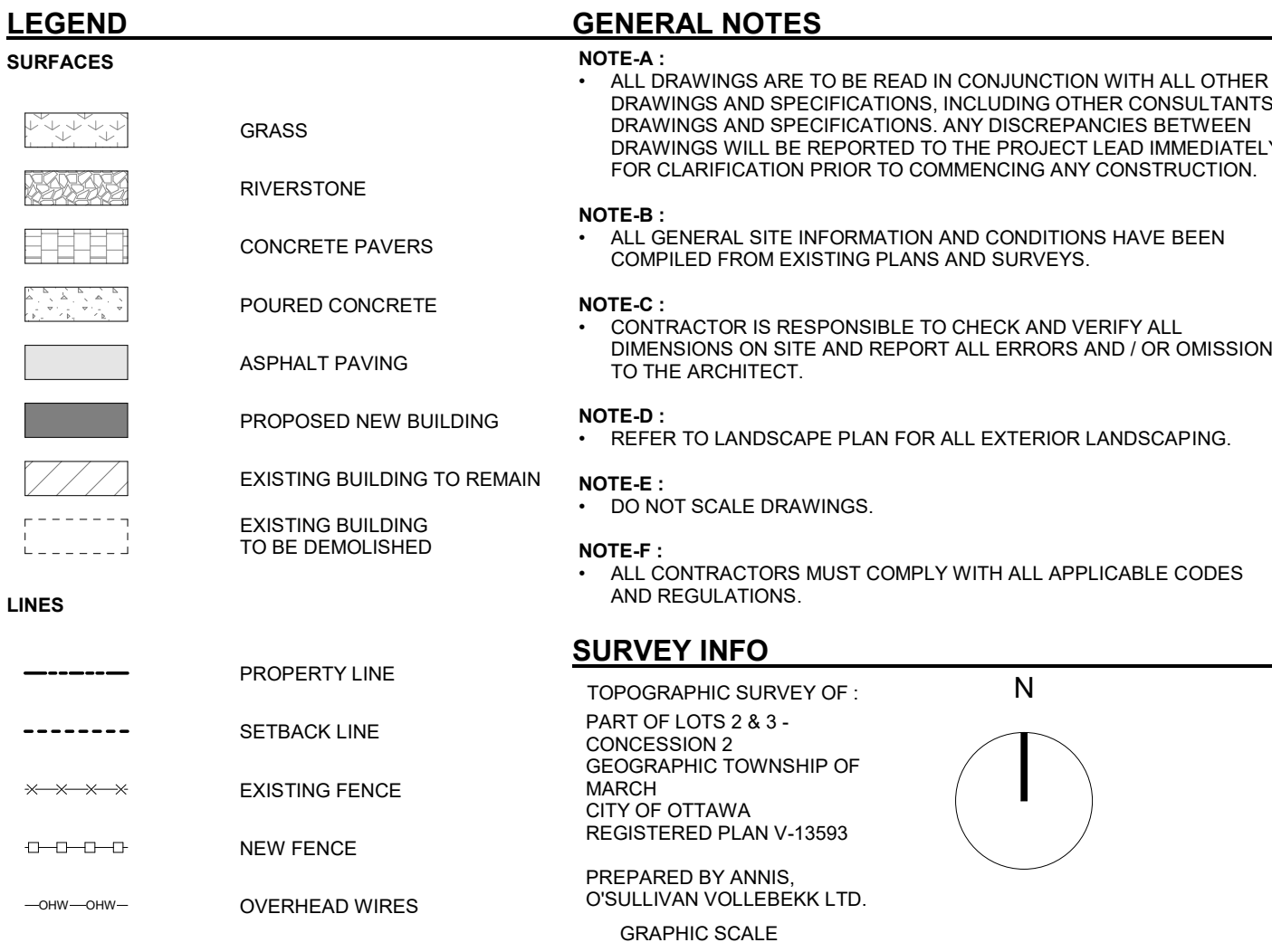
