



**Heritage Impact Assessment:**

84 and 100 Gloucester Street,  
Ottawa, Ontario

**Prepared For:**

Vincent Denomme  
Claridge Homes  
210 Gladstone Ave,  
Ottawa ON K2P 0Y6  
vincent.denomme@claridgehomes.com

**Author:**

Julie Harris, CAHP

February 26, 2022

Report: MH1127-REP.01

Matrix Heritage Inc.

6131 Perth Street, Richmond  
Ontario K0A 2Z0  
Tel: (613) 807-2071  
[www.MatrixHeritage.ca](http://www.MatrixHeritage.ca)

## Table of Contents

Project Information .....	ii
1.0 Introduction .....	1
2.0 Heritage Value of 110 Gloucester Street .....	1
3.0 General Project Information .....	2
3.1 Address of current property .....	2
3.2 Current owner contact information .....	2
4.0 Sources .....	3
5.0 Current Conditions/ Introduction to Development Site .....	3
6.0 Historical Context and Site Evolution .....	3
7.0 Heritage Resources Under Study – 110 Gloucester Street .....	4
7.1 Ottawa Heritage Register Listing of 110 Gloucester Street .....	5
8.0 Description of the Proposed Development .....	6
9.0 Impact of Proposed Development .....	7
9.1 Potential Positive and Adverse Impacts .....	7
10.0 Alternatives and Mitigation Strategies .....	8
10.1 Alternatives .....	8
10.2 Mitigation .....	8
11.0 Conclusion .....	8
12.0 Figures .....	9
13.0 Author’s Qualifications .....	23

---

**Project Information****Heritage Study Personnel**

Julie Harris, Prof. Member, CAHP  
Senior Heritage Specialist  
(613) 730-4059  
jharris@matrixheritage.ca

Site Visit Date: 21 February 2023  
Report Date: 25 February 2023

**Property Information**

Municipality: City of Ottawa  
Address: 84 and 100 Gloucester Street  
Lot: Part Lots 44, 45, & 46, PL 2996;  
OTTAWA/NEPEAN  
PIN: 04115-0151 and 04115-0152  
Date of Construction: ca 1960  
Date of Modifications: undetermined

## 1.0 Introduction

Matrix Heritage was contracted by Claridge Homes to provide a Heritage Impact Assessment (HIA) for a Zoning By-law Amendment Application for a proposed 27-storey mixed-use building at 84 & 100 Gloucester Street, City of Ottawa ((Figure 1, Figure 2, and Figure 3). The development will require the demolition of an existing six-storey office building (not heritage) at 100 Gloucester Street constructed ca 1964<sup>1</sup> that occupies about half of the development parcel (Figure 4). The remainder of the parcel has been used for surface parking by 1991.<sup>2</sup> The project is situated immediately adjacent to the 110 Gloucester Street, also known as the Wendell Apartments, that is listed on the Ottawa Heritage Register and is the focus of this HIA (Figure 5).

Section 4.5.2 of the City of Ottawa Official Plan (2022) states that an HIA may be required for development applications,

- Where development or an application under the Ontario Heritage Act is proposed on, adjacent to, across the street from or within 30 metres of a protected heritage property, the City will require a Heritage Impact Assessment, if there is potential to adversely impact the heritage resource. The HIA will be completed according to the Council approved guidelines for HIAs, as amended from time to time.

This HIA examines potential impacts from the proposed rezoning and redevelopment of 84 & 100 Gloucester Street on the potential heritage value of 110 Gloucester Street and mitigation measures that could reduce negative impacts on its heritage value.<sup>3</sup>

## 2.0 Heritage Value of 110 Gloucester Street

The property has not been the subject of a Cultural Heritage Evaluation Report, but based on information located for this HIA, it is the opinion of the author of this HIA that the property is unlikely to be fully designated under s. 29 of the Ontario Heritage Act by the City of Ottawa after applying the nine criteria of Regulation 9/06 (2022) of the Ontario Heritage Act.

In sum, 110 Gloucester Street is not (criteria 1) “a rare, unique, representative or early example” of an apartment building in Ottawa. It does not have a (criteria 2) “a high degree of craftsmanship or artistic merit.” Potential examples of buildings that could be described as “representative or early”, as well as having a “high degree of craftsmanship or artistic merit,”

---

<sup>1</sup> 100 Gloucester Street is described as a “new” office building in 1964 in the classified advertisement in the *Ottawa Journal*, 24 October 1964, p. 32, accessed through Newspapers.com. No further information is included in the article. The building was promoted as the “100” building in lease advertisements at later dates. Tenants in the 1960s included the Regional Welfare Office, a hair salon, the Ontario Department of Labour’s Ottawa office, and the Consumers Association of Canada.

<sup>2</sup> The 1991 aerial photograph on GeoOttawa shows 84 Gloucester being used for surface parking.

<sup>3</sup> For a zoning application for 70 Gloucester Street in 2011, the City of Ottawa determined that no impact study was required for that project’s potential impact on two heritage properties that are also located within 30 metres of the current application, namely, 77 Gloucester Street and 152 Metcalfe Street. For this reason, these properties, which are located further away from this HIA’s subject development than the 2011 project, are not considered in this HIA. See; Report to Planning Committee and Council, Subject Zoning – 70 Gloucester Street (File No. D02-02-11-0008), 6 May 2011, online at <https://app06.ottawa.ca/calendar/ottawa/citycouncil/pec/2011/05-24/03-%20ACS2011-ICS-PGM-0110%20Final%2070%20Gloucester%20St.htm>.

are included in the Heritage Ottawa study *From Walk-Up to High-Rise: Ottawa's Historic Apartment Buildings*.<sup>4</sup> One example might be the Queen Apartments at 255 Daly Avenue (Figure 6.)

With respect to the historical criteria (criteria 4-6), the building has no direct historical associations that were documented in the research for the HIA. The Ottawa Heritage Register listing identifies architect Cecil Burgess as being the architect of interior alterations following a fire in 1941, but the original architect, builder and owner has not been determined. Burgess was a prolific and talented architect whose work is best represented in his major projects, including several extant apartment buildings.<sup>5</sup>

With respect to criteria about contextual value (criteria 7-9), the character of the area is now sufficiently mixed in terms of functions, scale, and building heights that the property cannot be considered (criteria 7) to be “important in defining, maintaining or supporting the character of an area,” or (criteria 8) to be “physically, functionally, visually or historically linked to its surroundings.” The building is not (criteria 9) a “landmark.”

Based on research about the building, including information in the listing on the Ottawa Heritage Register, the HIA considered that the heritage value of the Wendell Apartments block at 110 Gloucester Street is limited to: its presence in its current form as a reminder of the former low-rise residential character of this block of Gloucester Street; and the building's brick construction, which was typical for residential buildings in Centretown in the early 20<sup>th</sup> century.

### **3.0 General Project Information**

#### **3.1 Address of current property**

The proposed development is located on a contiguous parcel at 84 and 100 Gloucester Street, Ottawa, Ontario.

#### **3.2 Current owner contact information**

Vincent Denomme, Planner  
Claridge Homes (100 Gloucester) Inc  
210 Gladstone Ave,  
Ottawa ON K2P 0Y6  
Email: [vincent.denomme@claridgehomes.com](mailto:vincent.denomme@claridgehomes.com)

---

<sup>4</sup> Heritage Ottawa, *From Walk-Up to High-Rise: Ottawa's Historic Apartment Buildings* (Ottawa: Heritage Ottawa, 2017).

