

ZONING BY-LAW 2008-250

REQUIRED

GRADE (GEODETIC ELEVATION)	62.72m
BUILDING HEIGHT - 12 STOREYS	39.5m
BUILDING HEIGHT - AMENITY / MECHANICAL	43.5m
FRONT YARD SETBACK	0.8m
CORNER YARD SETBACK	1.8m & 1.9m
REAR YARD SETBACK	2.7m
TRANSPARENT GLAZING (GROUND FLOOR FACADE)	0.5%
RESIDENTIAL PARKING PER UNIT (AFTER 12 UNITS)	0.05
VISITOR PARKING PER UNIT (AFTER 12 UNITS)	0.1
COMMERCIAL PARKING	1.25 per 100m ² OF GFA
BICYCLE PARKING PER UNIT	1.0
AMENITY AREA - PER UNIT	6.0 sq. m
MINIMUM DRIVEWAY WIDTH	3.0m

PROVIDED

12 STOREY BUILDING HEIGHT	39.5m
AMENITY / MECHANICAL LEVEL BUILDING HEIGHT	4.0m
FRONT YARD SETBACK	0.9m
CORNER YARD SETBACK - EAST	2.0m
CORNER YARD SETBACK - WEST	1.8m
REAR YARD SETBACK	2.7m
PARKING - PER UNIT (AFTER 12 UNITS)	0.5
VISITOR PARKING - PER UNIT (AFTER 12 UNITS)	0.1
COMMERCIAL PARKING	1.25 per 100m ² OF GFA
BICYCLE PARKING - PER UNIT	0.5
COMMERCIAL BICYCLE PARKING	1 per 250m ² OF GFA
AMENITY AREA - PER UNIT	6.0 sq. m

NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULES AND DETAILS ON A300 SERIES.

SITE PLAN SYMBOLS

- UNIT PAVERS ON CITY BOULEVARD
- PROPOSED CONCRETE SURFACE
- UNIT PAVER SURFACE
- PRIVATE WALKWAYS
- SOFT LANDSCAPING
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- UNIT BALCONY DOOR / FIRE EXIT
- PROPERTY LINE
- ZONING SETBACKS
- EXISTING TREE TO BE REMOVED
- PROPOSED SITE LIGHTING

PROJECT STATISTICS

GROSS BUILDING FLOOR AREA
CITY/TOWN ZONING REFERENCE

BELOW GRADE PARKING LEVEL	0.0 sq. m
GROUND FLOOR	1,349.8 sq. m
2nd FLOOR	1,429.9 sq. m
3rd FLOOR	1,667.4 sq. m
4th FLOOR	1,711.6 sq. m
5th - 7th FLOOR	3 x 1,414.7 sq. m
8th & 9th FLOOR	2 x 1,407.1 sq. m
10th FLOOR	1,100.1 sq. m
11th & 12th FLOOR	2 x 1,063.3 sq. m
MECHANICAL / AMENITY LEVEL	0.0 sq. m
TOTAL AREA ABOVE GRADE	16,765.5 sq. m
	180,462 sq. ft.

UNIT STATISTICS

STUDIO	10
1 BEDROOM UNIT	151
2 BEDROOM UNIT	82
TOWN HOUSE UNIT (2 LEVEL)	9
TOTAL	252
COMMERCIAL UNIT	747.1 sq. m
	8,042 sq. ft.

CAR PARKING

REQUIRED

10% REDUCTION WHEN ALL SPACES ARE BELOW GRADE FOR ZONING SECTION 101 (b) (c) ONLY		
RESIDENCE	- 0.5 PER UNIT (252 UNITS) AFTER 12 UNITS, 10% REDUCTION	108
VISITOR	- 0.1 PER UNIT (252 UNITS) AFTER 12 UNITS	24
COMMERCIAL RETAIL	- OVER 500m ² , 1.25 per 100m ²	0
TOTAL		132

PROVIDED

RESIDENCE	- 0.5 PER UNIT (252 UNITS)	114
VISITOR	- 0.1 PER UNIT (252 UNITS)	24
COMMERCIAL	- OVER 500m ² , 1.25 per 100m ²	0
TOTAL		138

