

**NEW 6 STOREY APARTMENT BUILDING
60 UNITS**

LEGAL DESCRIPTION:

PART 1 PLAN OF LOT 2 AND PART OF LOTS 1 AND 3 REGISTERED PLAN 183 CITY OF OTTAWA

REFERENCE SURVEY:

BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD. DATED AUGUST 25, 2022.

MUNICIPAL ADDRESS:

377 - 381 WINONA AVE. OTTAWA, ON

DEVELOPMENT INFORMATION:

SITE AREA	960 m ²
BUILDING AREA	787 m ²
GROSS FLOOR AREA	4,666 m ²
BUILDING HEIGHT	19.5m
ZONE	
SCHEDULE 1:	AREA B INNER URBAN
SCHEDULE 1A:	AREA Y INNER URBAN MAINSTREET
SCHEDULE 2:	FULLY WITHIN 600 m RADIUS

UNIT MIX:

TWO BEDROOM	18
ONE BEDROOM	18
STUDIO	24
TOTAL	60

ZONING PROVISION

	REQUIRED	PROVIDED
MIN. LOT WIDTH	No Minimum	29.9 m ²
MIN. LOT AREA	No Minimum	961 m ²
MAX. FRONT YARD SETBACK	2 m	0 m
MIN. REAR YARD SETBACK	No Minimum	0 m
MIN. INTERIOR YARD SETBACK	No Minimum	0 m

MAX. HEIGHT	20 m / 6 storeys Additional setback of 2 meters where building greater than 4 storeys	19.00 m Additional 2 m setback provided above 4 th storey
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AMENITY AREA	360 m ² (6 m ² per dwelling unit)	360 m ²
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PARKING QUEING + LOADING

	REQUIRED	PROVIDED
RESIDENTIAL SPACES	13	13
VISITOR SPACES	5	5
ACCESSIBLE PARKING	1 - Type A & B	1 - Type A & B
BICYCLE PARKING	32	56

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- EXTENT OF OVERHANG ABOVE
- BUILDING SETBACK FLOOR 2 + 6
- BUILDING SETBACK FLOOR 5 + 6
- EXTENT OF STRUCTURE BELOW GRADE
- MAXIMUM 2% SLOPE AT TOP OF RAMP
- FIRE DEPARTMENT STANDPIPE CONNECTION
- COMMERCIAL GARBAGE ENCLOSURE
- HYDRO TRANSFORMER PAD
- CONCRETE PAD FOR NATURAL GAS METER
- AREA WELL FOR GARAGE VENTILATION
- PRIVATE YARD
- WOOD FENCE

SITE PLAN LEGEND:

- EXISTING BUILDING
- ASPHALT PAVING
- NEW GRASS, REFER TO LANDSCAPING PLAN
- NEW PLANTING, REFER TO LANDSCAPING PLAN
- CLEAR STONE, REFER TO LANDSCAPING PLAN
- CONCRETE SIDEWALK
- PAVERS
- PAVERS
- CONCRETE PAD
- VENTILATION GRILL
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- EMERGENCY EXIT
- PROPERTY LINE
- NEW FENCE
- OVERHEAD WIRES
- EDGE OF ASPHALT
- EXISTING EDGE OF ASPHALT TO BE REVISED
- ROAD CENTERLINE
- EXISTING DOMESTIC WATER
- EXISTING SANITARY
- EXISTING STORM
- EXISTING GAS
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- NEW TREE
- EXISTING TREE
- BICYCLE PARKING
- STANDPIPE CONNECTION



STAMP

2	2023.02.14	ISSUED FOR SPC RESUBMISSION
1	2022.10.13	ISSUED FOR SPC
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NOTES

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CLIENT

AZURE

OTTAWA
ONTARIO, CANADA

PROJECT

**WINONA PH
DEVELOPMENT**

377 - 381 WINONA AVE. OTTAWA,
ON

TITLE

SITE PLAN

PROJECT NO: 2022-1290
DRAWN: DF
APPROVED: DH
SCALE: As indicated
DATE PRINTED: 2/16/2023 12:40:08 PM

REV DRAWING NO.