<sup>5</sup> Cecil Burgess designed at least seven apartment buildings in Ottawa, including the Windsor Arms at 150 Argyle, the Duncannon at 216 Metcalfe Street, and the Valcartier Apartments at 61 Elgin Street. See: Jean-Claude Dubé, “Architect Cecil Burgess,” OSCAR, December 2010, online at <https://web.archive.org/web/20160910011947/http://www.oldottawasouth.ca/index.php/oshp-articles/oshp-articles-list/1215-a-profile-of-architect-cecil-burgess> and Heritage Ottawa, *From Walk-Up to High-Rise*, p. 35 for a discussion of Burgess' work for major apartment developers in the inter-war years.

#### 4.0 Sources

The following list of sources are specific to the proposed development. Other sources are included in the footnotes within the text of the HIA.

- Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.
- City of Ottawa, Additions to the Heritage Register since 2016, Listing for 110 Gloucester Street.

#### 5.0 Current Conditions/ Introduction to Development Site

The subject property is part of the Centretown neighbourhood on the south side of Gloucester Street between O'Connor Street (west end of the block) and Metcalfe Street (east end). The total area of the parcel is 0.18 hectares. 84 Gloucester Street contains a large surface-parking area that has been in place since at least 1990 (Figure 7). 100 Gloucester Street is occupied by a six-storey office building completed in 1964 (Figure 4). Claridge Homes is proposing to construct a mixed-use 27-storey tower on the parcel (Figure 1).

#### 6.0 Historical Context and Site Evolution

Gloucester Street was part of Colonel By's estate on Lot D Concession C Rideau Front. It is likely that no buildings existed on the property until it was resurveyed and registered on 14 August 1867 as what is now legally described as Lots 44, 45, and 46 (South Gloucester Street) Registered Plan 2996 City of Ottawa. The 1876 Brosius bird's eye view shows that the south side of Gloucester Street between Metcalfe and O'Connor was fully constructed, while development further south into Centretown was more sporadic (Figure 8).

Due to its location close to Ottawa's main business district centred on Sparks and Wellington streets, this block of Gloucester Street underwent many changes from the 1870s to the present day. Small dwellings were replaced with larger ones, institutional buildings appeared on corners, and some properties were redeveloped as apartment buildings and offices. Until the 1950s, however, properties on the south side of Gloucester Street were primarily houses and low-rise apartment buildings (Figure 9).

One of the few residences to survive the waves of redevelopment was 77 Gloucester, located across the street and slightly to the east of 84 Gloucester (Figure 10). Also known as the Nagle House, it is a brick Italianate residence built in 1872 that has been fully designated by the City of Ottawa.<sup>6</sup> The house is part of the property of St. Peter's and St. Paul's Anglican Church, built c 1880, which is listed on the Ottawa Heritage Register (Figure 11).

Aerial imagery from 1965 shows the office building and the houses at 86 and 92 Gloucester still extant with some paved parking areas where 84 and 92 Gloucester had once stood (Figure 12). Aerial imagery from 1976 is unclear, but appears to show that the buildings from 84 to 110 Gloucester Street were unchanged from the 1976 photograph. Some time before 1991, the date of an aerial photograph in the GeoOttawa map application, 84 and 92

---

<sup>6</sup> Ontario Heritage Trust, Ontario Heritage Act Register, City of Ottawa, By-law to designate 77 Gloucester Street, Ottawa, 19 February 1986, online at: [www.heritagetrust.on.ca/oha/details?id=5912&backlinkslug=search-results&fields%5Bproperty\\_name%5D=77+gloucester](http://www.heritagetrust.on.ca/oha/details?id=5912&backlinkslug=search-results&fields%5Bproperty_name%5D=77+gloucester), accessed 23 February 2023.

Gloucester Street were in use for surface parking (Figure 7).

The extant office building at 100 Gloucester is associated with post-war construction of office buildings in Centretown (Figure 4). Constructed c 1963-4, the building is a typical modern-era building of concrete-slab design typical of buildings of its era in urban centres across North America. Advertisements for the “new office building” at 100 Gloucester that could be fitted to suit the tenant appeared regularly in the *Ottawa Citizen* as early as September 1964. 100 Gloucester is not listed on in the list of recent additions to the Ottawa Heritage Register.

Based on testimony from an inquiry into a fire, the 1912 fire insurance plan (Figure 13), and city directories, the Wendell Apartment block at 110 Gloucester Street was built in 1910-13.<sup>7</sup> It is three storeys in height, plus a raised basement. In 1941, the building suffered a major fire that killed three people (Figure 14).<sup>8</sup> At that time, there were 28 units on three floors and in the basement. It was described as being a three-storey brick-veneer structure (not a solid brick structure as shown as being under construction in the Fire Insurance Plan) owned by Col. E.R. McNeill, president of the Federal Typewriter Company of Ottawa. Following the fire, George A. Crain and Sons were contracted to remodel the apartment building.<sup>9</sup> As per the Ottawa Heritage Register listing, architect Cecil Burgess prepared plans for interior alterations only.<sup>10</sup>

Following the fire, a newspaper article reported that the building was being repaired to conform to new city building bylaws. All walls surrounding the halls were to be of fireproof construction while two enclosed fire-tower stairs were installed, one at the front and the other at the rear of the building.”<sup>11</sup> Photography of the fire as printed in the newspapers shows the building to be similar to its appearance today, with the original building having a stronger articulation of the banding below the attic storey at the top of the bays and a shallow stone portico (Figure 14). The aluminum storm windows on the building today were added later.

## **7.0 Heritage Resources Under Study – 110 Gloucester Street**

The Wendell Apartment building at 110 Gloucester Street built in 1910-13 is listed on the Ottawa Heritage Register. It is described in the listing as a “symmetrical building with Italianate and Renaissance Revival influences. 1934-42 interior alterations by architect Cecil Burgess.”

In the early 1910s, apartment construction in urban Canada was in the middle of a boom that

---

<sup>7</sup> “More Accessible Fire Escapes on Apartments Needed, Jury’s Verdict,” *The Ottawa Citizen*, 11 March 1941, p. 8. Accessed through Newspapers.com. The date of the building is given as 1910 in the article, but the fire insurance plan shows the building as being under construction in 1912 and it is listed as simply “Apartment House” in the 1912 directory. In 1913, tenants are listed.

<sup>8</sup> “Occupants of Apartment,” *The Ottawa Journal*, 4 March 1941, p. 12. Accessed through Newspapers.com. Some people could not escape safely because telephone wires added to the building interfered with the operation of the fire escape ladders.

<sup>9</sup> “Wendell Apartments,” *The Ottawa Citizen*, 21 March 1941, p. 1. Accessed through Newspapers.com.

<sup>10</sup> City of Ottawa, Additions to the Heritage Register since 2016, Listing for 110 Gloucester Street, online at <https://ottawa.ca/en/planning-development-and-construction/heritage-conservation/heritage-properties#section-54dfd03-6772-4048-b702-0b56c4d57f7a>. Information about interior alterations by architect Cecil Burgess may have been taken from building permit applications.

