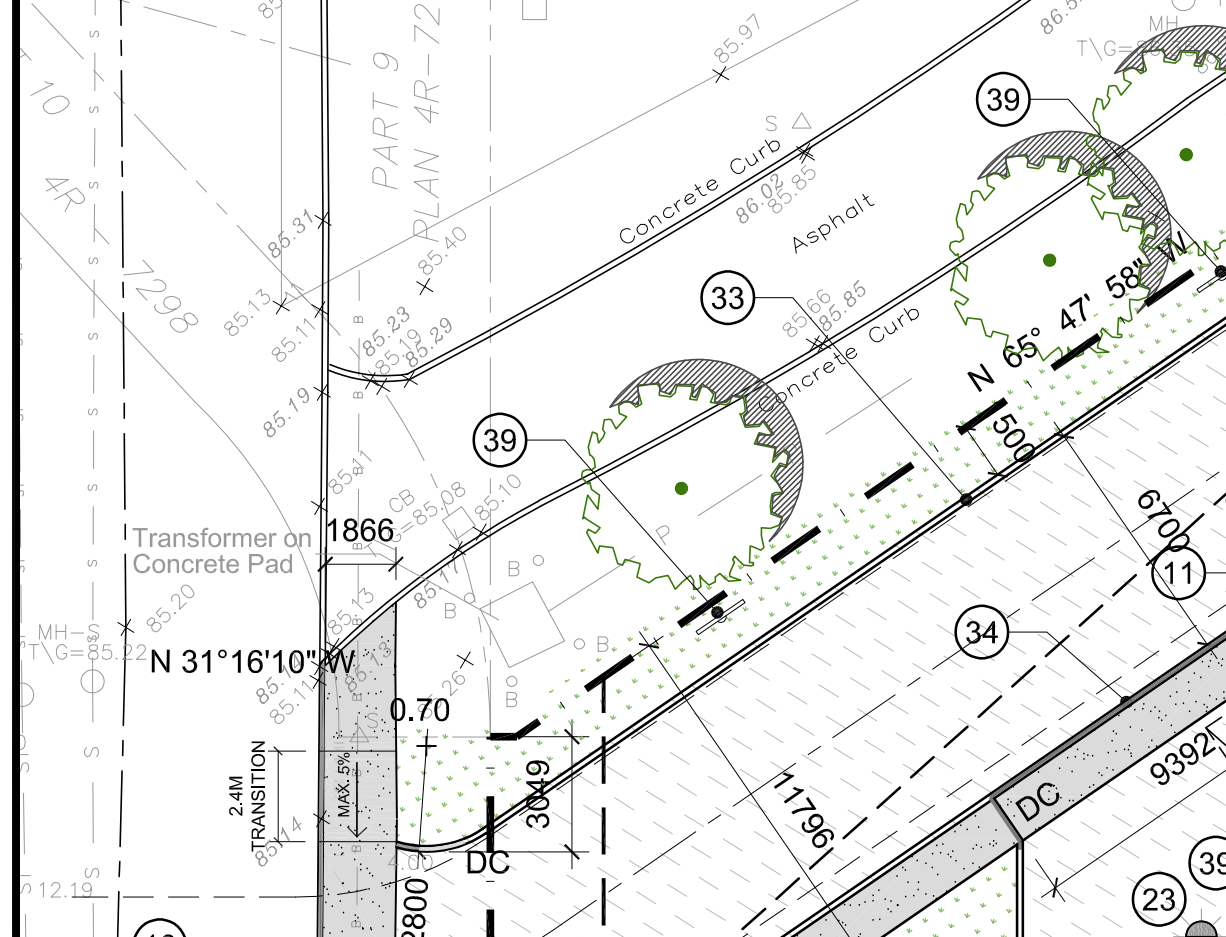


KEY MAP



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

- (01) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (02) INDICATES ASSEMBLY TYPE: REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- (03) INDICATES WINDOW TYPE: REFER TO WINDOW ELEVATIONS AND DETAILS ON A100 SERIES.
- (04) INDICATES DOOR TYPE: REFER TO DOOR SCHEDULE AND DETAILS ON A100 SERIES.
- (05) DETAIL NUMBER
- (06) TITLE
- (07) DETAIL REFERENCE PAGE
- (08) DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- (A) REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A100 SERIES.
- (C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W' UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