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC ROUND 2 COMMENTS	Mar. 08, 23
2	ISSUED FOR SPC ROUND 1 COMMENTS	Dec. 12, 22
3	ISSUED FOR TENDER	Dec. 9, 22
4	ISSUED FOR BUILDING PERMIT	Dec. 2, 22
5	ISSUED FOR CONSULTANT REVIEW	Nov. 25, 22
6	ISSUED FOR LDRP SPC SUBMISSION	Nov. 09, 22
7	ISSUED FOR OWNER / CONSULTANT REVIEW	Oct. 27, 22
8	ISSUED FOR GENERAL UPDATES	Aug. 31, 22
9	ISSUED FOR GENERAL UPDATES	July 19, 22
10	ISSUED FOR SPC APPLICATION	Mar. 16, 22
11	ISSUED FOR OWNER / CONSULTANT REVIEW	Dec. 09, 21
12	REVISED AS PER CITY COMMENTS	June 16, 21
13	ISSUED FOR ZA & OPA ROUND 1 COMMENT	Apr. 07, 21
14	ISSUED FOR ZA & OPA APPLICATION	Nov. 16, 20
15	ISSUED FOR OWNER / CONSULTANT REVIEW	Nov. 05, 20
16	ISSUED FOR ZA & OPA (DRAFT)	Sept. 16, 20
17	ISSUED FOR REVISED DESIGN	Aug. 20, 20
18	ISSUED FOR DESIGN CONCEPT	Mar. 17, 20

- DRAWING NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS AT GRADE - SEE SCHEDULE
 - CORNER SITE TRIANGLE, LOW SHRUBS ONLY
 - HARD SURFACE PAVING, SEE LANDSCAPE PLAN
 - CONTINUOUS DEPRESSED SIDEWALK THROUGH DRIVE
 - 1.8m WIDE CITY SIDEWALK AND STREET CURB
 - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - 6.0m WIDE GARAGE ENTRY RAMP WITH TRENCH DRAIN
 - EXISTING FIRE HYDRANT
 - OUTLINE OF PRIVATE TERRACE ABOVE
 - EXISTING TREE TO BE REMOVED
 - OUTLINE OF UPPER FLOORS
 - EXISTING BUILDING TO BE REMOVED
 - EXISTING UTILITY POLE TO BE REMOVED
 - 1200mm HT. BLACK METAL PICKET FENCE
 - OUTLINE OF AMENITY / MECHANICAL LEVEL
 - PROPOSED SERVICES
 - GAS EQUIPMENT LOCATION
 - EXISTING STREET LIGHT
 - EXISTING UTILITY POLE, RELOCATE AS REQUIRED
 - SIAMSE CONNECTION
 - PRIVATE WALKWAY TO GROUND FLOOR UNIT
 - INTAKE / EXHAUST GRILL
 - SEAT WALL, SEE LANDSCAPE FOR DETAILS
 - BICYCLE PARKING SPACE WITH RACK
 - EXISTING CITY PAVERS, RE-INSTATE AS REQUIRED
 - OUTLINE OF BELOW GRADE PARKING GARAGE
 - GROUND FLOOR CANOPY
 - DEPRESSED CURB AND WALK
 - EXISTING STREET PARKING
 - PROPOSED LIGHTING, SEE ELECTRICAL FOR COMPLETE ELECTRICAL PLAN & TYPE
 - 6.0m WIDE FIRE ACCESS ROUTE WITH SIGNAGE

BICYCLE PARKING

REQUIRED

RESIDENCE	- 1.0 PER UNIT (252 UNITS)	252
COMMERCIAL	- 1 per 250 M ² OF GFA	3
TOTAL		255

PROVIDED

INTERIOR	235
EXTERIOR	252
TOTAL COMMUNAL	1,045.0 sq. m

AMENITY AREA

AT GRADE EXTERIOR - PRIVATE YARDS	160.0 sq. m
AT GRADE EXTERIOR - COMMUNAL	450.0 sq. m
GROUND FLOOR INTERIOR - COMMUNAL	45.0 sq. m
AMENITY LEVEL INTERIOR - COMMUNAL	300.0 sq. m
AMENITY LEVEL EXTERIOR - COMMUNAL	250.0 sq. m
5th & 10th FLOOR TERRACE - PRIVATE	620.0 sq. m
BALCONIES (ALL LEVELS) - PRIVATE	600.0 sq. m
TOTAL	2,425.0 sq. m
REQUIRED (252 UNITS X 6 m ²) = 1,512 sq. m	
REQUIRED COMMUNAL @ 50% = 756 sq. m	