2 A.100



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377 -381 WINONA AVE. OTTAWA,
ON

TITLE

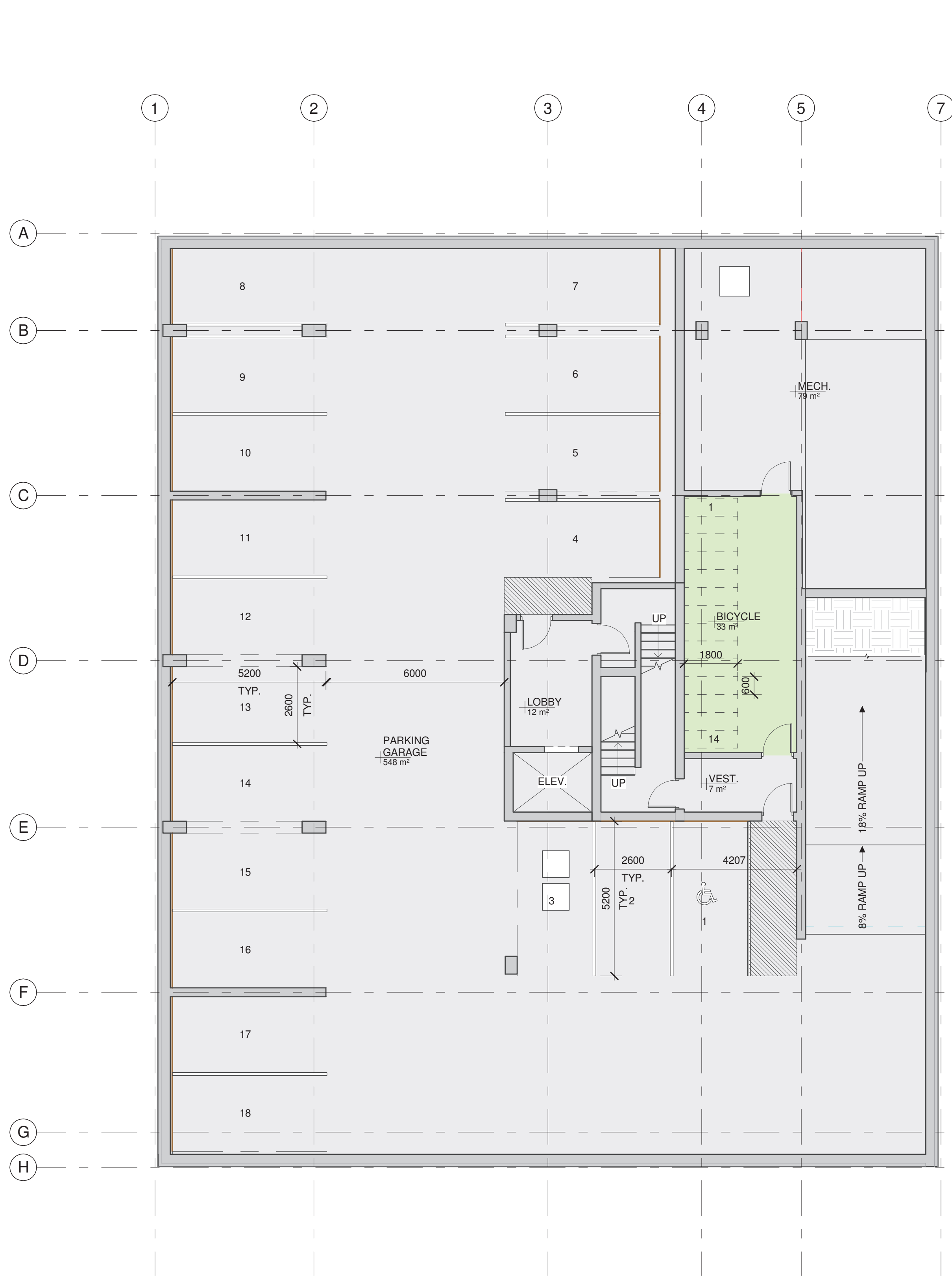
**GROUND AND
BASEMENT FLOOR
PLANS**

PROJECT NO: 2022-1290
DRAWN: DF
APPROVED: DH
SCALE: 1 : 100
DATE PRINTED: 2/16/2023 12:40:10 PM

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2 A.200

#18872



