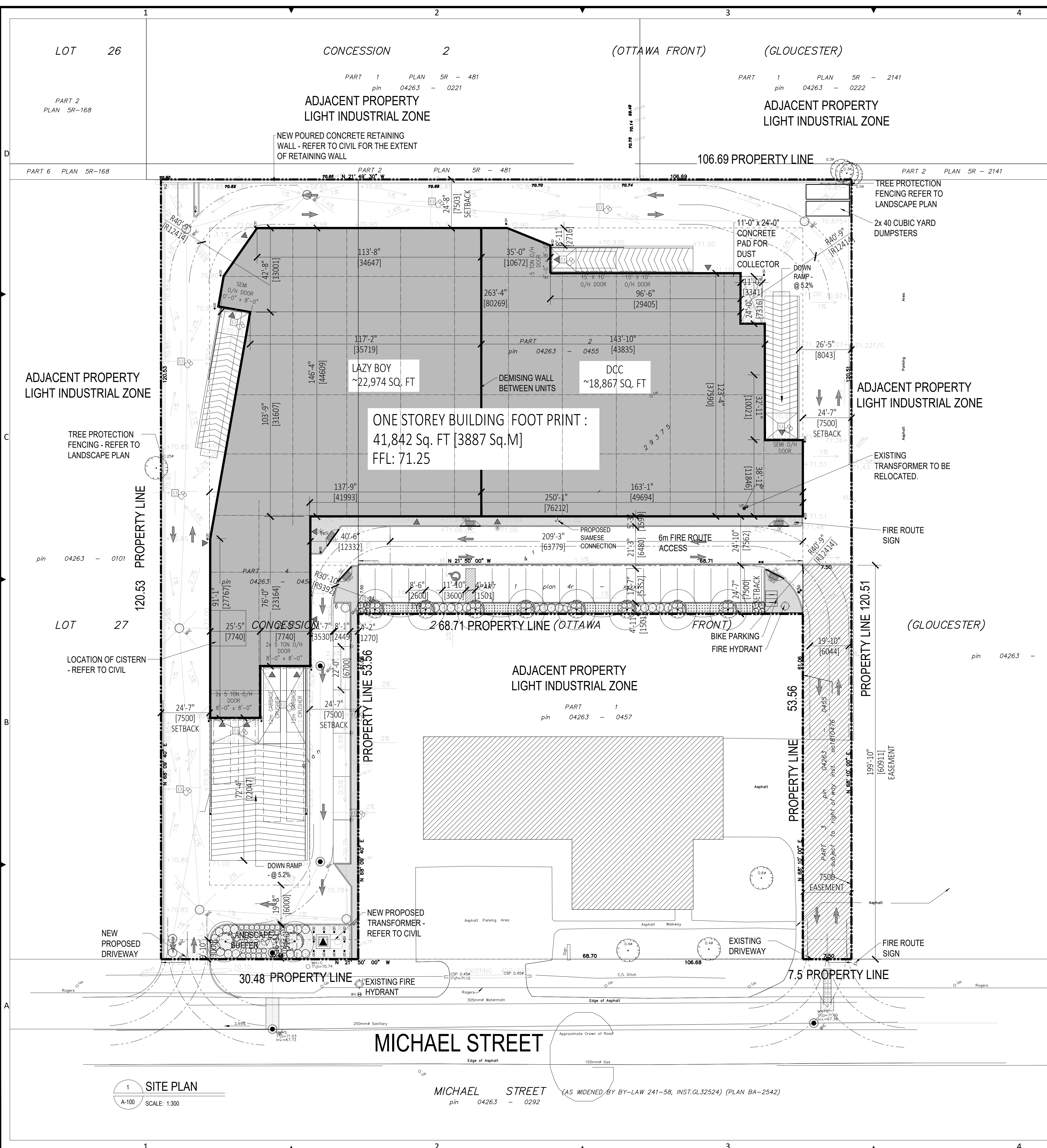


Arch D (24x36) title block © 2018, Nicholas Caragianis Architect Inc.

T:\ACM Michael Street\3.0 DWGS\3.3 Working\Drawings\3.3.7 Sheets\A1.0 SitePlan - JESSIPN - 2023-02-14



LEGEND

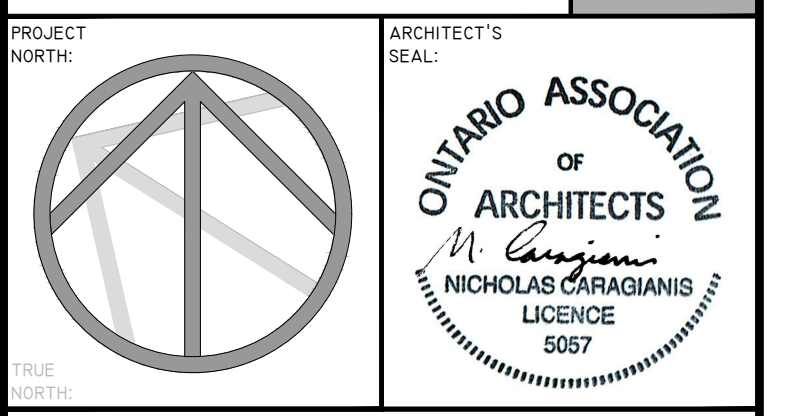
	PROPOSED BUILDING LOCATION		CATCH BASIN
	EXISTING NEIGHBORING BUILDINGS		AREA DRAIN
	LANDSCAPED AREA		SEWER CONNECTION
	CONCRETE/SIDEWALK		ENTRANCE/EXIT LOCATION
	BARRIER FREE PARKING CLEARANCE		PRINCIPAL ENTRANCE
	CURB		TRANSFORMER
	DEPRESSED CURB		FENCE & GATE
	NEW TREE/VEGETATION (REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION)		MAN HOLE COVER
	EXISTING TREE (VEGETATION IS FOR REFERENCE ONLY, REFER TO LANDSCAPE PLAN)		EXISTING UTILITY POLE / LIGHT STANDARD
	BARRIER FREE PARKING		FIRE HYDRANT
	INTERIOR PARKING		M.S. (NEW LIGHT STANDARD, REFER TO ELECTRICAL)
	EXISTING PAVERS		BOLLARD
	EXISTING CONCRETE/SIDEWALK		FIRE ROUTE ACCESS / NO PARKING SIGN SEE DRAWING K/A-101
	TWSI TACTILE WALKING SURFACE INDICATOR		STOP SIGN SEE DRAWING K/A-101
			VEHICULAR TRAFFIC DIRECTION
			PROPOSED WATERMAN STANDPOST