APPROVED
By Allison Hamlin at 5:05 pm, Feb 17, 2023

Allison Hamlin

**ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA**

PROJECT INFORMATION

ZONING	Zoning By-Law 2008-250	MC (2007) F4.8 S299
SITE AREA	7,547.9 sq. m. 81,245 sq. ft.	
REQUIRED ZONING		
DENSITY - FLOOR SPACE INDEX	4.8	
BUILDING SETBACKS - ALL YARDS	0.0m	
BUILDING HEIGHT TOWER 'A' - 21 STOREYS	65.4m	
BUILDING HEIGHT TOWER 'B' - 23 STOREYS	71.8m	
RESIDENTIAL PARKING - PER UNIT	0	
VISITOR PARKING - PER UNIT	0.1 / max 60	
MINIMUM PARKING SPACE SIZE	2.6 x 5.2 m	
aisle & DRIVEWAY - GARAGE	6.0m	
aisle & DRIVEWAY - SURFACE	6.7m	
BICYCLE PARKING - PER UNIT	0.5	
amenity AREA PER UNIT	6.0m ²	
amenity AREA - COMMUNAL PER UNIT	3.0m ²	

CAR PARKING

REQUIRED	PARKING AREA Z - AS PER TABLE 1A	
RESIDENCE	- NO REQUIREMENT	316
VISITOR	- MAX OF 30 PER BUILDING	60
COMMERCIAL	- NO REQUIREMENT	0
TOTAL		376
PROVIDED		
RESIDENCE	- 0.74 PER UNIT (424 UNITS)	316
VISITOR	- MAX OF 30 PER BUILDING	60
CAR SHARE SERVICE SPACE		0
TOTAL		376
LOCATION		
UNDERGROUND PARKING LEVELS		368
SURFACE		10
TOTAL PER SIZE		
STANDARD PARKING SPACE	2.6 x 5.2 m	347
SMALL CAR PARKING SPACE	2.4 x 4.6 m	15
BARRIER FREE SPACE - TYPE A	3.4 x 5.2 m	7
BARRIER FREE SPACE - TYPE B	2.4 x 5.2 m	7
CAR SHARE SERVICE SPACE	2.4 x 5.2 m	2

BICYCLE PARKING

REQUIRED		
RESIDENCE	- 0.5 PER UNIT (424 UNITS)	212
COMMERCIAL	- 1 PER 250m ² OF GFA	1
PROVIDED		
RESIDENTIAL PARKING		316
VISITOR PARKING		60
CAR SHARE SERVICE PARKING SPACE		0
TOTAL		376

LOT COVERAGE

PAVED SURFACE =	1,370.9 sq. m.	18.2%
BUILDING FOOTPRINT =	2,863.4 sq. m.	37.8%
LANDSCAPE OPEN SPACE =	3,323.6 sq. m.	44.0%
TOTAL =	7,547.9 sq. m.	100.0%

AMENITY SPACE

EXTERIOR AT GRADE =	550.0 sq. m.
AT GRADE PRIVATE BALCONIES =	150.0 sq. m.
GROUND FLOOR COMMUNAL INTERIOR =	400.0 sq. m.
3rd FLOOR COMMUNAL INTERIOR =	185.0 sq. m.
3rd FLOOR COMMUNAL EXTERIOR =	185.0 sq. m.
PRIVATE BALCONIES =	1,400.0 sq. m.
PRIVATE TERRACES =	380.0 sq. m.
TOTAL =	3,250.0 sq. m.
TOTAL COMMUNAL =	1,320.0 sq. m.
REQUIRED - 6.0M² PER UNIT (424) =	2,544.0 sq. m.
REQUIRED COMMUNAL @ 50% =	1,284.0 sq. m.

SOLID WASTE

GARBAGE - COMP.	0.053 Y ³ PER UNIT	23 Y ³
RECYCLING - GMP	0.018 Y ³ PER UNIT	8 Y ³
RECYCLING - FIBRE	0.038 Y ³ PER UNIT	17 Y ³
ORGANICS	1 - 240 L BIN PER 50 UNITS	9

GROSS BUILDING - AREAS

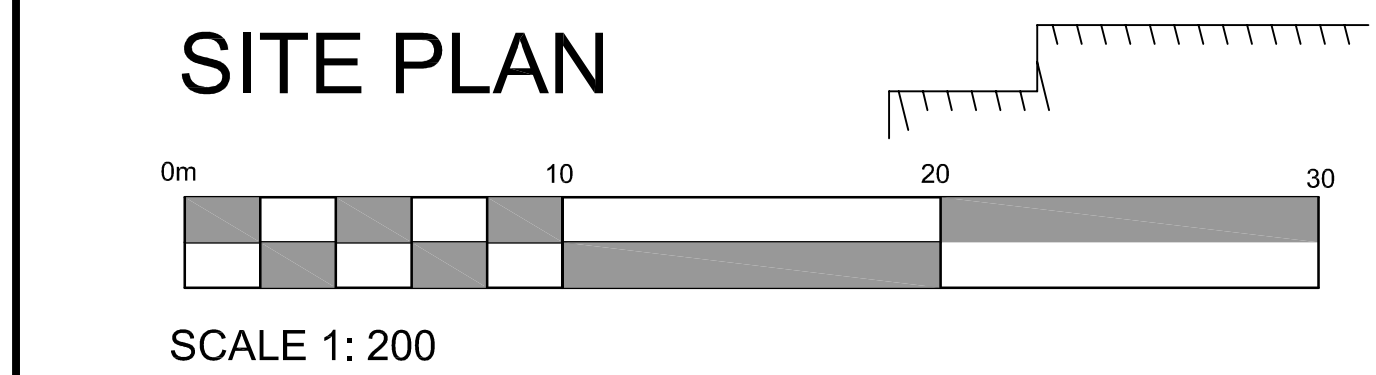
(CONSTRUCTION AREA)	16,401.2 sq. m.
PARKING LEVEL (3 TYPICAL)	(178,541) sq. ft.
TOWER 'B' - 23 STOREYS	(207,240) sq. ft.
TOWER 'A' - 21 STOREYS	(190,180) sq. ft.
TOTAL AREA (ABOVE GRADE)	36,921.4 sq. m.
	(397,419) sq. ft.
TOTAL AREA	53,322.6 sq. m.
	(573,960) sq. ft.