<sup>11</sup> “Wendell Apartments,” *The Ottawa Citizen*, 21 March 1941, p. 1.

slowed down during the First World War and picked up pace in the 1920s.<sup>12</sup> To attract respectable tenants and demand higher rents, apartment building owners tried various strategies to convey an aura of respectability and refinement, which resulted in Ottawa having a number of substantial and elegant apartment buildings built in the 1910s, 20s and early 30s. The Wendell Apartments block originally contained relatively small units when compared to more prestigious buildings, such as Ottawa’s Queen and Royal apartments completed in 1913 that included large units of 6-7 rooms.<sup>13</sup> The 1917 Ottawa City Directory lists 29 units in 110 Gloucester,<sup>14</sup> which likely included a few units in the basement and eight units (likely with one or two bedrooms) on each level, which made the building more suitable for couples and individuals than for families.

The extent of the remodelling of the interior of the Wendell Apartments following the fire in 1941 was not studied for this HIA. On the exterior, repairs were made, but the basic form of the building remained unchanged. The decorative cornice was left in place, but the Neoclassical stone portico that contributed to a more recognizable Italianate style (Figure 15) was removed.

### 7.1 Ottawa Heritage Register Listing of 110 Gloucester Street<sup>15</sup>

Street Name	Gloucester
Address / Adresse	110, rue Gloucester St
Common Name / Building Name	Wendell/Windsor Arms Apartments
Built As	Apartment Building, Mid-High Rise
Currently Used As	Residential
Construction Time Frame	1912
Architect / Builder	
Primary Architectural Style	Italianate
Secondary Architectural Style	Vernacular
Roofline	Flat
Storeys	3
Primary Cladding	Brick
Architectural Description	Symmetrical building with Italianate and Renaissance Revival influences. 1934-42 interior alterations by architect Cecil Burgess.
Previous Reference List	
Comments	Central Centretown
Heritage Neighbourhood	Centretown

<sup>12</sup> For statistics on apartment construction in Toronto and a discussion of construction trends across Canada in these years, see: Richard Dennis, “Apartment Housing in Canadian Cities, 1900-1940,” *Urban History Review/Revue d’histoire urbaine*, Vol. XXVI, No. 2, p. 19.

<sup>13</sup> Heritage Ottawa, *From Walk-Up to High-Rise: Ottawa’s Historic Apartment Buildings* (Ottawa: Heritage Ottawa, 2017), p. 12.

<sup>14</sup> Might Directories Limited, *The Ottawa City Directory, 1917*, p. 90, accessed online at <https://vitacollections.ca/ottawalibrary/3566656/data?n=>.

<sup>15</sup> City of Ottawa, 110 Gloucester listing on the Additions to the Heritage Register, online at <https://ottawa.ca/en/planning-development-and-construction/heritage-conservation/heritage-properties#section-54dfd03-6772-4048-b702-0b56c4d57f7a>.





## 8.0 Description of the Proposed Development

As described in the *84 & 100 Gloucester Street, Design Brief*, the proposed development is a 27-storey mixed-use building on a five- and six-storey podium (Figure 16, Figure 17, and Figure 18). The ground floor of the building includes 144 m<sup>2</sup> of retail spaces, 98 underground parking spaces, and 315 enclosed bicycle spaces. The amenity spaces, which include the at-grade rear yard, private balconies, and rooftop spaces, total 1,761 m<sup>2</sup>.

The massing of this large project will be broken down into smaller components to establish a more appropriate relationship with the streetscape on a relatively narrow street. Blocks of distinctive materials on the podium levels will help establish a transition from new to old moving east along Gloucester Street (Figure 19).

The proposed development aims to be consistent with the Community Design Plan which addresses the narrow width of Gloucester and other streets in Centretown by suggesting design techniques such as gaps between buildings, variations in building materials, and articulation of podiums, rather than providing setbacks. The concept for 84 & 100 Gloucester Street features varied podium structures of 6 or 7 storeys, with areas carved out for pedestrian-related spaces. A key component, as described in the Design Brief, is the new commercial block on the site of 100 Gloucester Street that will occupy almost the same footprint as the existing building.

Each component of the podium structures will read as distinctive units from each other and from neighbouring buildings, which will help retain the rhythm of the streetscape and improve the pedestrian experience.

Traffic studies will confirm the feasibility of accessing the underground parking structure through the existing access ramp in the Claridge Loop building at 70 Gloucester/89 Nepean to provide for a continuous uninterrupted pedestrian experience along the length of the new building.

The treatment of the open space is an important consideration for the project. Small public spaces will be included in the plan, as well as space for street trees (Figure 20).

Specific to consideration of the heritage value of 110 Gloucester Street, but also relevant to acknowledging of the history of Centretown, the design proposes that:

- The new building, including its foundation walls, are set at a minimum nominal distance

- of 3 metres from the east walls of 110 Gloucester Street (Figure 16 and Figure 21).
- The reintroduction of a defined building block similar in scale (although shorter) and at the same street alignment to the existing office building at 100 Gloucester Street preserves the street dynamic between 100 and 110 Gloucester Street (Figure 21)
- The 6th and 7th floor cantilever projecting over the gap between the heritage building and the new structure is intended as an embracing gesture, presenting a smaller scaled component which will signal the presence of the older structure and an artistic treatment addressing the street rather than a typical sidewall (Figure 21).

## 9.0 Impact of Proposed Development

This CHIS examines the impact of the proposed planning application and development at 84 & 100 Gloucester Street on the heritage values of the property at 110 Gloucester Street, also known as the Wendell Apartments. No demolition or construction is planned for 110 Gloucester Street for the development, which will be located on the adjacent lots to the east.

### 9.1 Potential Positive and Adverse Impacts

Impact Area	Comment
Demolition or removal of heritage attributes.	<p><u>No impact.</u></p> <ul style="list-style-type: none"> <li>No demolition or removal of heritage attributes is proposed.</li> <li>The new building, including its foundation walls are set at a minimum nominal distance of 3 metres from the east walls of the heritage building.</li> <li>The building will be protected during construction using best practices, there is no protection plan available yet.<sup>16</sup></li> </ul>
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building	<p><u>Positive impact.</u></p> <ul style="list-style-type: none"> <li>The reintroduction of a defined building block similar in scale (although shorter) to the existing office building at 100 Gloucester Street and at the same street alignment preserves a street dynamic in which the heritage building is central.</li> <li>The 6th and 7th floor cantilever projecting over the gap between the heritage building and the new structure is intended as an embracing gesture, presenting a smaller scaled component which will signal the presence of the older structure and an artistic treatment addressing the street rather than a typical sidewall.</li> </ul>
Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape	<p><u>No significant impact.</u></p> <ul style="list-style-type: none"> <li>No shadow studies have been completed but the concept design shows that the proposed design of the west end of the property, using a set of off-set blocks that provide space between the development and the back of the</li> </ul>

<sup>16</sup> Email correspondence, J. Harris and N, Kopp, Matrix Heritage, and V. Denomme, Claridge Homes, 24 February 2023.

Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship

property, will allow for views from the rear portion of 110 Gloucester to the east. The intention of this design is also to permit the redevelopment of adjacent properties with high-rise buildings that are appropriately distanced from the subject property and proposed development.

No significant impact.