SITE STATISTICS

LEGAL DESCRIPTION OF PROPERTY		ZONING: LIGHT INDUSTRIAL ZONE	
PLAN OF SURVEY OF PART OF LOT 27, CONCESSION 2, PART 1, 2, 3 & 4 TOWNSHIP OF GLOUCESTER			
PROPOSED 1-STORY BUILDING		PROVISIONS	REQUIRED PROPOSED
PARCEL: 2.15 AC, 93,861 Sq. F, 8,720 m ²		LOT AREA (min.)	2,000 m ² 9,177 m ²
EASEMENT: 0.11 AC, 4,916 Sq. F, 457 m ²		LOT COVERAGE (max.)	65% 42.36%
PARCEL AFTER EASEMENT: 2.27 AC, 98,777 Sq. F, 9177 m ²		LOT FRONTAGE (min.)	No Minimum 38.0 M
FOOTPRINT: (Measured to face of Ext. Walls) 41,842 SF, 3,887m ²		FRONT YARD (min.)	7.5 M 7.5 M
MEZZANINE AREA: 4,251 SF, 395 m ²		SIDE YARD (min.)	7.5 M 7.5 M
TOTAL GFA (*): 46,093 SF, 4,282m ²		REAR YARD (min.)	7.5 M 7.5 M
(*) MEASURED FROM EXTERIOR FACES OF EXTERIOR WALLS		BUILDING HEIGHT (max.)	18.0 M 12.2 M
LOT COVERAGE: 42.36% (LOT AFTER EASEMENT)		LANDSCAPE BUFFER (street)	3.0 M 5.16 M
		PARKING (2.6m x 5.2m and/or 2.6m x 6.7m)	31 TOTAL 31 TOTAL
		BARRIER FREE PARKING - Included in total (3.6m x 5.2m)	1 1
		BICYCLE PARKING	3 4
		TREE PROTECTION BY-LAW: # OF TREES REQUIRING PERMIT FOR REMOVAL: 18	

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Ottawa ON K1S 3K9
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Notes: Contractor must verify all drawings, dimensions, details and specifications and report any discrepancies to the architect before proceeding with work. All drawings and specifications are instruments of service and the property of the architect, and these must be returned at the completion of the project, and may not be reproduced without the architect's written permission. All drawings are to be read in conjunction with specifications and consultants' documents. Do not scale drawings. Do not use for construction unless both indicated as "For Construction" and bearing the architect's stamp and signature. All construction to meet local, provincial and federal requirements.

- CIVIL: **D.B. Grey Engineering Inc.**
700 Long Point Circle, Ottawa Ontario K1T 4E9
TEL: 613-425-8044
- MECHANICAL & ELECTRICAL: **Miritor Ltd.**
31-2000 Thurston Drive, Ottawa Ontario K1G 4K7
TEL: 613-722-5486
- STRUCTURAL: **D+M Structural Engineering**
110-333 Preston Street, Ottawa Ontario K1S 5N4
TEL: 613-651-9490
- ENVIRONMENTAL: **Terrapex Environmental Ltd.**
1-20 Gurdwara Road, Ottawa Ontario K2E 8B3
TEL: 613-745-6471
- LANDSCAPING & PLANNING: **Novatech**
200-240 Michael Cowpland Dr Ottawa, Ontario K2M 1P6
TEL: 613-254-9643

NO.	DATE	DESCRIPTION
19	2023/02/14	FOR SPC SUBMISSION
18	2023/02/03	FOR CONSULTANT COORD
17	2023/02/03	FOR CLIENT REV.
16	2023/01/26	FOR CONSULTANT COORD
15	2023/01/13	FOR CONSULTANT COORD
14	2023/01/04	FOR CONSULTANT COORD
13	2022/12/12	FOR CONSULTANT COORD
12	2022/12/06	FOR CONSULTANT COORD
11	2022/11/17	FOR TRAFFIC REV.
10	2022/10/24	FOR OWNER INFO
ISSUE	YYYY/MM/DD	ISSUES DESCRIPTION

CLIENT NAME AND ADDRESS:
AVENYN FUND
503-359 KENT ST.
OTTAWA ON. K2P 0R6

PROJECT NAME & LOCATION:
MICHAEL STREET
1591 & 1611 MICHAEL ST.
OTTAWA, ON
K1B 3T3

NCA PROJECT NUMBER: 2022.0003 FILE NUMBER:
OWNER'S CONTRACT NUMBER: OWNER'S PROJECT NUMBER:

CAD FILE NAME: A1.0 SITEPLAN

SHEET TITLE: **SITE PLAN**

SCALE: 1:250 SHEET ID:
DRAWN BY: SG
DATE CREATED: 2021.07.20
A-100

1 SITE PLAN
A-100 SCALE: 1:300

MICHAEL STREET (AS WIDENED BY BY-LAW 241-58, INST.Q.32524) (PLAN BA-2542)
pin 04263 - 0292