COLOR LEGEND

Green	AMENITY
Orange	COMMERCIAL
Grey	SERVICE SPACE
Yellow	STUDIO



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UPPER FLOOR PLANS

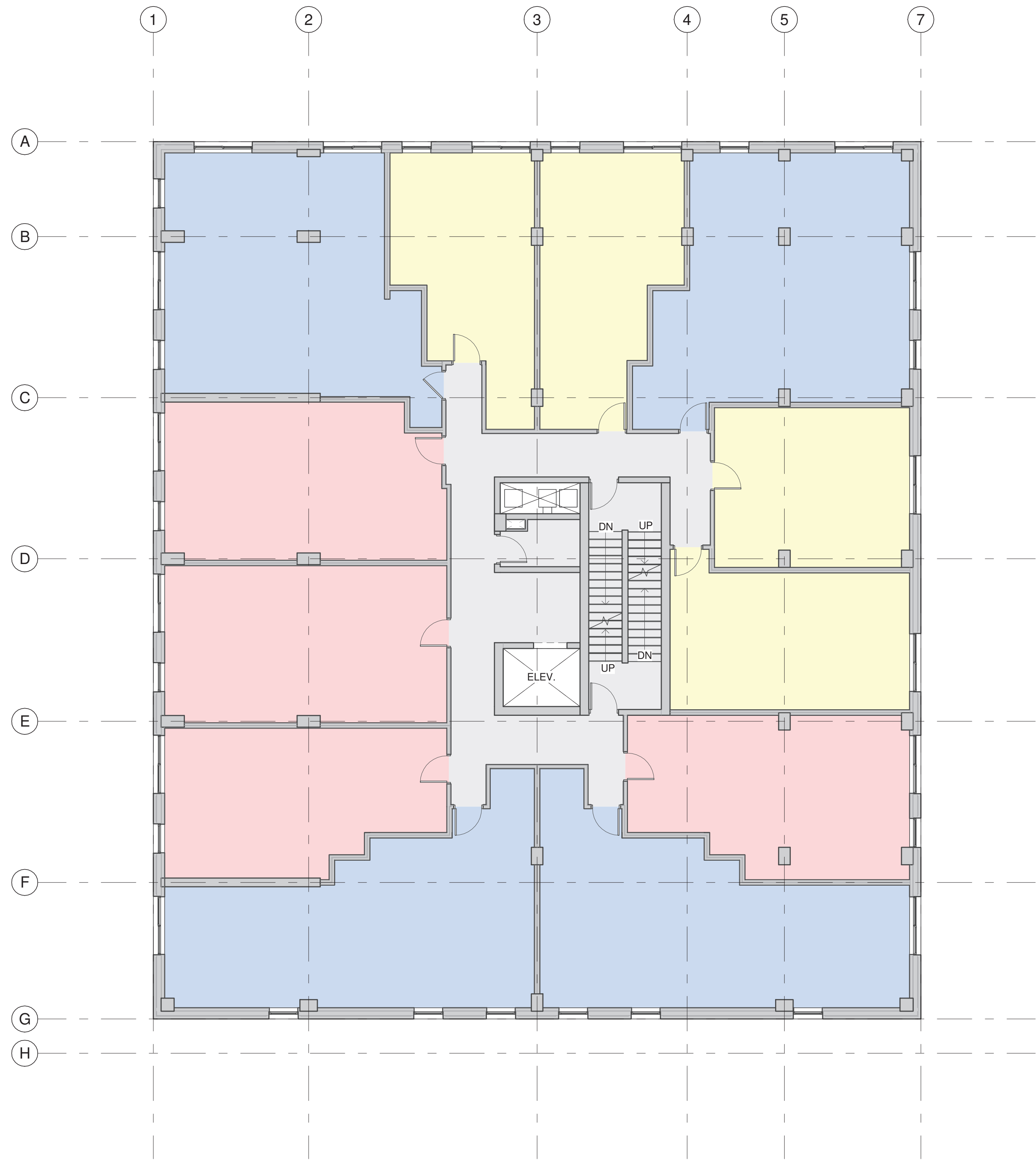
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DRAWN: DF
APPROVED: DH
SCALE: 1 : 100
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2