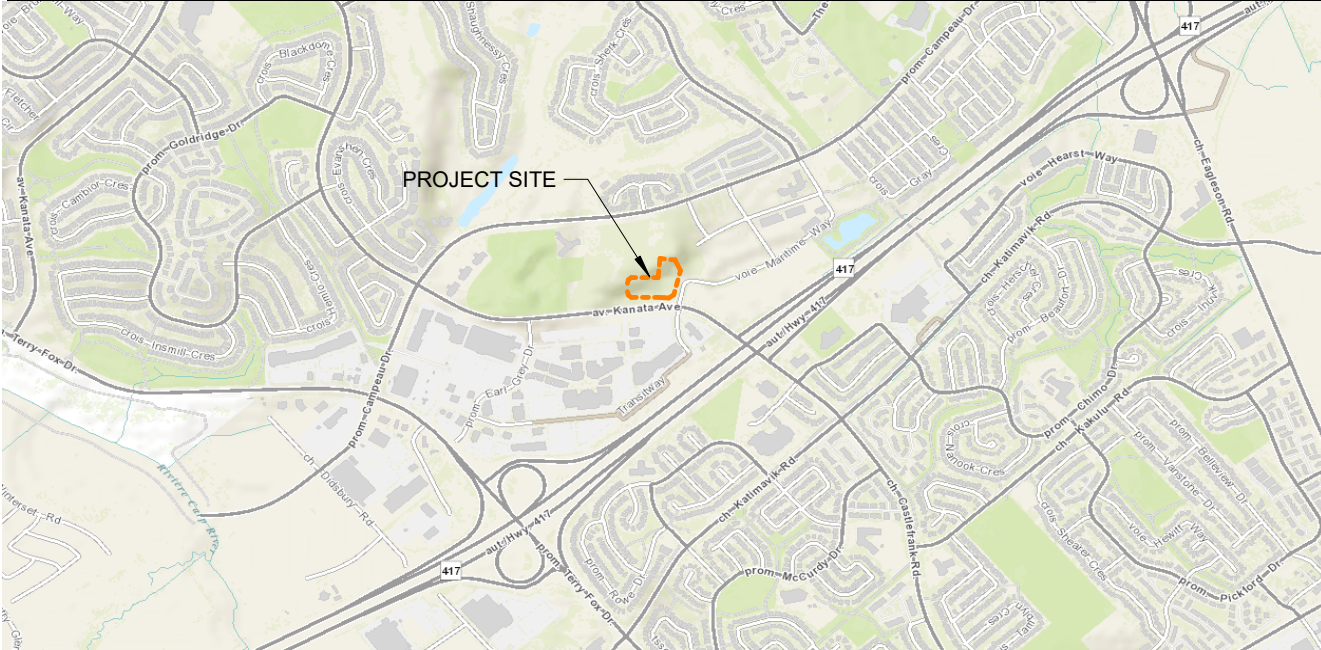
