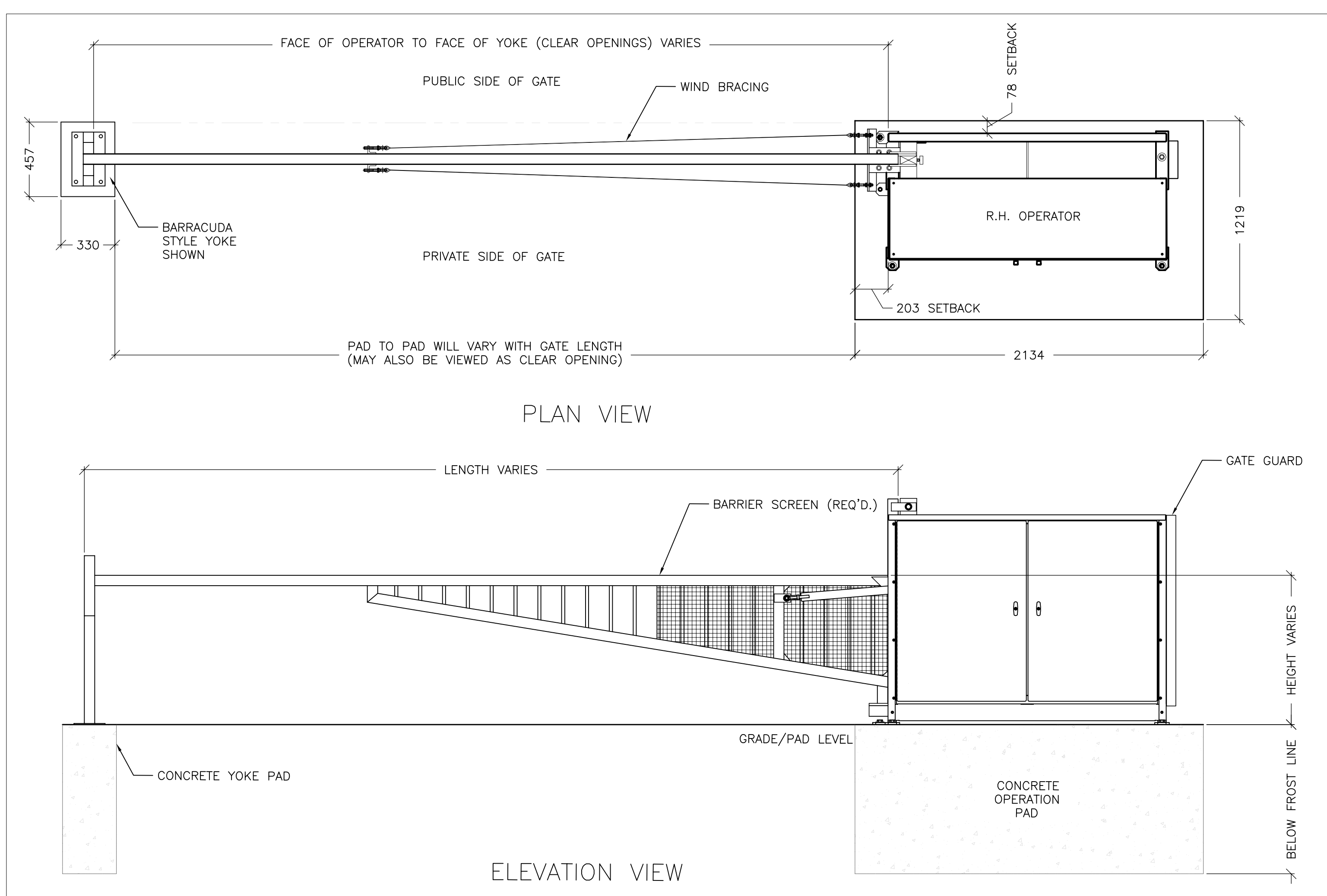
**LEGEND**

- ENTRANCE
- PROPERTY LINE
- FIRE HYDRANT
- SIDEWALK/CONCRETE SURFACE
- SETBACK LINE
- FENCE LINE
- PAINTED LINES
- PADMOUNT TRANSFORMER BY HYDRO OTTAWA. PROVIDE TRANSFORMER BASE TO HYDRO OTTAWA STANDARDS. PRECAST TRANSFORMER BASE AND BOLLARDS BY GENERAL CONTRACTOR. REFER TO HYDRO OTTAWA STANDARD DETAILS UFS0001, UGS0002 AND UTS0008.
- BOLLARD
- DENOTES TREE TO BE REMOVED. REFER TO LANDSCAPING DRAWINGS
- DENOTES TREE TO REMAIN. REFER TO LANDSCAPING DRAWINGS
- DENOTES PROPOSED TREE. REFER TO LANDSCAPING DRAWINGS
- DENOTES PROPOSED SCRUBS/ORNAMENTAL GRASSES. REFER TO LANDSCAPING DRAWINGS
- DENOTES PROPOSED TREE. REFER TO LANDSCAPING DRAWINGS
- GATE OPERATOR CONCRETE SLAB (1220 x 2150, 4x7)
- 180 (8) HIGH CRUSHED PICKET BACK DECORATIVE FENCE. REFER TO DETAIL 310(1)
- 7.315m (24) BUCKEYE VPOH AUTOGATE. REFER TO DETAIL 310(1)
- KEYPAD GOOSE NECK MOUNTED PROTECTED BY 2 BOLLARDS
- 180 (8) HIGH CRUSHED PICKET BACK DECORATIVE FENCE. WITH EXIT ONLY MAIN GATE AT SIDEWALK
- WALL MOUNTED KEYPAD

**1 SITE PLAN**  
SCALE: 1:300



**2 BIKE RACK**  
SCALE: 1:20



**3 PIVOT GATE**  
SCALE: 1:20

NO.	DATE	DESCRIPTION
1	2022.12.12	ISSUED FOR SITE PLAN APPLICATION
2	2023.03.15	RE-ISSUED FOR SITE PLAN APPLICATION

PROJECT NO:	218-00058-11	DATE:	DECEMBER 2022
DESIGNED BY:	JC/AB	DATE:	DECEMBER 2022
DRAWN BY:	NM/AS	DATE:	DECEMBER 2022
CHECKED BY:	JC/AB	DATE:	DECEMBER 2022
DISCIPLINE:	ARCHITECTURAL	DATE:	DECEMBER 2022

SHEET NUMBER: **A0.1**

DATE OF: 1

CONSULTANT: SUB CONSULTANT  
 CONSULTANT: SUB CONSULTANT



Access Storage 60 Denzil Doyle Ct

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**BUILDING "A"**

**1 BUILDING A OVERALL GROUND FLOOR PLAN**  
 SCALE: 1:75

- 5'x5' = 12
  - 5'x8' = 16
  - 5'x10' = 52
  - 9'-2"x10' = 3
  - 10'x10' = 7
  - 10'x13' = 8
  - 10'x14' = 8
  - 10'x15' = 24
  - 11'x20' = 5
  - 12'-9"x15' = 1
  - 10'x25' = 1
- TD-1 = 23.7 m  
 TD-2 = 32.6 m

PROJECT NO.	224-0005-11	DATE	DECEMBER 2022
PROJECT NAME	Access Storage 60 Denzil Doyle Ct	PROJECT NO.	224-0005-11
DESIGNED BY	JCHAB	DATE	DECEMBER 2022
DRAWN BY	NMM AS	PROJECT NO.	224-0005-11
CHECKED BY	JCHAB	DATE	DECEMBER 2022
DISCIPLINE	ARCHITECTURAL	PROJECT NO.	224-0005-11
TITLE	BUILDING A - OVERALL PLANS - GROUND FLOOR	PROJECT NO.	224-0005-11
SHEET NUMBER	A-A2.1	PROJECT NO.	224-0005-11
DATE		PROJECT NO.	224-0005-11