A.201

#18872



1 LEVEL 02 - 04 FLOOR PLAN
A.201 1:100

2 LEVEL 05 & 06 FLOOR PLAN
A.201 1:100

COLOR LEGEND

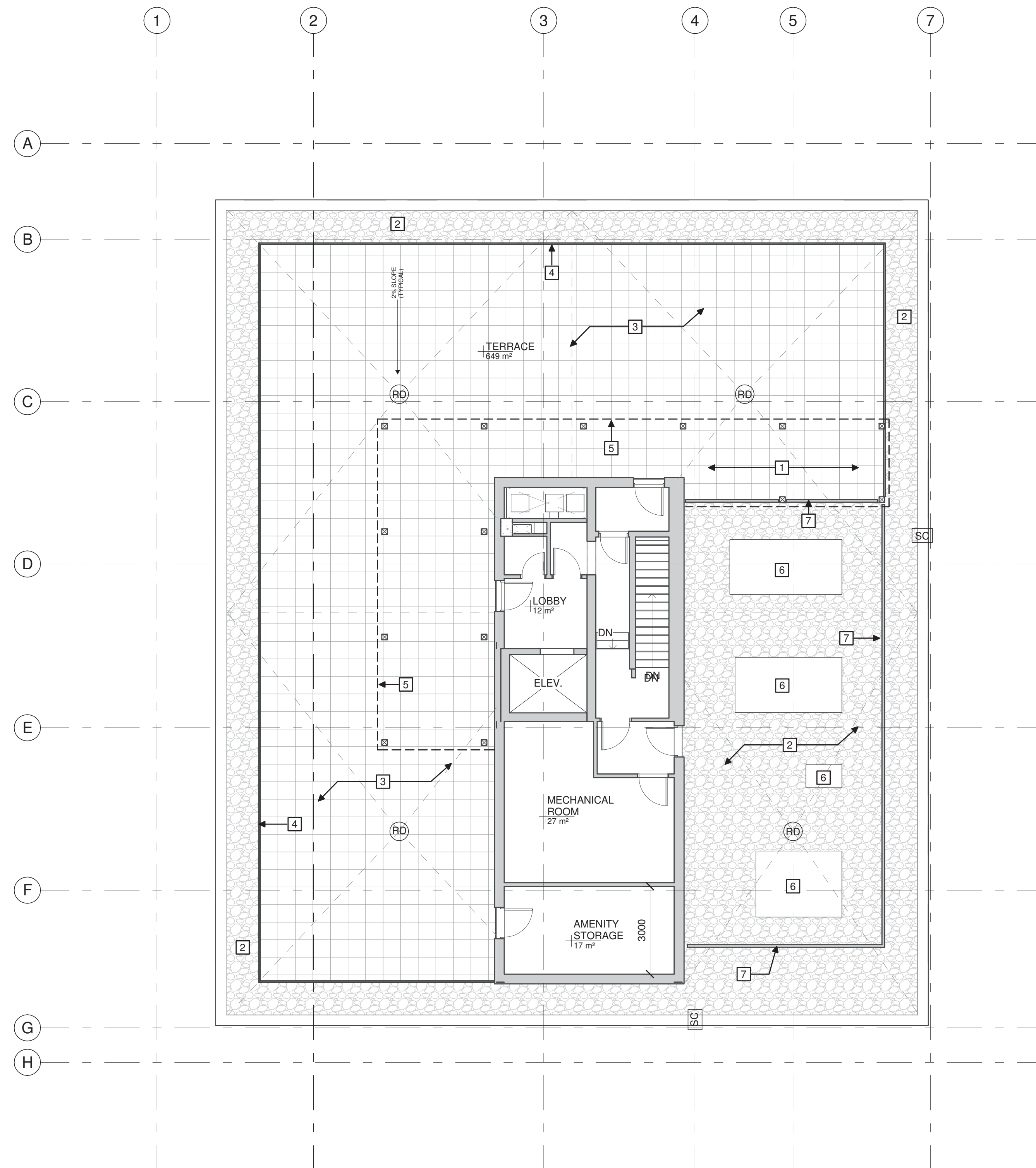
	ONE BEDROOM
	SERVICE SPACE
	STUDIO
	TWO BEDROOM