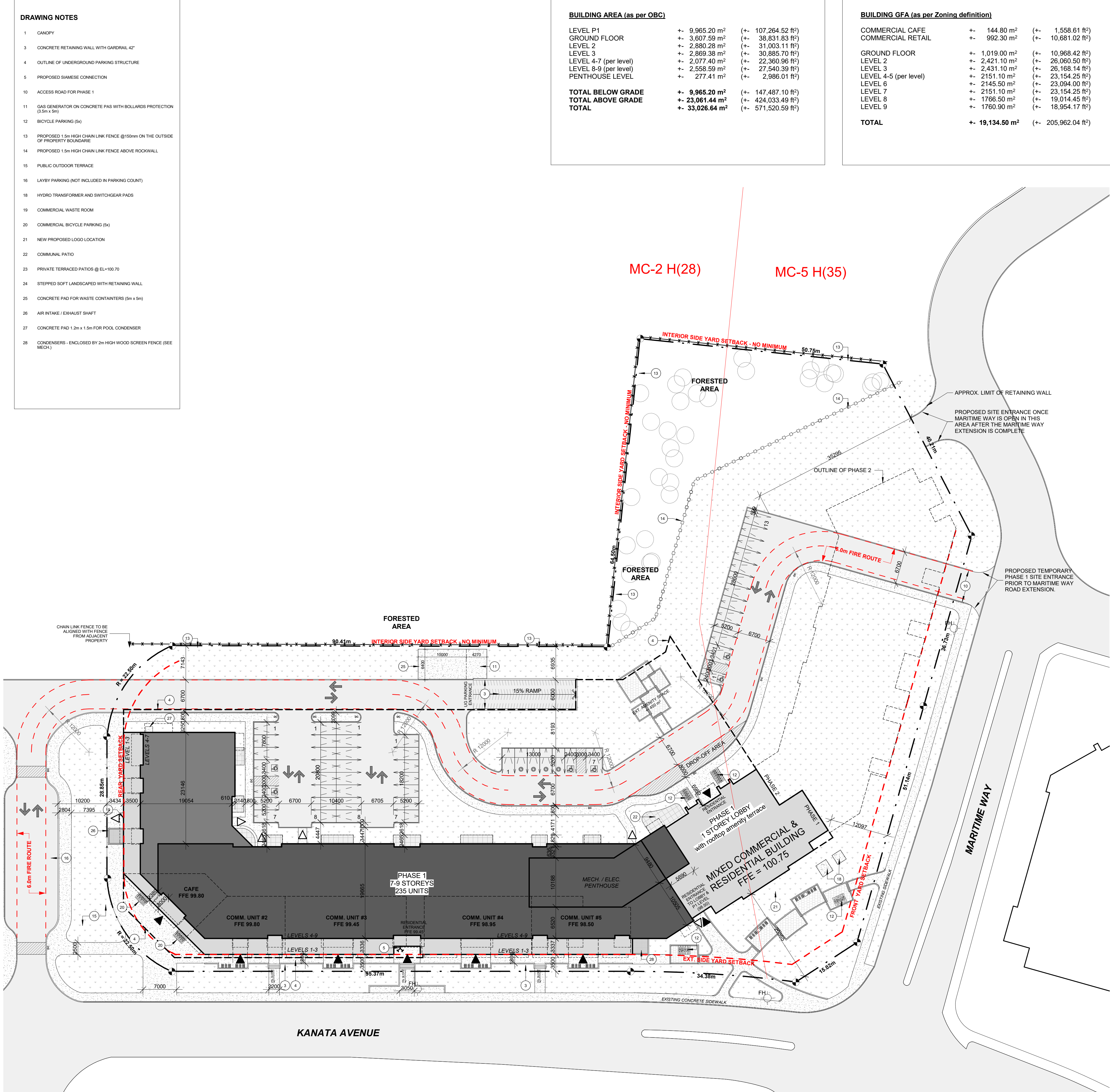