CONSULTANT: SUB CONSULTANT  
 CONSULTANT: SUB CONSULTANT



CLIENT REF #  
 PROJECT  
 Access Storage 60 Denzil Doyle Ct

FLOOR PLAN

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ISSUED FOR: NETWORK

PROJECT NO.	224-00000-11	DATE	DECEMBER 2022
ORIGINAL SCALE	1:75	IF THIS BAR IS NOT	STAMPED, PROJECT
DESIGNED BY	JCHAB	YOUR PLOTTING SCALE	
DRAWN BY	NMM/AS		
CHECKED BY	JCHAB		

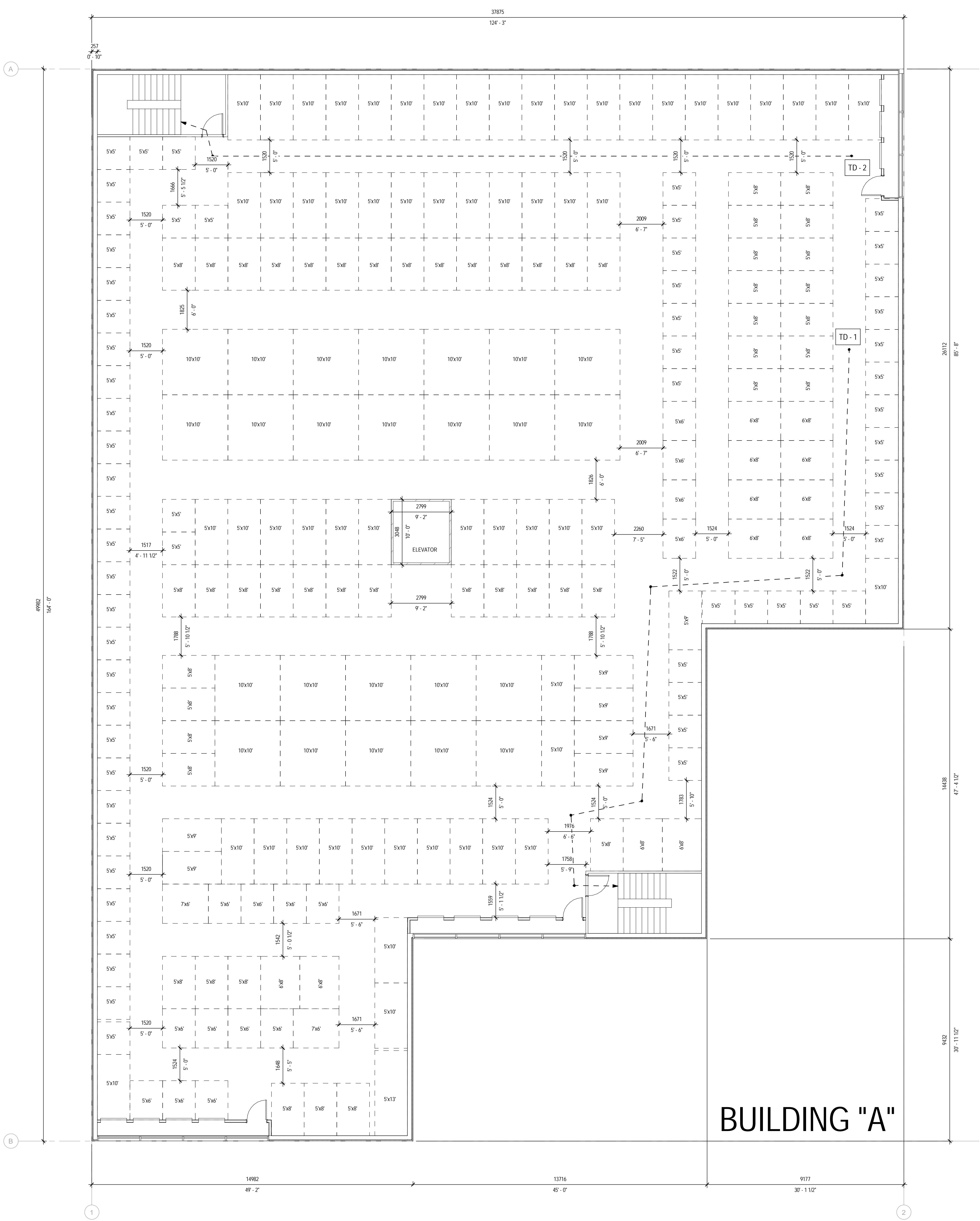
DATE	2023.03.15	RE-ISSUED FOR SITE PLAN APPLICATION	
PROJECT NO.	224-00000-11	DATE	DECEMBER 2022

DISCIPLINE: ARCHITECTURAL

TITLE: BUILDING A- OVERALL PLANS - 2ND FLOOR

SHEET NUMBER: A-A2.2

DATE OF: 02/23



1 BUILDING A OVERALL 2ND FLOOR PLAN  
 SCALE: 1:75

- 5x5' = 61
- 5x6' = 15
- 5x8' = 51
- 5x9' = 7
- 5x10' = 59
- 5x13' = 1
- 6x8' = 12
- 7x6' = 2
- 10x10' = 24

TD-1 = 38.1 m  
 TD-2 = 32.2 m

BUILDING "A"