- 110 Gloucester Street is already partially isolated from its original context in being part of a residential street. High-rise buildings exist, are planned, or under construction along both sides of Gloucester Street immediately adjacent to the east of the subject property. Further, recent high-rise developments are located to the south and east of the proposed development.
- The new project will have a setback from the street similar to the setback of 110 Gloucester Street. Furthermore, a new commercial block is designed to occupy almost the same footprint as the existing building at 100 Gloucester, which will establish continuity between the old and new streetscapes.

## **10.0 Alternatives and Mitigation Strategies**

### **10.1 Alternatives**

No alternatives to the development proposed for the zoning application have been proposed by Claridge Homes and its architects and planners.

### **10.2 Mitigation**

As discussed above, a protection plan during construction will be needed to reduce the potential for damage to 110 Gloucester Street. It is the opinion of the author of this HIA, that EVOQ<sup>17</sup> is fully qualified to develop precautionary plans to protect 110 Gloucester Street.

## **11.0 Conclusion**

Based on the Design Brief and a conversation with the architects,<sup>18</sup> it is the opinion of the author of this HIA that full consideration of the streetscape, general heritage context of Centretown, and the relationship between the proposed development and 110 Gloucester Street, and anticipated future development have been carefully considered and addressed in the design of the proposed development at 84 & 100 Gloucester Street that would proceed with the rezoning application.

---

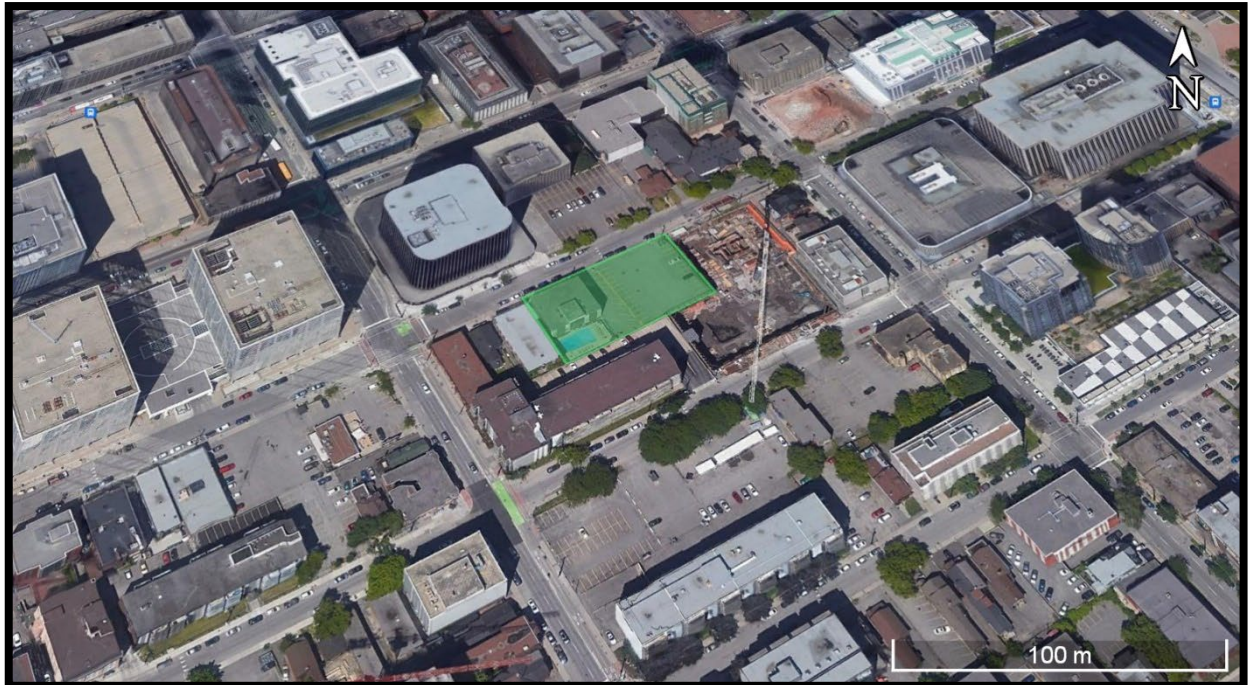
<sup>17</sup> EVOQ website, "Expertise," online at <http://evoqarchitecture.com/en/expertise-2/>.

<sup>18</sup> Online meeting, J. Harris and N. Kopp, Matrix Heritage, with N. Godlovitch and S. Joan, EVOQ Architecture, 17 October 2022.

**12.0 Figures**



**Figure 1: Concept rendering for the proposed development at 84 & 100 Gloucester. Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.**



**Figure 2: Aerial view of the development parcel for 84 and 100 Metcalfe Street, 2018. Source: Google Earth, imagery date: 6/8/2018, with annotation by Matrix Heritage.**



**Figure 3: Map of the development parcel for 84 and 100 Metcalfe Street, shaded in blue, showing surrounding context and lot divisions. Source: GeoOttawa.**



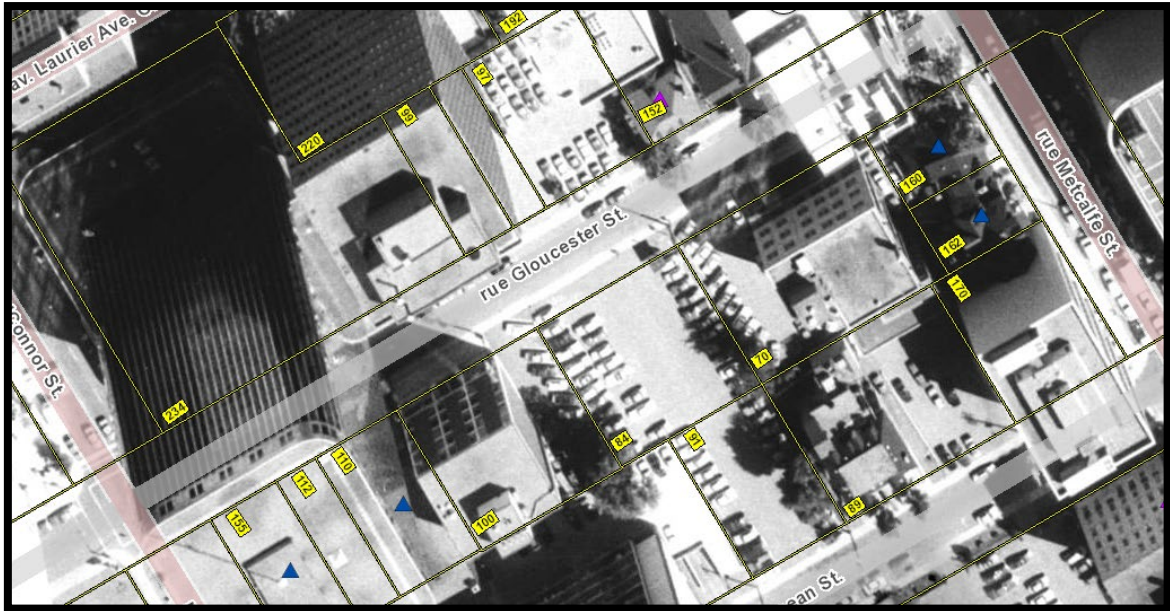
Figure 4: 100 Gloucester Street (left) and 110 Gloucester Street (right). (Credit: Matrix Heritage, 2023.)