KEYNOTES:

- 1 BBQ AREA
- 2 CLEAR STONE
- 3 PAVERS ON RAISED PEDISTAL SYSTEM
- 4 GLASS AND ALUMINUM GUARDRAIL
- 5 PERGOLA ABOVE
- 6 ROOFTOP MECHANICAL UNIT
- 7 MECHANICAL SCREEN

LEGEND:

- RD ROOF DRAIN
- SC OVERFLOW SCUPPER



1 ROOF PLAN
A.202 | 1:100



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ROOF PLAN

PROJECT NO:	2022-1290
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APPROVED:	DH
SCALE:	1 : 100
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REV	DRAWING NO.
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2

A.202

#18872

D07-12-22-0154



1 WEST ELEVATION
A.301 1:100



2 NORTH ELEVATION
A.301 1:100

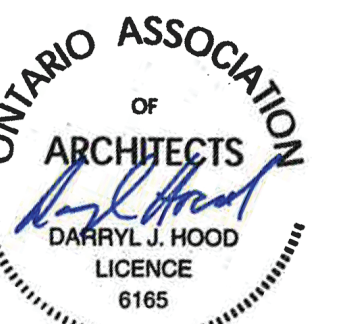
EXTERIOR ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
	M1	BRICK VENEER COLOUR: RED
	FC1	FIBERCEMENT CLADDING COLOUR: CHARCOAL
	FC2	FIBERCEMENT CLADDING COLOUR: MEDIUM GREY
	FC3	FIBERCEMENT SIDING COLOUR: LIGHT GREY

EXTERIOR ELEVATIONS KEYNOTES:

- 1 GLASS GUARD. TYPICAL
- 2 GARAGE DOOR
- 3 ROOFTOP TRELLIS
- 4 ROOFTOP MECHANICAL SCREEN
- 5 ELEVATOR OVERRUN
- 6 PRECAST WINDOW SILL. TYPICAL
- 7 STOREFRONT GLAZING. NO SPANDREL PANELS PROPOSED
- 8 PAINTED STEEL CANOPY. TYPICAL
- 9 GARBAGE ENCLOSURE
- 10 PRECAST WALL CAP
- 11 MASONRY CORNICE
- 12 BRICK SOLDIER COURSE. TYPICAL
- 13 METAL FLASHING