CONSULTANT: SUB CONSULTANT  
 CONSULTANT: SUB CONSULTANT

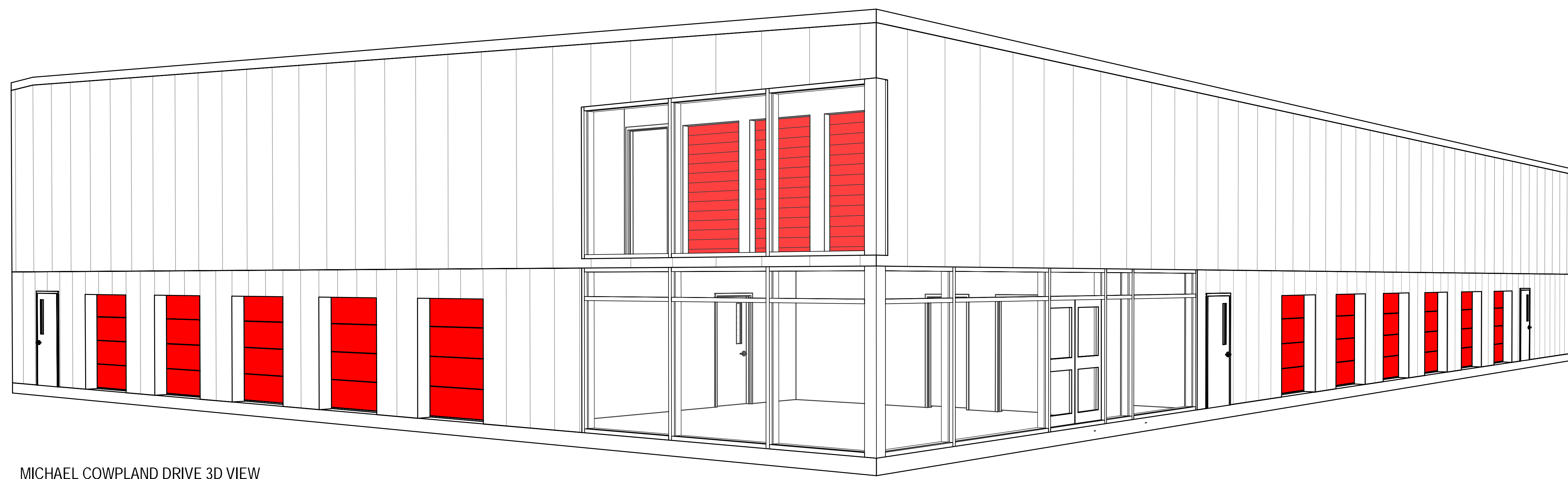


CLIENT REF: A  
 PROJECT: Access Storage 60 Denzil Doyle Ct

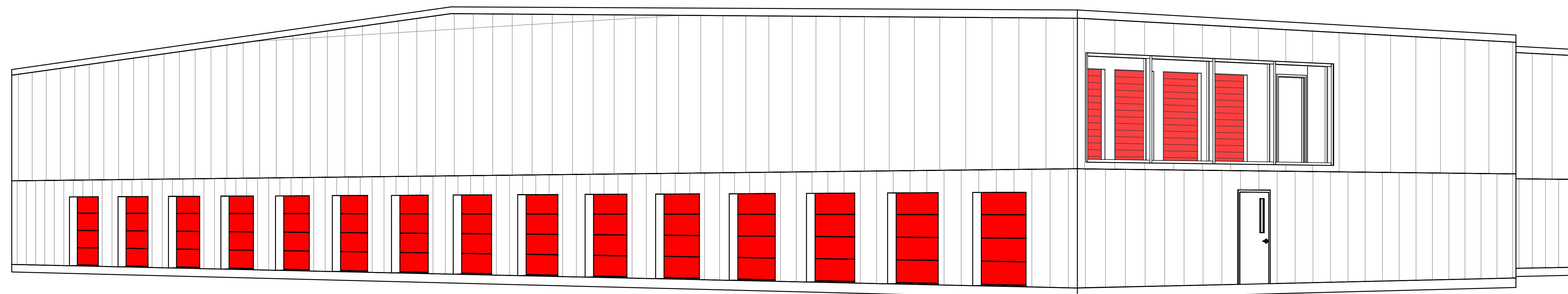
DATE: 11/20/2022  
 DRAWN BY: JCH  
 CHECKED BY: JCH  
 PROJECT NO: 224-00000-11  
 ORIGINAL SCALE: 1:100  
 DESIGNED BY: Designer  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 11/20/2022

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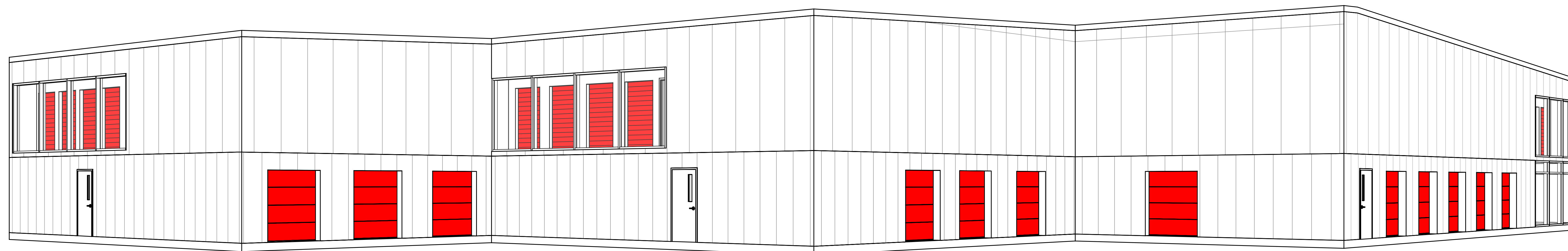
ISSUED FOR: REVIEW



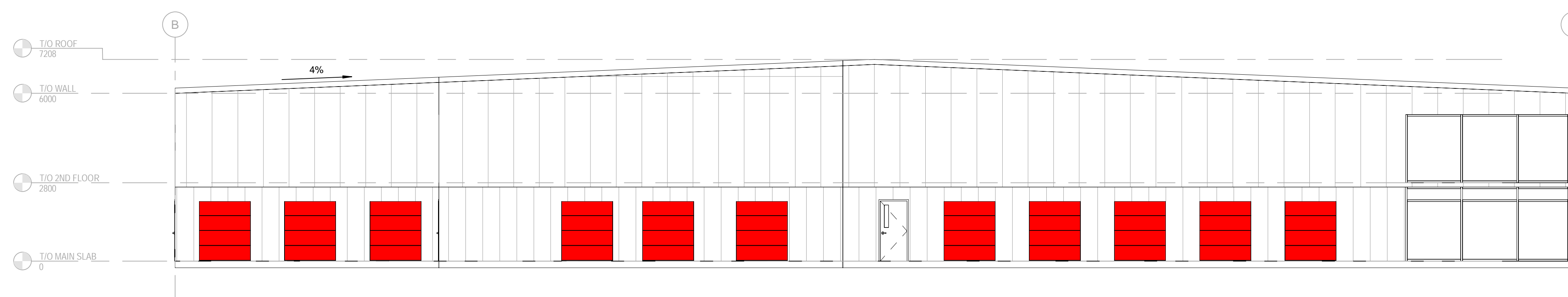
MICHAEL COWPLAND DRIVE 3D VIEW



DENZIL DOYLE COURT 3D VIEW



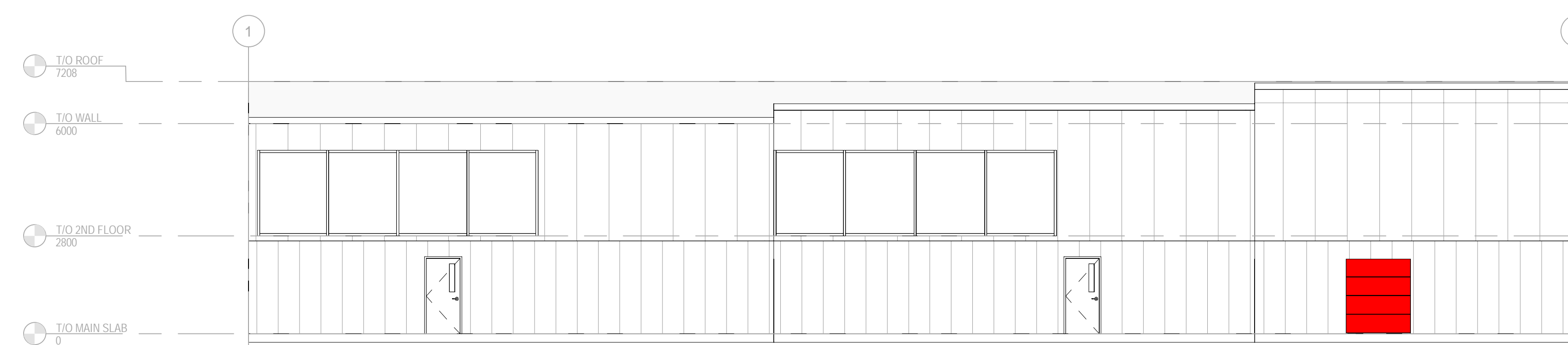
TERENCE MATTHEWS CRES 3D VIEW



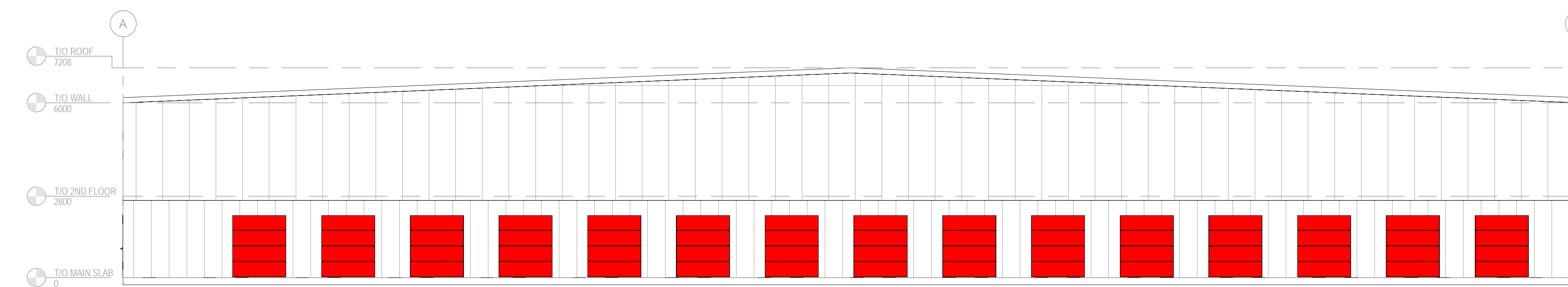
4 EXTERIOR ELEVATION - SOUTH  
 SCALE: 1:100