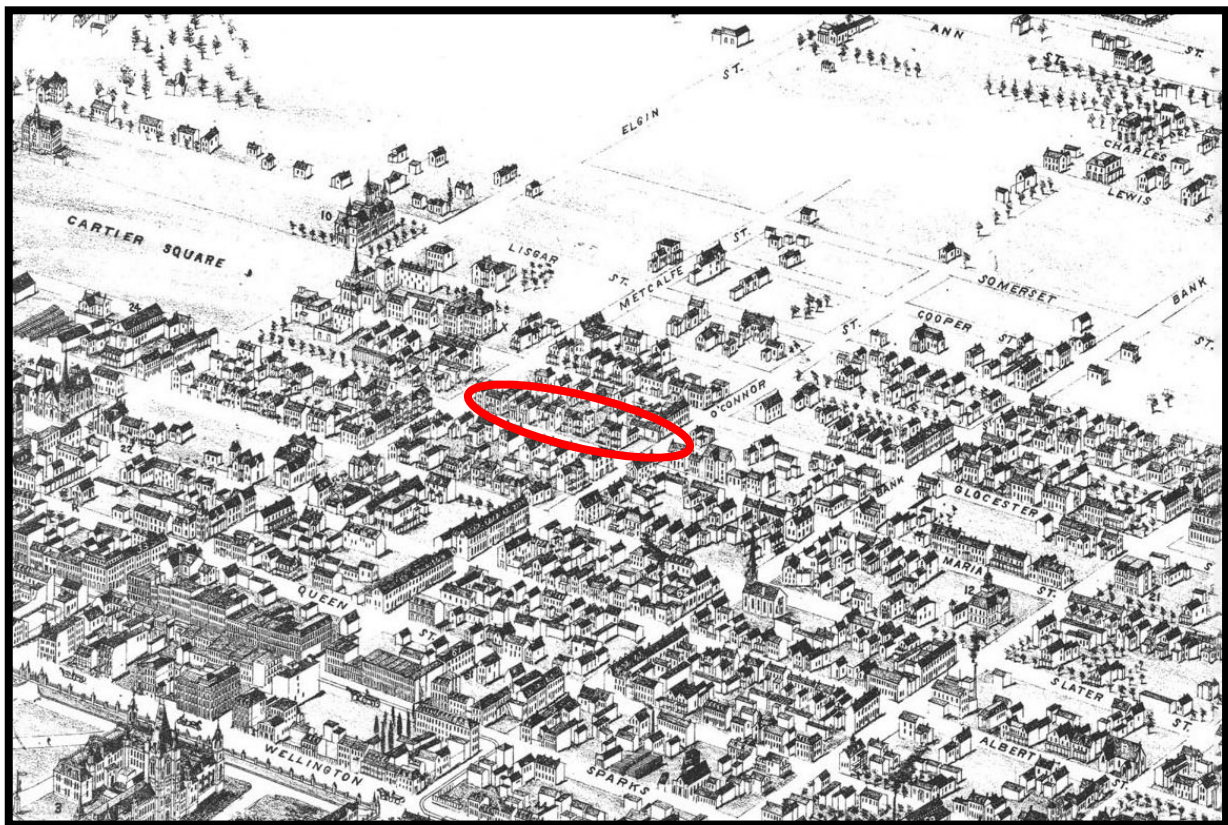
**Figure 5: 110 Gloucester Street, Ottawa, ON. (Credit: Matrix Heritage, 2023.)**



**Figure 6: Queen Apartments, 255 Daly Avenue, Ottawa. Source: Google streetview, May 2021.**

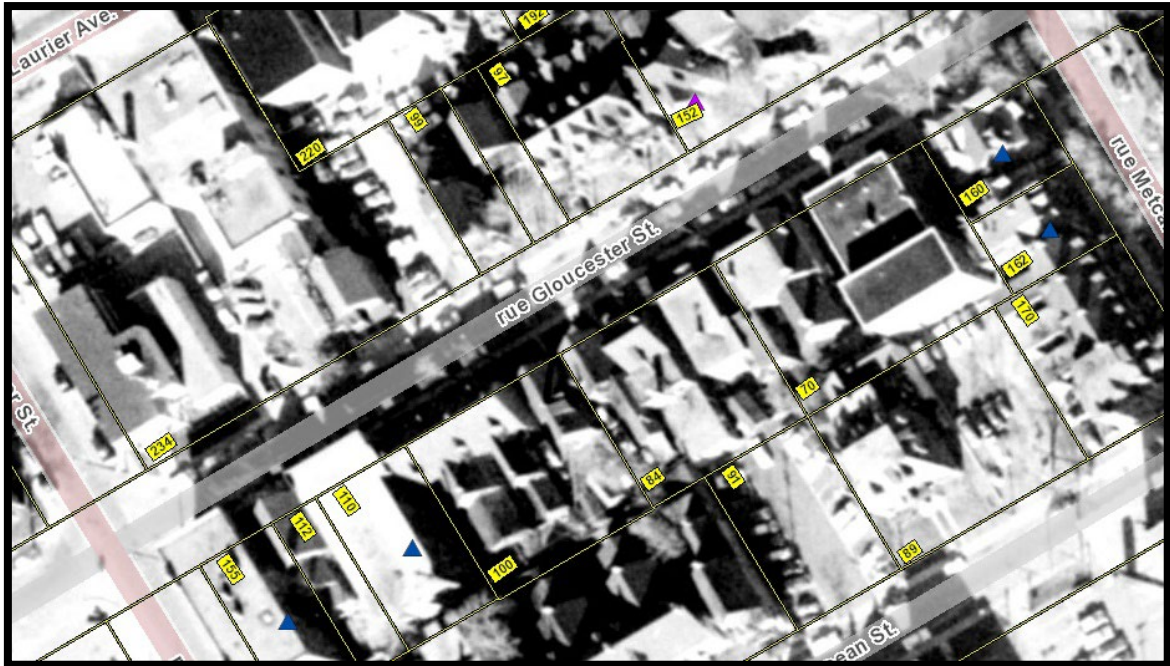


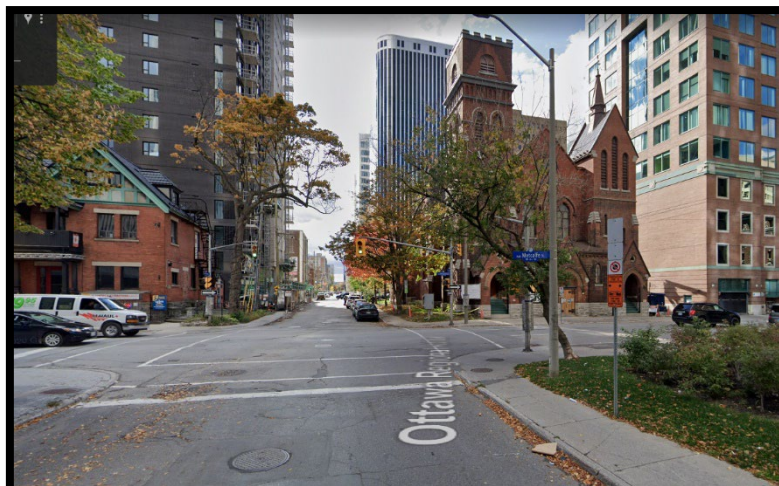
**Figure 7: Aerial photograph of subject block of Gloucester Street, 1991. Source: GeoOttawa.**