SITE COVERAGE

BUILDING FOOTPRINT	69.6%	2,030.6 sq. m
DRIVING SURFACE	0.4%	11.4 sq. m
LANDSCAPE AREA	30.0%	875.0 sq. m
TOTAL	100.0%	2,917.0 sq. m

REFUGE REQUIREMENT
(252 UNITS)

GARbage	- 0.11 PER UNIT	28 YARDS
RECYCLING GMP	- 0.018 PER UNIT	5 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	10 YARDS
ORGANICS	- 240L PER 50 UNITS	5

ARCHITECT SEAL

ONTARIO ASSOCIATION OF ARCHITECTS

RODERICK LAHEY
LICENSE #4375

SEAL DATE: STAMP DATE

CLIENT:

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ML DEVCO
Investments Inc.

ARCHITECT:

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PROJECT TITLE:

THE SOMERWELL

979 to 961 WELLINGTON STREET
26 to 40 ARMSTRONG STREET

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN

LEGAL DESCRIPTION

TOPOGRAPHICAL PLAN OF SURVEY OF LOTS 7, 8, 9 and 10 PART OF LOT 11 REGISTERED PLAN 89 CITY OF OTTAWA

REVISION NOTE: Plan revised July 31, 2020 Surveyed by Annis, O'Sullivan, Vollebøkk Ltd.

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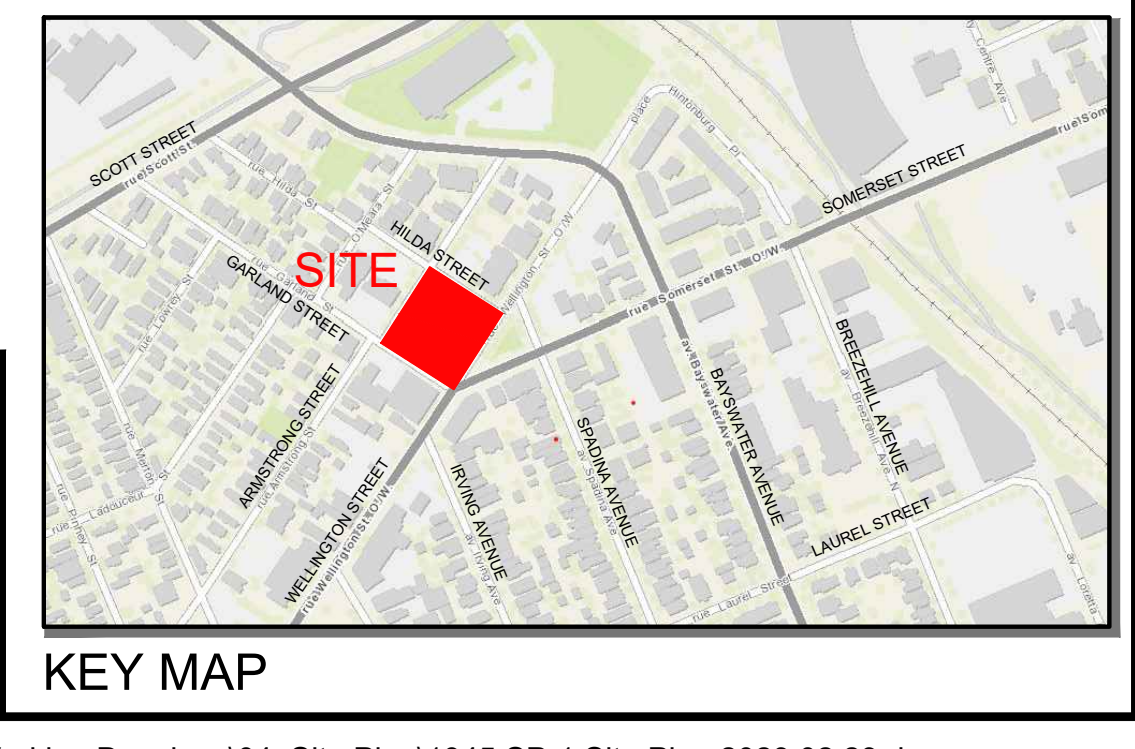
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PROJECT DEVELOPER

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DRAWN: RV

CHECKED: S.S.

SCALE: 1:125

SHEET No.: SP-1

PROJECT No.: 1945

DATE: FEBRUARY 2019