3 EXTERIOR ELEVATION - WEST  
 SCALE: 1:100



2 EXTERIOR ELEVATION - EAST  
 SCALE: 1:100



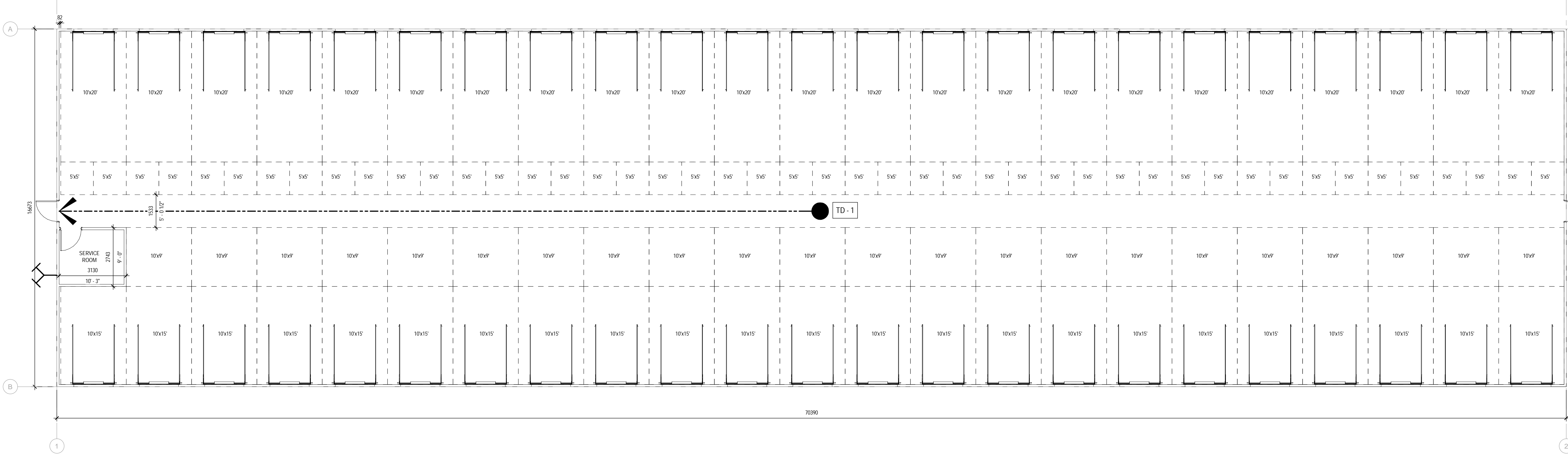
1 EXTERIOR ELEVATION - NORTHEAST  
 SCALE: 1:100

PROJECT NO:	224-00000-11	DATE:	DECEMBER 2022
ORIGINAL SCALE:	1:100	IF THIS BAR NOT	FROM ORIGINAL
DESIGNED BY:	Designer	CHECKED BY:	Checker
DRAWN BY:	Author	DATE:	11/20/2022
DISCIPLINE: ARCHITECTURAL			
TITLE: BUILDING A - EXTERIOR ELEVATIONS			
SHEET NUMBER: A-A2.3			
SHEET: 01			
DATE OF: 11/20/2022			