**Figure 8: 1876 Brosius bird's eye view map shows that the south side of Gloucester Street (circled) between Metcalfe and O'Connor was fully constructed. Source: Library and Archives Canada, NMC 11967. Annotation by Matrix Heritage.**







**Figure 11: St. Peter's and St. Paul's Anglican Church, 152 Metcalfe Street, October 2020 when the Loop tower was under construction across the street from the church and 77 Gloucester Street (Nagle House). Source: Google streetview, October 2020.**



**Figure 12: Aerial photograph of subject block of Gloucester Street, 1965. Source: GeoOttawa.**

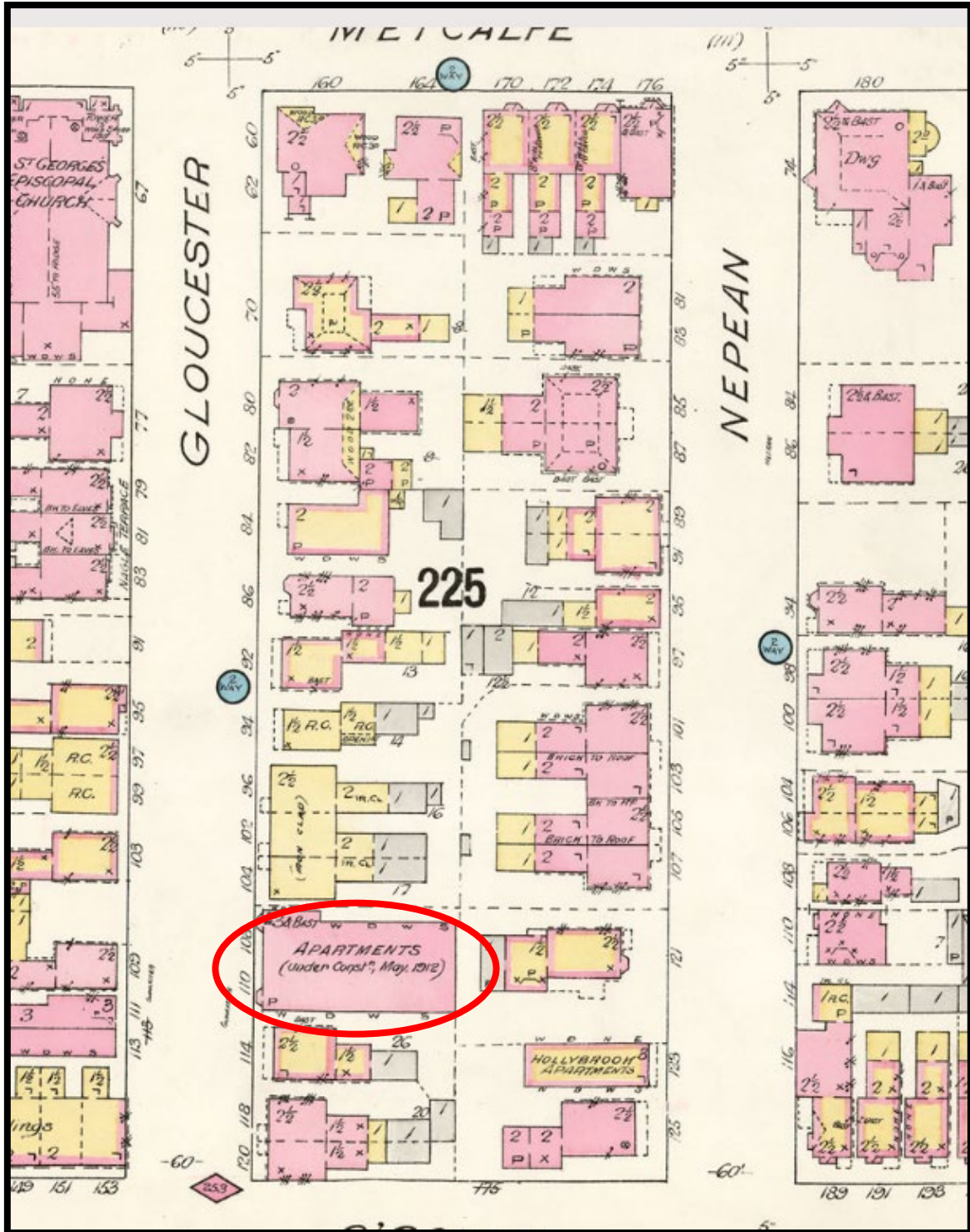


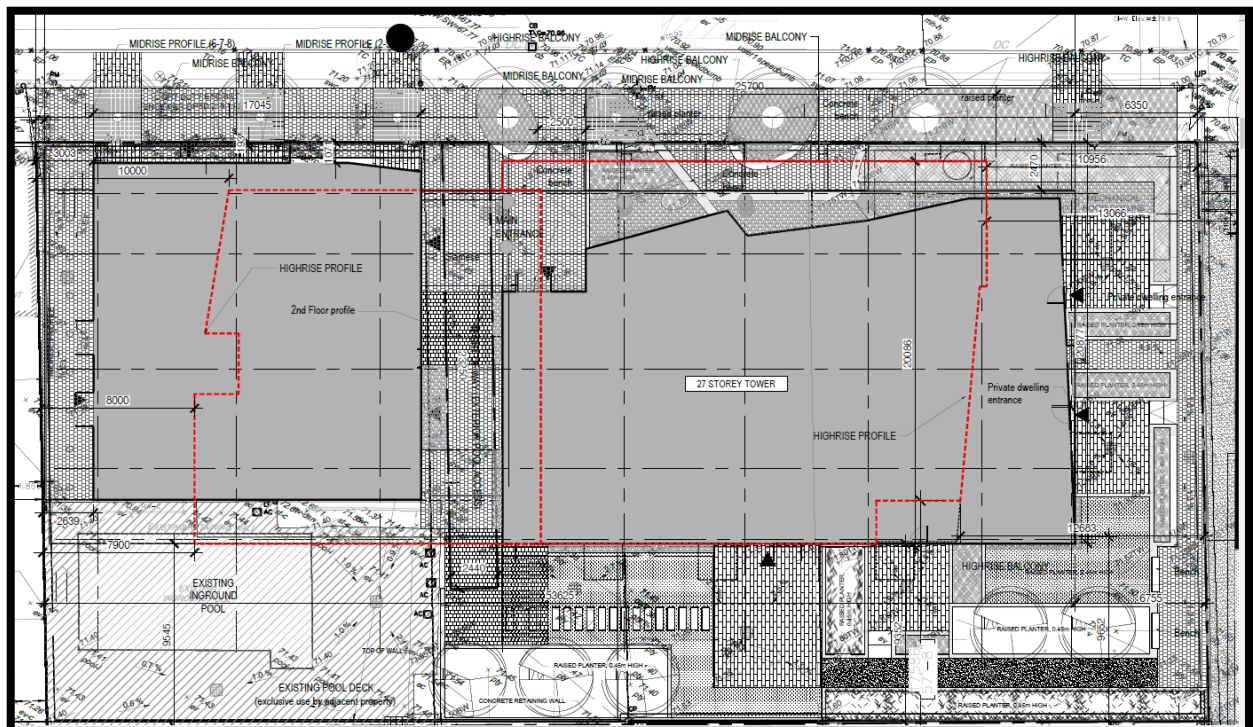
Figure 13: Detail from the Fire Insurance Plan, Ottawa, for 1902, revised to 1912. The Plan shows the Wendell Apartments as being under construction (circle). Source: Library and Archives Canada, e010689337-v8, annotation by Matrix Heritage.