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**NORTH & WEST
ELEVATIONS**

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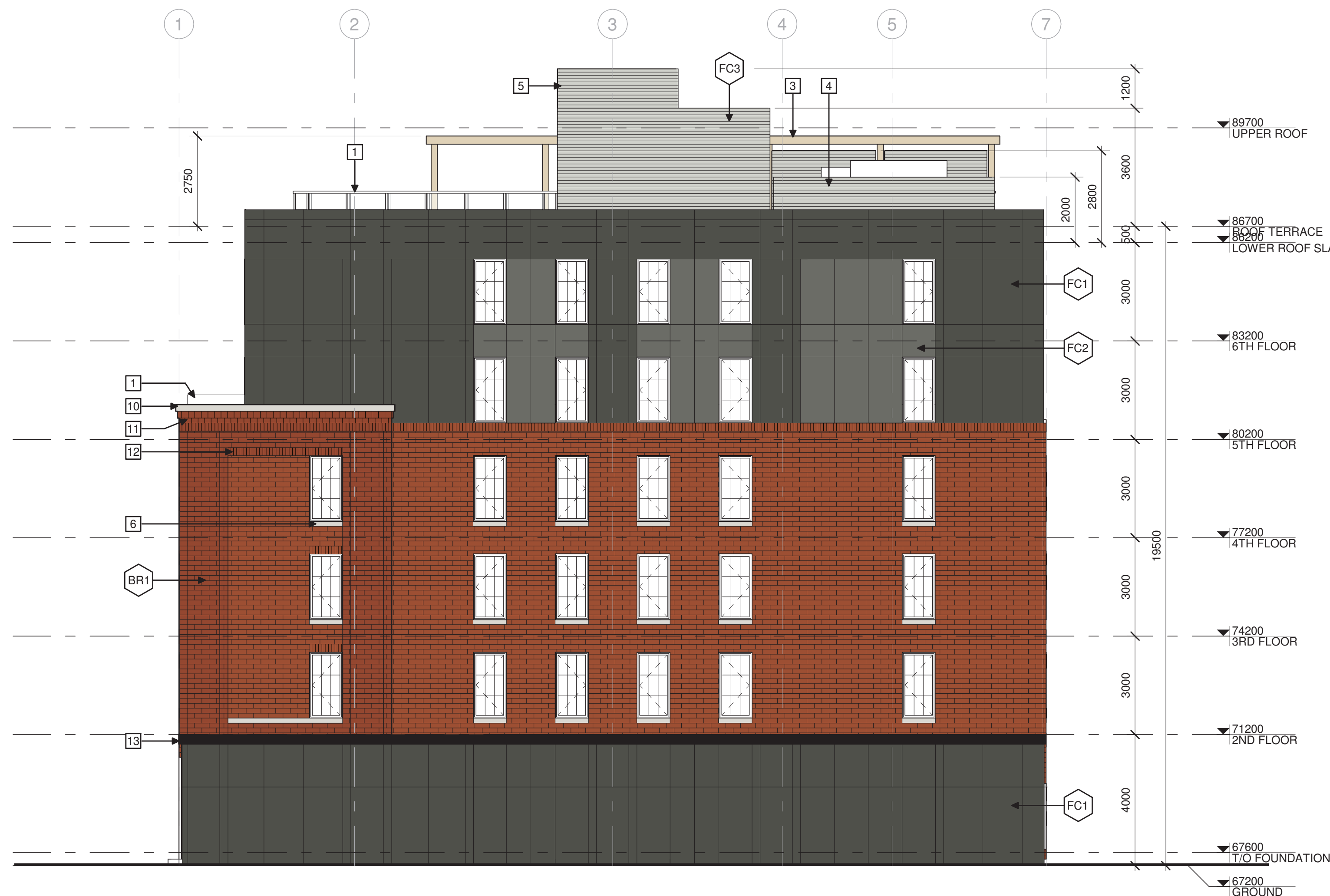
2

A.301

#18872



1 EAST ELEVATION
A.302 | 1:100



2 SOUTH ELEVATION
A.302 | 1:100

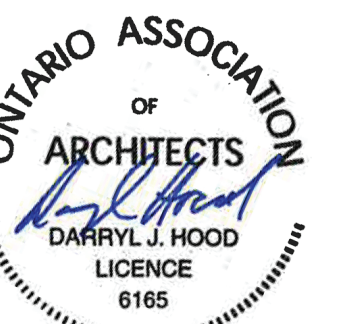
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**EAST & SOUTH
ELEVATIONS**

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