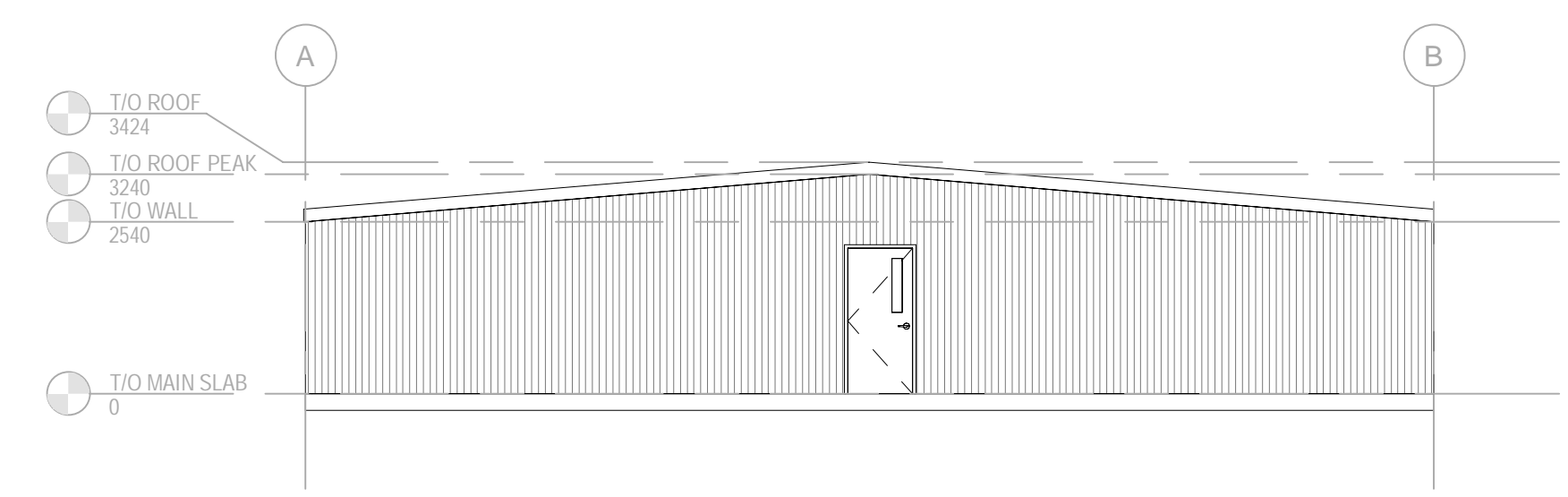
Access Storage 60 Denzil Doyle Ct

# BUILDING "B"

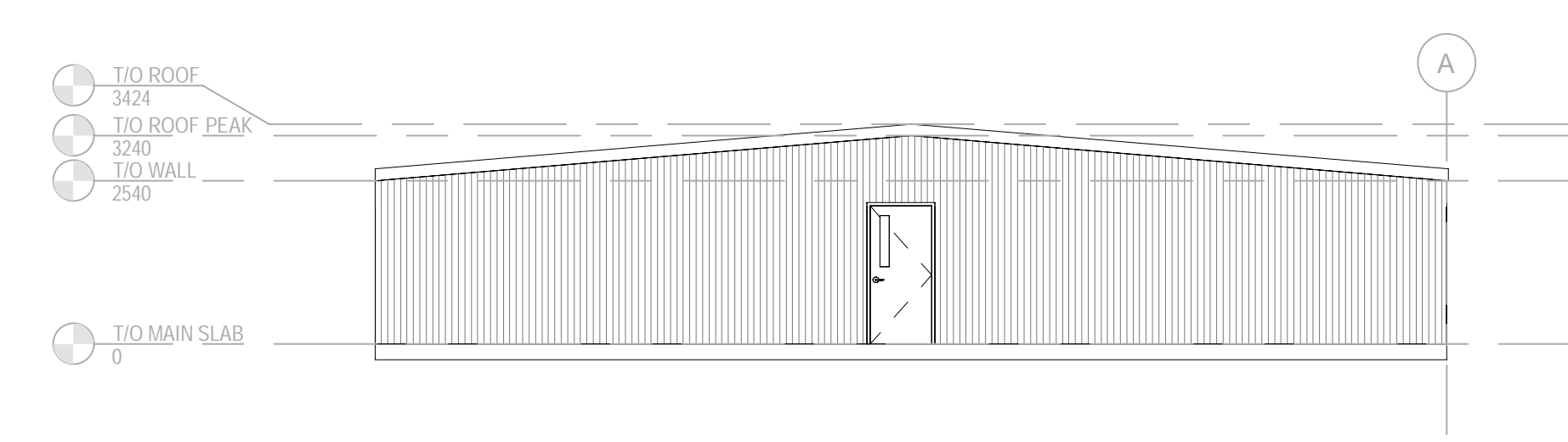


1 BUILDING B OVERALL GROUND FLOOR PLAN  
 SCALE: 1/32

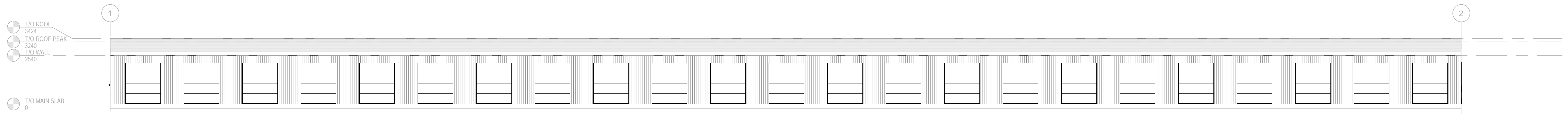
5x5' = 46  
 10x9' = 22  
 10x15' = 23  
 10x20' = 23



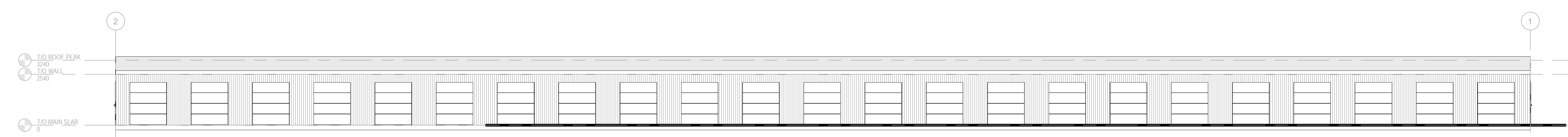
2 EXTERIOR ELEVATION - EAST  
 SCALE: 1/100



5 EXTERIOR ELEVATION - WEST  
 SCALE: 1/100



3 EXTERIOR ELEVATION - NORTH  
 SCALE: 1/100



4 EXTERIOR ELEVATION - SOUTH  
 SCALE: 1/100

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ISSUED FOR: NETWORK

PROJECT NO.	224-00000-11	DATE	NOVEMBER 2022
ORIGINAL SCALE	As Indicated	IF THE BAR IS NOT	SHOWING, PLEASE
DESIGNED BY	JCHAB	YOUR PLOTTING SCALE	
DRAWN BY	NMMAS		
CHECKED BY	JCHAB		

DISCIPLINE	ARCHITECTURAL
TITLE	BUILDING B - OVERALL PLANS - GROUND FLOOR
SHEET NUMBER	B-A2.1
DATE	

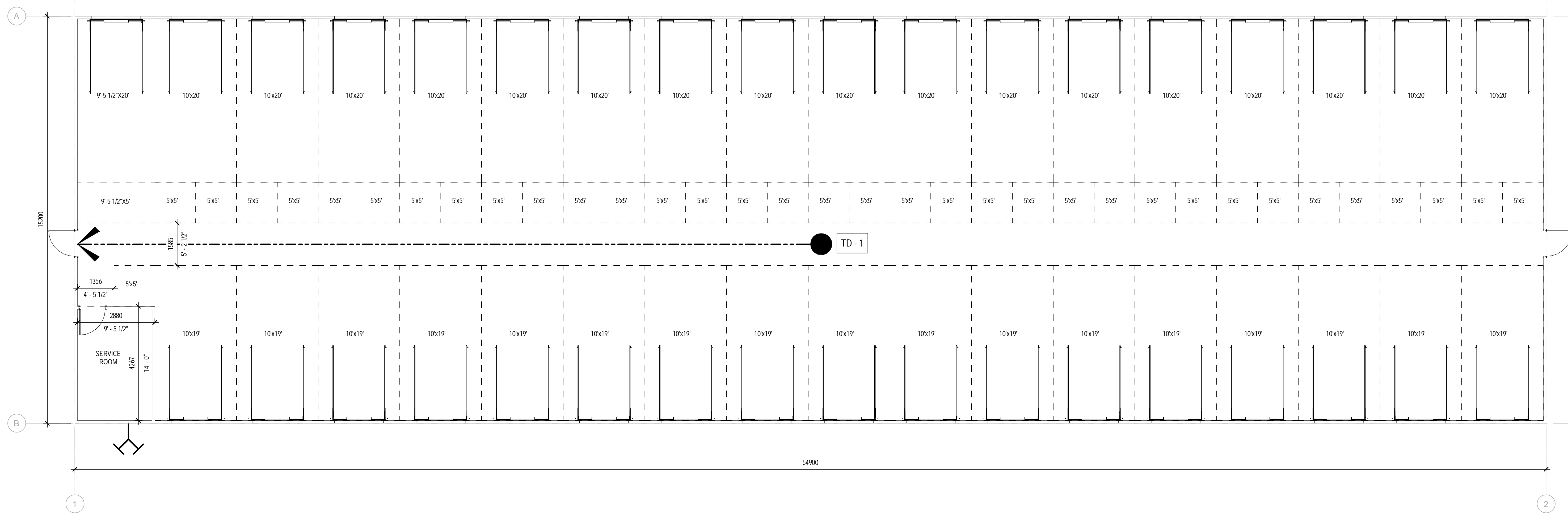


CLIENT REF: #  
 PROJECT  
 Access Storage 60 Denzil Doyle Ct

FULL NAME

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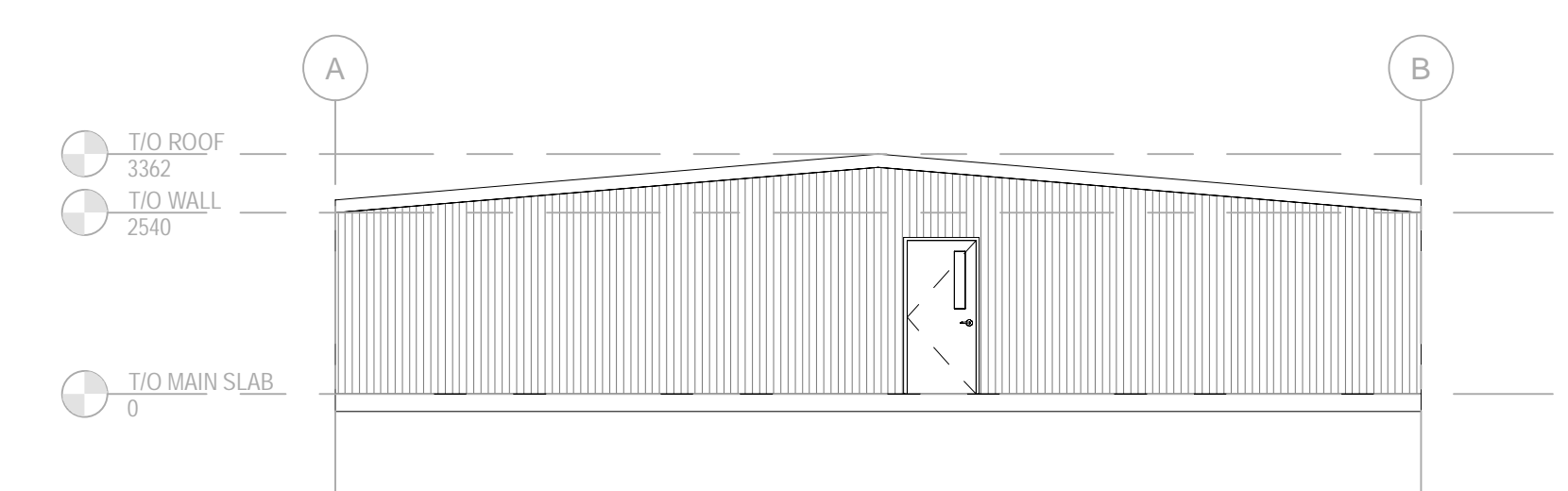
ISSUED FOR REVIEW