Figure 14: Wendell Apartments, 110 Gloucester Street, Ottawa, ON, after the fire in 1941. The quality of the image makes it difficult to fully discern its architecture, but it included a more fully articulated band below the attic storey and a shallow stone portico. Source: *Ottawa Citizen*, 4 March 1941, p. 1, accessed through Newspapers.com.



**Figure 15:** After the Wendell Apartments block was remodelled in 1941, the original facade disappeared behind an addition that likely contained a fire-resistant staircase. The remodelling reinstated or replaced the decorative cornice, but obscured and removed elements that contributed to a more recognizable Italianate style. One of these elements as the basket-weave brickwork (arrow). Source: Matrix Heritage, 2023.



**Figure 16:** Site plan for the proposed development at 84 & 100 Gloucester oriented north (Gloucester Street at the top). The space shaded in red will be open between 110 Gloucester Street and the new development. Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.

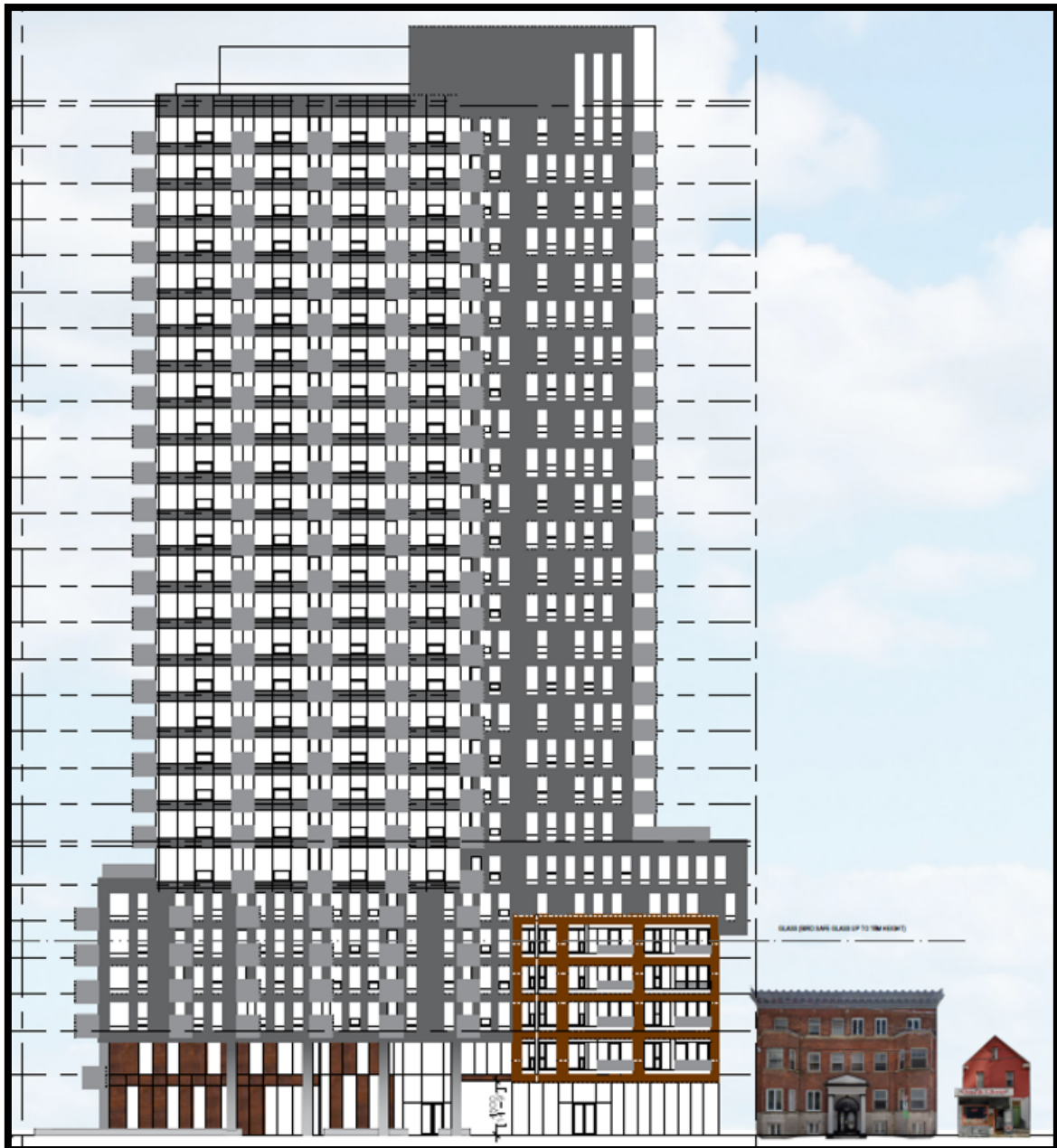


Figure 17: Proposed north (Gloucester Street) elevation for 84 and 100 showing 110 Gloucester in context. A narrow gap between the properties will separate 110 Gloucester from the distinctive block in the development that is faced in brown brick and features an offset block above. Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.