- DRAWING NOTES:**
- PROPERTY LINE
 - BUILDING SETBACK ALONG STREET FRONTAGE
 - OUTLINE OF TOWER
 - LINE OF TOWER BALCONIES ABOVE
 - PODIUM LEVEL EXTERIOR AMENITY TERRACE
 - LINE OF PARKING GARAGE BELOW
 - RAMP TO LUG GARAGE WITH TRENCH DRAIN AND BELOW SLAB HEATING SYSTEM
 - EXISTING FIRE HYDRANT
 - METAL FENCE - SEE LANDSCAPE
 - DEPRESSED CONCRETE CURBS AND SIDEWALK AS PER CITY DETAIL S07.1
 - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
 - REPLACE EXISTING SIDEWALK WITH 0.9m BOULEVARD, 2.0m CONCRETE SIDEWALK TO CITY STANDARDS
 - REPLACE EXISTING SIDEWALK WITH 2.0m CONCRETE SIDEWALK TO CITY STANDARDS
 - SIAMENSE CONNECTION
 - INTAKE / EXHAUST AIR SHAFT FOR GARAGE
 - 2.6 X 5.2m SHORT TERM PARKING SPACE
 - SOFT LANDSCAPING / PLANTING
 - HARD LANDSCAPING - PAVERS
 - NEW STREET CURB LOCATION, WITH DEPRESSED CURB & TYSI
 - AT GRADE AMENITY AREA
 - SIGHT TRIANGLE
 - OUTLINE OF CISTERN
 - SERVICE AREA (GARBAGE / COURIER / MOVE IN-OUT)
 - RAISED GARDEN BEDS
 - 6.0 METRE WIDE FIRE ROUTE
 - GAS PRESSURE RELEASE STATION
 - 1.5 METRE WIDE CONCRETE WALK
 - 2.2m HT. NOISE BARRIER FENCE
 - PRIVATE TERRACE AT GRADE
 - NOT IN USE
 - LIGHTING, AS DESIGNED AND LOCATED BY ELECTRICAL
 - LOW DECORATIVE CONCRETE SEAT WALL
 - SEASONAL SITE FURNITURE
 - 150mm WIDE CONCRETE CURB
 - DEPRESSED CONCRETE CURB
 - NOT IN USE
 - TEMPORARY SNOW STORAGE AREA
 - ACCESSIBLE PARKING SPACE WITH DEPRESSED CURB & TYSI
 - CAR SHARE SERVICE SPACE
 - SIGN - FIRE ROUTE NO PARKING
 - SOLID WASTE CONTAINER PICK-UP AREA
 - NO PARKING AREA - PAINTED LINES ON ASPHALT
 - GROUND FLOOR COMMERCIAL RETAIL AREA
 - HYDRO DUCT BANK

SITE PLAN SYMBOLS

[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR PRIVATE TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR AMENITY TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE AT MAIN ENTRIES / COMMON WALKS
[Symbol]	ASPHALT DRIVING SURFACE
[Symbol]	SOFT LANDSCAPING
[Symbol]	CONCRETE SIDEWALK
[Symbol]	PODIUM LEVEL SOFT LANDSCAPING AT AMENITY TERRACES
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	TWO WAY VEHICLE CIRCULATION
[Symbol]	MAIN ENTRANCE
[Symbol]	SERVICE AND/OR FIRE EXIT
[Symbol]	BIKE RACK / BIKE PARKING SPACE
[Symbol]	PROPERTY LINE
[Symbol]	2.2m HT. SOUND BARRIER FENCE
[Symbol]	1.1m TO 1.5m HT. METAL FENCE
[Symbol]	PRIVACY FENCE
[Symbol]	BARRIER FREE PARKING SPACE AS PER PARKING BY-LAW SECTION 3.1
[Symbol]	TYPE 'A' = 3.4M X 5.2M
[Symbol]	TYPE 'B' = 2.4M X 5.2M
[Symbol]	ACCESS AISLE = 1.5M WIDE

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