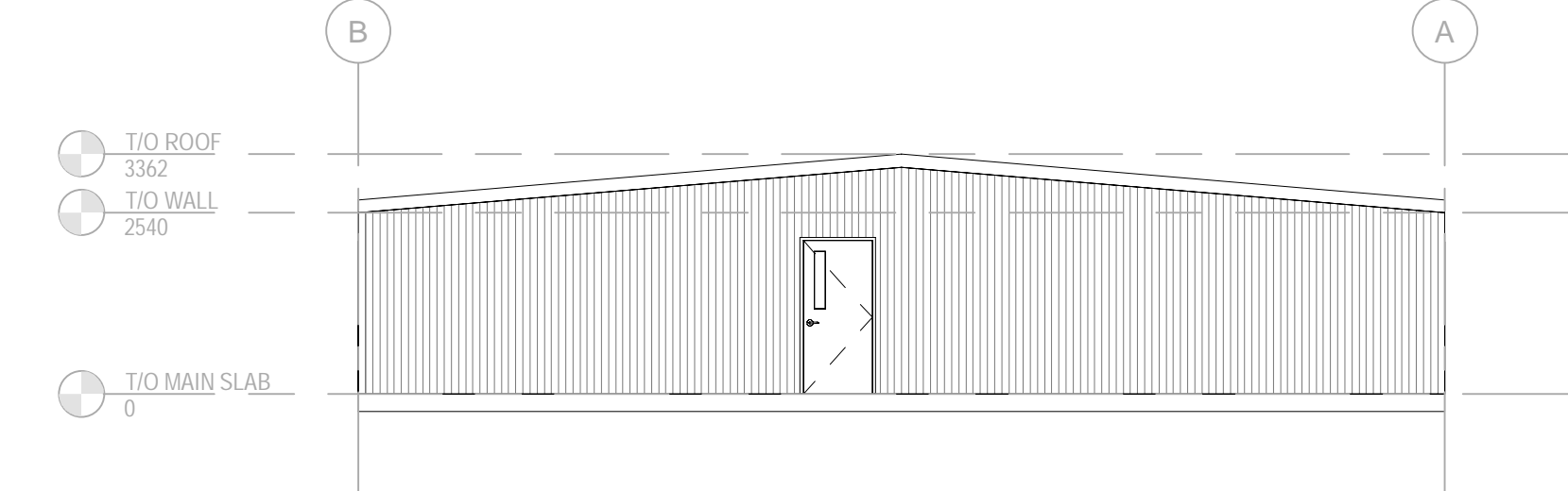
1 BUILDING C OVERALL GROUND FLOOR PLAN  
 SCALE: 1:75

- 5'x5' = 35
- 10'x19' = 17
- 10'x20' = 17
- 9'-5 1/2"x5' = 1
- 9'-5 1/2"x20' = 1

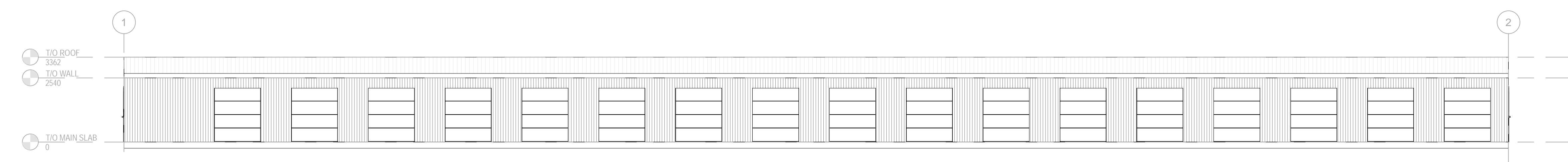
# BUILDING "C"



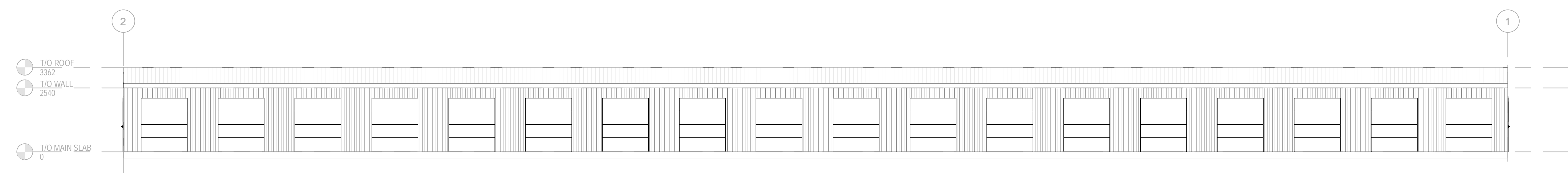
2 EXTERIOR ELEVATION - EAST  
 SCALE: 1:100



3 EXTERIOR ELEVATION - WEST  
 SCALE: 1:100



4 EXTERIOR ELEVATION - NORTH  
 SCALE: 1:100



5 EXTERIOR ELEVATION - SOUTH  
 SCALE: 1:100

PROJECT NO.	DATE
249-0000-11	NOVEMBER 2022
PROJECT SCALE	AS INDICATED
DESIGNED BY	JCHAB
DRAWN BY	NMMAS
CHECKED BY	JCHAB
DATE	
DISCIPLINE	ARCHITECTURAL
TITLE	BUILDING C - OVERALL PLANS - GROUND FLOOR
SHEET NUMBER	C-A2.1
DATE	