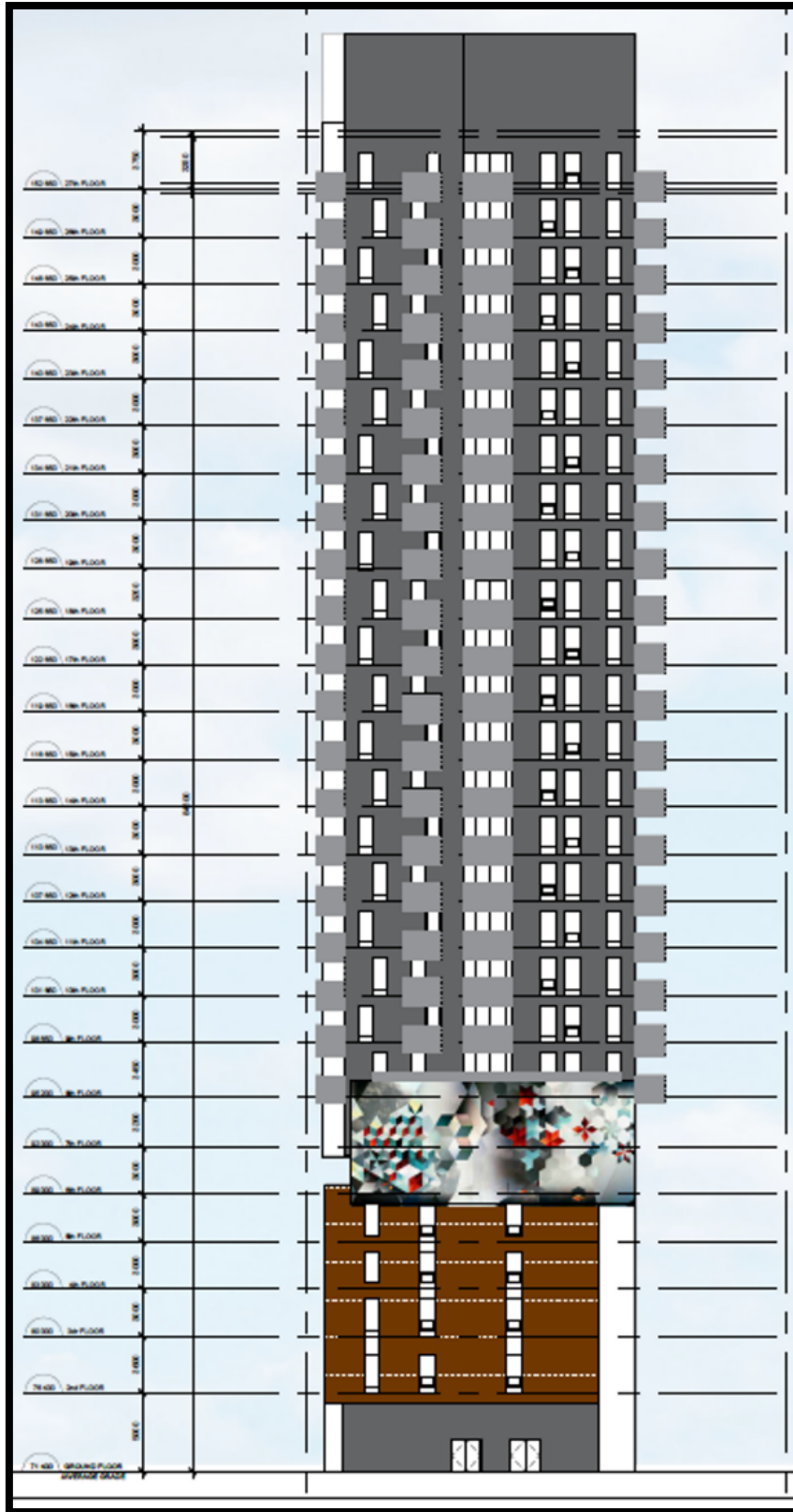


Figure 18: Proposed east elevation for 84 & 100 Gloucester Street. Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.



Figure 19: Proposed at-grade interface and materials for 84 & 100 Gloucester Street. Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.

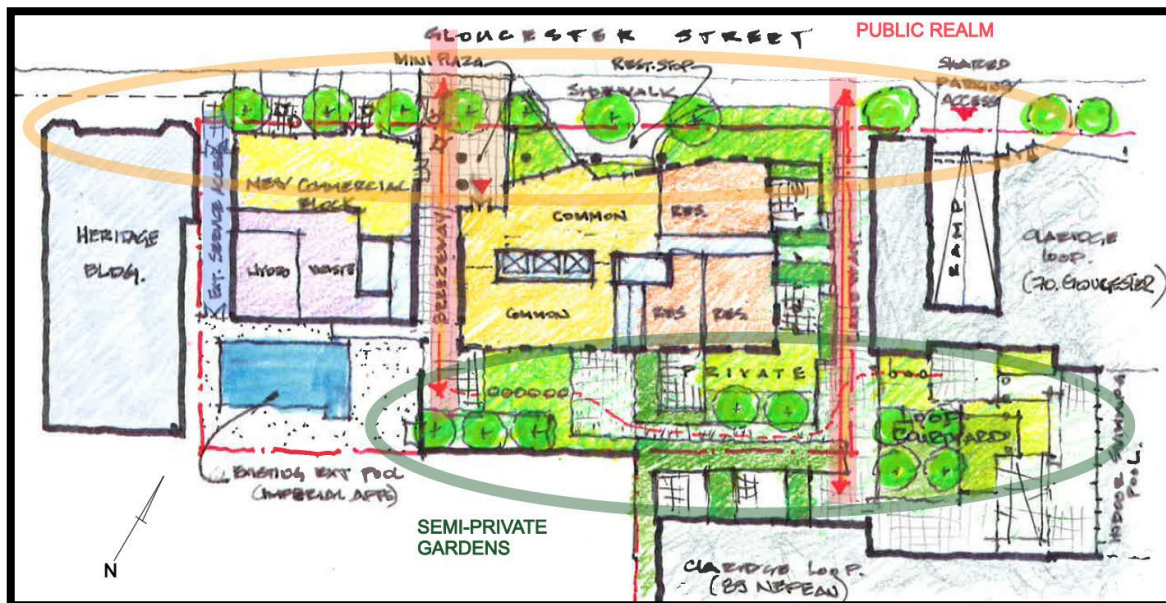


Figure 20: Schematic design concept for 84 & 100 Gloucester Street. The concept shows the existing secondary access for 100 Gloucester Street being left intact, which is retained in the final concept designs. The open area behind the block currently used for the swimming pool of the Imperial Apartments will also be left in place. Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023.





**Figure 21: Concept rendering of the proposed development at 84 & 100 Gloucester in context looking east along Gloucester Street with 110 Gloucester towards the right of the drawing (arrow). Source: Fotenn, EVOQ and Claridge Homes, *84 & 100 Gloucester Street, Design Brief, Zoning By-law Amendment Application*, 20 January 2023. Arrow added by Matrix Heritage.**

### **13.0 Author's Qualifications**

Matrix Heritage is an Ottawa based heritage and archaeological consulting firm. From background reviews to complex mitigations, we find innovative solutions that benefit the client while upholding the highest standard in cultural resource management practices. We work closely with our clients and stakeholders to find project specific approaches that meet their planning, development, and heritage preservation needs.

Our highly qualified staff of professionals are well versed in provincial and federal policy which enables us to provide targeted services to both the public and private sectors. No project is too big or too small to receive excellent customer service. Every client receives the same comprehensive and personal approach. We are here to help navigate the assessment process from initial advice and planning through to assessments and mitigation. On land or underwater, small single parcel or multi-phase project, burial site investigation, or policy development, Matrix Heritage will help devise unique solutions to complex cultural resource issues.

Matrix Heritage brings together archaeologists and heritage professionals with a great deal of experience in pre-contact Indigenous and historical archaeology of Ontario and built heritage and cultural landscape evaluations and impact assessments. Our core staff includes Ben Mortimer, Senior Archaeologist and Principal and Nadine Kopp, Senior Archaeologist and Partner. Julie Harris, Senior Heritage Consultant, provides services related to built heritage (including cultural landscapes) and Indigenous engagement. The consultants on this project have completed approximately 40 cultural heritage evaluation reports and heritage impact assessments in Ottawa and other parts of Ontario.

**Julie Harris is a Senior Heritage Specialist with expertise in architectural history, public history and heritage evaluations, and a long-time member of the Canadian Association of Heritage Professionals.**

Julie has more than 30 years of experience preparing heritage evaluations and impact assessments across Canada, including dozens of reports for environment assessments involving buildings, landscapes, waterpower projects and other types of engineering works. She has served as an expert witness for LPAT/OMB hearings and is a former member of the Conservation Review Board of Ontario. She has led Indigenous engagement projects for waterpower projects for Peterborough Utilities Incorporated (PUI), Parks Canada and the Indigenous Heritage Circle. Her involvement in Ontario's industrial history has included a published history of Canadian airports, numerous studies of railway infrastructure, bridges of all types in Ontario and elsewhere in Canada, waterpower projects in Eastern Ontario, and a published history of the Alaska Highway based on work with local communities and First Nations in British Columbia and Yukon.