PROJECT INFORMATION

SITE SUMMARY	
ADDRESS	150 KANATA AVENUE
CURRENT ZONING	MC-2 AND MC-5
SITE AREA	15720.00 m ²
PROPOSED USE	MIXED USE RESIDENTIAL
BUILDING AREA	3607.59 m ²

PROJECT INFORMATION			
ZONING STANDARD	REQUIRED		PROVIDED
	MC-2	MC-5	
LOT AREA	-	-	± 15,720 m ²
TOTAL ZONING GFA	-	-	19,134.50 m ²
FSI (MAX)	2	2	1.22
BUILDING HEIGHT	28 m	35 m	27.8 m
Front Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m	3.5 m
Corner Side Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m	3.5 m
Rear Yard Setback (MIN. / MAX.)	0 m / 3.5 m	6 m	3.5 m
Surface Parking Front & Corner Yard Setback	10 m	10 m	35.30 m
FSI Non-Residential (MIN. / MAX.)	-	0.75 (3 794 m ²)	1,137.10 m ²
GFA Non-Residential (MIN. / MAX.)	1665.36 m ²	-	1,137.10 m ²
Amenity Space (min 6m2 per unit)	1,416.00 m ²	-	3,652.64 m ²
Communal amenity (min 50%)	708.00 m ²	-	1,898.80 m ²
LOT COVERAGE (MAX)	-	-	22.95%
LANDSCAPED AREA	-	-	+6,718.98 m ²
Soft Landscaping (not incl. forested area)	-	-	+5,667.18 m ²
Hard Landscaping	-	-	+1,051.80 m ²
ASPHALT AREA	-	-	+2,769.37 m ²

BUILDING STATISTICS		
	QTY.	SQ.M.
NON-RESIDENTIAL		1,137.10
Retail	-	992.30
Cafe	-	144.80
RESIDENTIAL		
1 bedroom	127 (54%)	-
1 bedroom + den	20 (8.5%)	-
2 bedrooms	72 (30.5%)	-
3 bedrooms	16 (7.0%)	-
TOTAL	235	
Barrier-free units (15% x 399 units = 60 units required)	36 (15%)	-
COMMUNAL AMENITY SPACE		1,898.80
Outdoor amenity space at grade & lobby rooftop	-	1,283.00
Indoor amenity space	-	615.80
Gym	-	60.50
Pool (incl. locker rooms)	-	196.70
Billiard Room	-	51.20
Golf Simulator	-	37.80
Darts / Poker Room	-	21.50
Family Room w/ Kitchen	-	63.10
Entry Lounge	-	132.00
Cafe & Library	-	53.00
PRIVATE AMENITY SPACE		1,753.84
Balconies / terraces	-	1,753.84

PARKING STATISTICS			
DEDICATION (LOCATION)	RATE	REQUIRED	PROVIDED
APARTMENTS - RESIDENTS (U/G)	0.5	PH-1 = 118	PH-1 = 146
APARTMENTS - VISITORS (U/G & AT GRADE)	0.2	PH-1 = 47	PH-1 = 47
NON-RESIDENTIAL (AT GRADE)			
Cafe	5 / 100 m2	PH-1 = 7	PH-1 = 7
Retail	1.25 / 100 m2	PH-1 = 12	PH-1 = 12
TOTAL		PH-1 = 184	PH-1 = 212
BICYCLE SPACES	0.5 per unit + 1/250m ² (retail)	PH1 = 118 + 5 (NON-RES.)	PH1 = 118 + 5 (NON-RES.)

DRIVE AISLE & BICYCLE REQUIREMENTS		
TYPE	REQUIRED	COMPLIANCE
Drive Aisle - Two way at grade	6.7 m	YES
Drive Aisle - Two way at parking garage	6.0 m	YES
Bicycle Parking - Horizontal	0.6 x 1.8m & 1.5m aisle	YES
Bicycle Parking - Vertical	0.50 x 1.5m & 1.5m aisle	YES

WASTE MANAGEMENT CONTAINERS		
TYPE	REQUIRED	PROVIDED
Garbage (0.110 y ³ per unit)	7 x 4 yard bins	YES
Fiber (0.038 y ³ per unit)	3 x 4 yard bins	YES
Glass metal plastic	2 x 3 yard bins	YES
Organics (240L container per 50 units)	5 x 240L carts	YES



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PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :

CLIENT :



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1.12	IFBP & TENDER	23-03-03
1.11	SPC SUB #4	23-03-02
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :

SITE PLAN PHASE 1

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : 21019

DATE : 2023-03-03

DRAWN BY / DESSINÉ PAR : ZH

REVIEWED BY / VÉRIFIÉ PAR : ES

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A050.1

REVISION NO. / NO. DE RÉVISION :

1.12

#18063