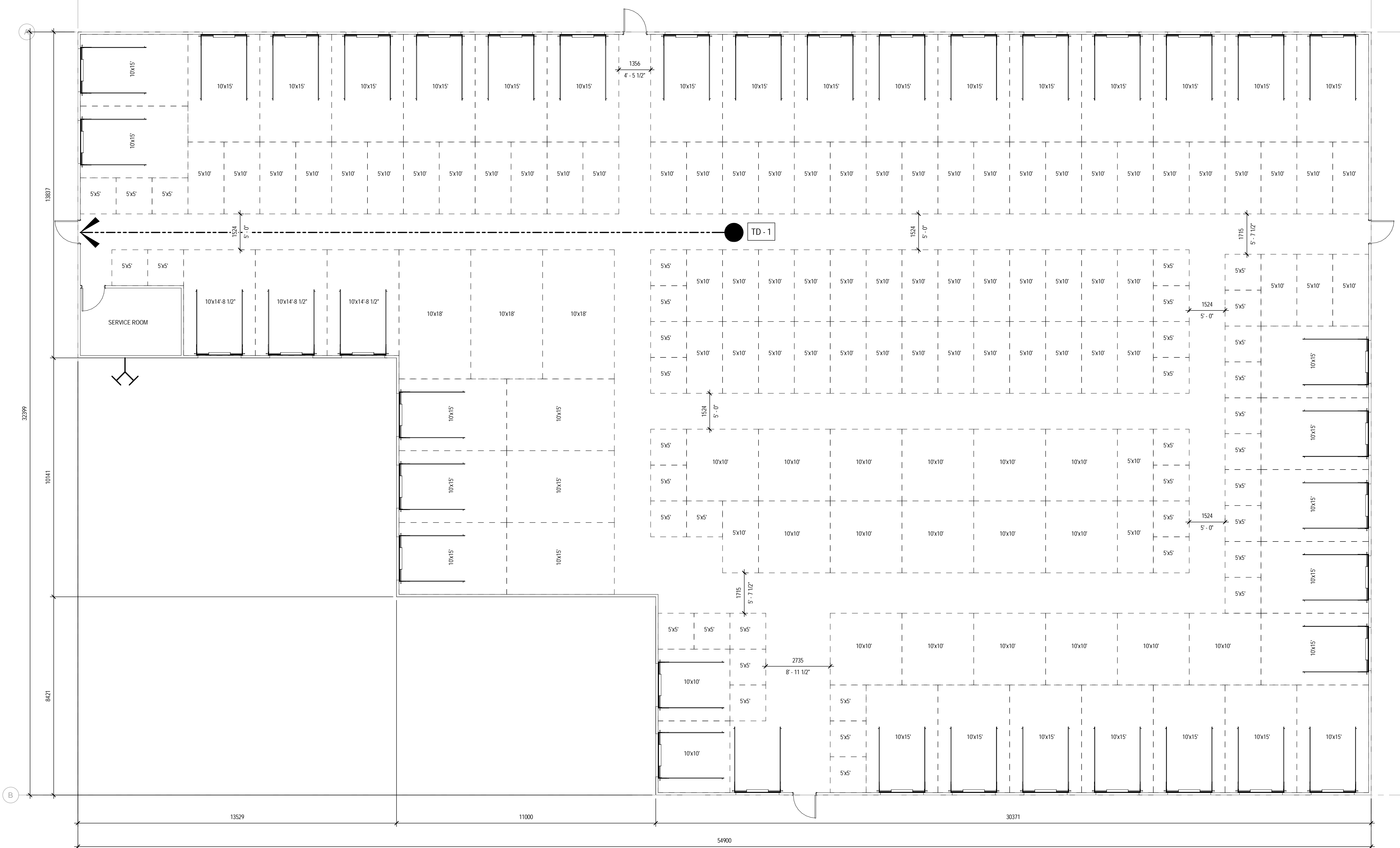
CONSULTANT: SUB CONSULTANT  
 CONSULTANT: SUB CONSULTANT



Access Storage 60 Denzil Doyle Ct

CLIENT REF #  
 PROJECT  
 101 PLAN

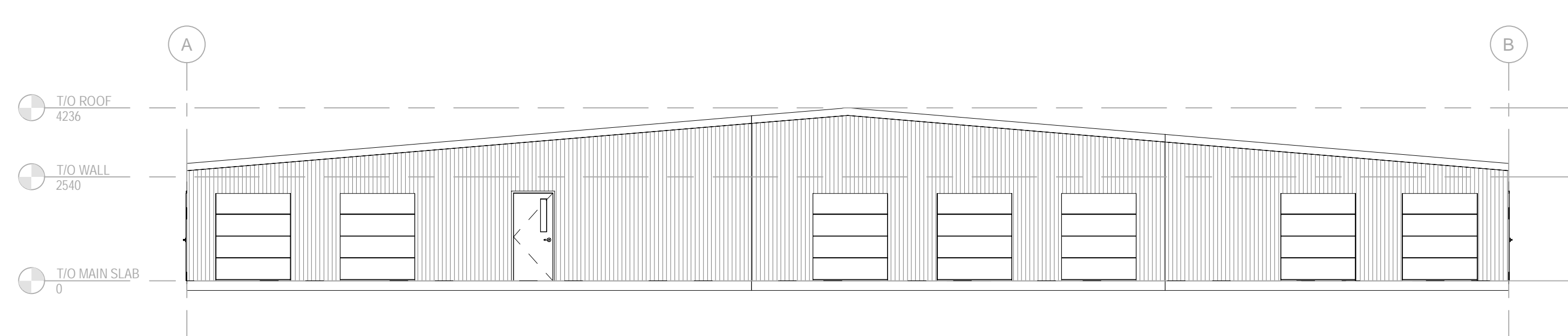
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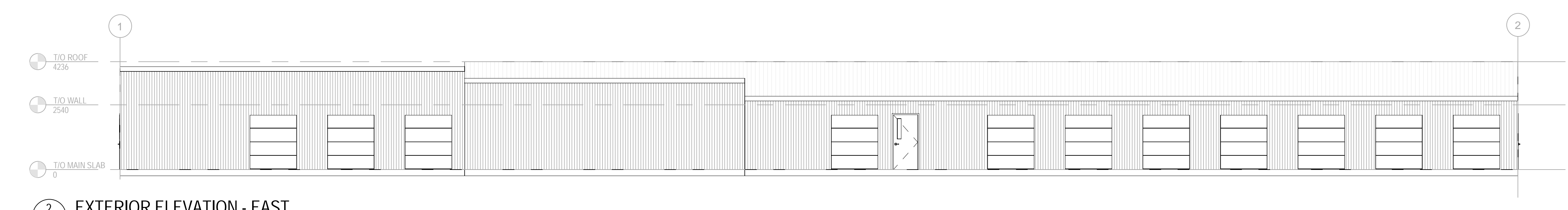
1 BUILDING D OVERALL GROUND FLOOR PLAN  
 SCALE: 1:75

- 5'x5' = 39
- 5'x10' = 57
- 10'x10' = 19
- 10'x15' = 36
- 10'x18' = 3
- 10'x14'-8 1/2" = 3

# BUILDING "D"



3 EXTERIOR ELEVATION - NORTH  
 SCALE: 1:100



2 EXTERIOR ELEVATION - EAST  
 SCALE: 1:100

PROJECT NO.	DATE
224-0005-11	NOVEMBER 2022
PROJECT SCALE	AS INDICATED
DESIGNED BY	ARCHITECT
DRAWN BY	ARCHITECT
CHECKED BY	ARCHITECT
DATE	
DISCIPLINE	ARCHITECTURAL
TITLE	BUILDING D - OVERALL PLANS - GROUND FLOOR
SHEET NUMBER	D-A2.1
DATE OF	



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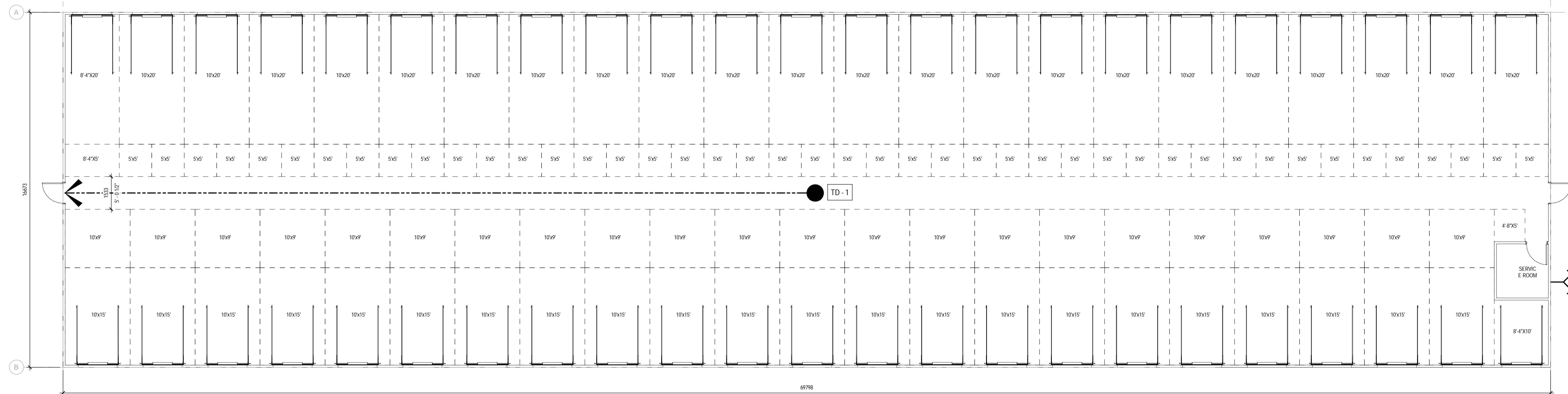
PROJECT NO.	224-BUNSG-11	DATE:	NOVEMBER 2022
CONTRACT SCALE:	As Indicated	IF THIS BAR IS NOT FOLDED, REJECT YOUR PLOTTING SCALE.	
DESIGNED BY:	JCADB	OWNER:	NIMAS
CHECKED BY:	JCADB	DATE:	

DATE:	2023.03.15	RE-ISSUED FOR SITE PLAN APPLICATION
DATE:	03/23/23	

DISCIPLINE: ARCHITECTURAL

TITLE: BUILDING E - OVERALL PLANS - GROUND FLOOR

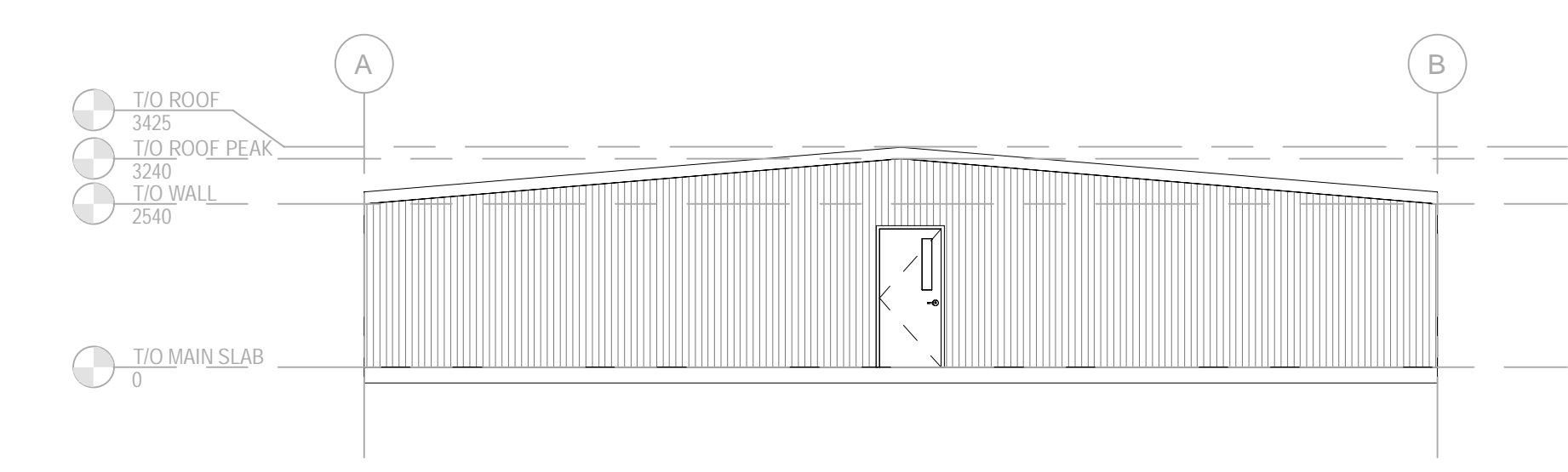
SHEET NUMBER: E-A2.1



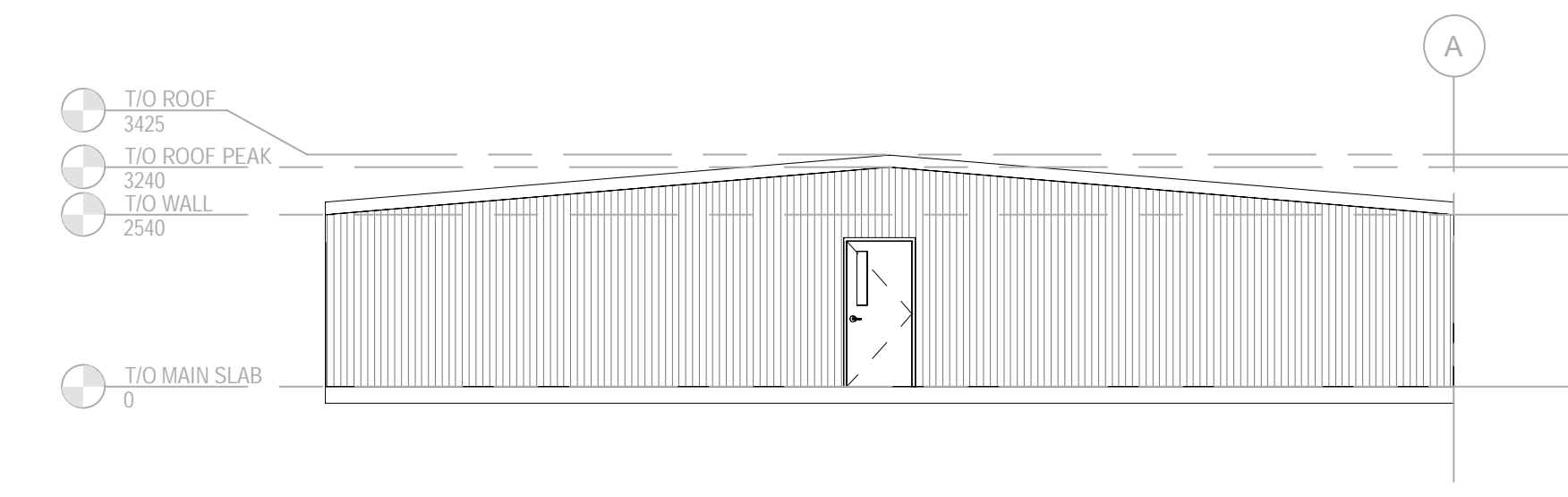
- 5'x5' = 44
- 10'x9' = 22
- 10'x15' = 22
- 10'x20' = 22
- 4'-8"x5' = 1
- 8'-4"x5' = 1
- 8'-4"x10' = 1
- 8'-4"x20' = 1

1 BUILDING E OVERALL GROUND FLOOR PLAN  
 SCALE: 1:75

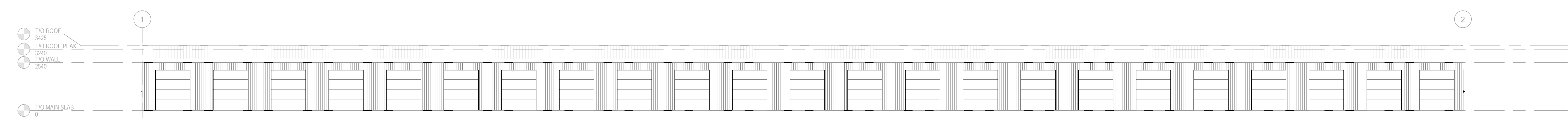
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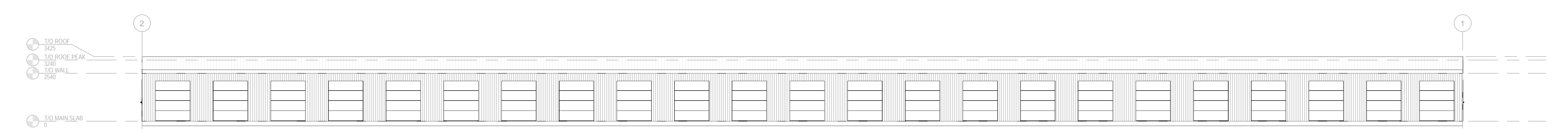
2 EXTERIOR ELEVATION - EAST  
 SCALE: 1:100



3 EXTERIOR ELEVATION - WEST  
 SCALE: 1:100



4 EXTERIOR ELEVATION - NORTH  
 SCALE: 1:100



5 EXTERIOR ELEVATION - SOUTH  
 SCALE: 1:100



