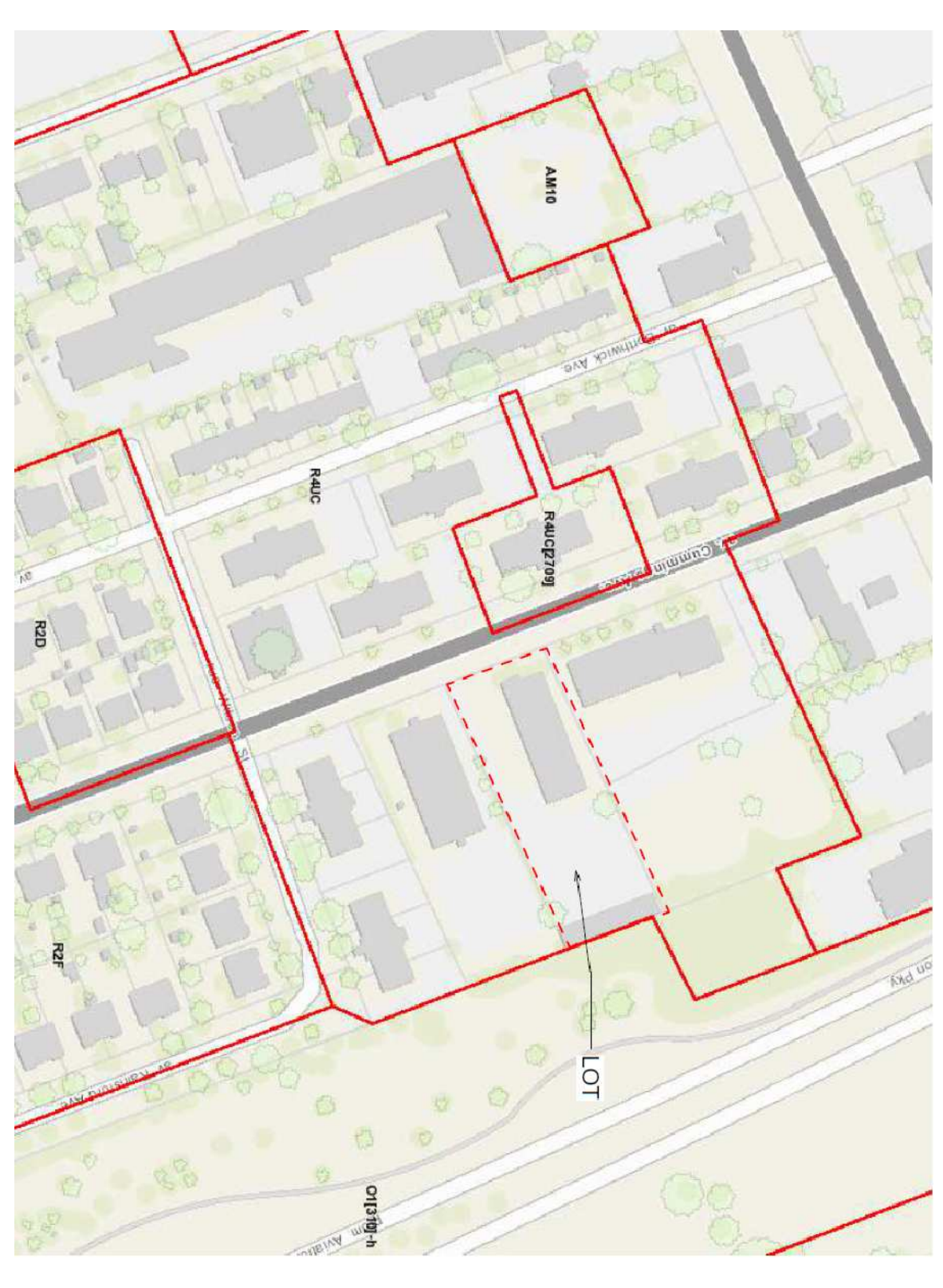


LEGEND:

- MANHOLE REFER TO CIVIL
- NEW MANHOLE/PIERS
- NEW CONCRETE
- NEW PAINTED LINES
- NEW SOO
- FIRE DEPARTMENT CONNECTION (REFER TO CIVIL)
- FIRE HYDRANT REFER TO CIVIL
- CATCH BASIN REFER TO CIVIL
- BUILDING ENTRANCE
- BLOCK BACK
- DIRECTIONAL ARROW
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT
- PROPOSED ROAD WORKING
- PROPERTY LINE
- EXISTING CITY STANDARDS
- NEW LIGHT STANDARDS
- FIRE ROUTE SIGN
- STOP SIGN
- CENTRAL LINE
- EXISTING TREES TO BE REMOVED
- PROPOSED TREE

PIN 04269-0124

LEVEL	UNIT	SQ FT		SQ M		TYPE				TOTAL UNITS BY LEVEL
		G.B.A	G.F.A	G.B.A	G.F.A	1 BEDROOM	STUDIO/BF	2 BEDROOM	2 BEDROOM BF	
MECHANICAL LEVEL	MECH. 1	376	0	35	0					
	1	547	547	51	51					
	2	544	544	51	51					
	3	344	344	32	32					
	4	4964	4964	461	461					
	5	562	562	52	52					
	6	554	554	51	51					
MAIN LEVEL	7	393	393	37	37					
	101	569	569	53	53					
	102	563	563	52	52					
	103	351	351	33	33					
	104	5375	5375	499	499					
	105	699	699	65	65					
	106	615	615	57	57					
	105	574	574	53	53					
	201	569	569	53	53					
	202	563	563	52	52					
2	203	351	351	33	33					
	204	699	699	65	65					
	205	5419	5419	503	503					
	206	561	561	52	52					
	207	632	632	59	59					
	208	399	399	37	37					
	301	569	569	53	53					
3	302	563	563	52	52					
	303	351	351	33	33					
	304	699	699	65	65					
	305	5419	5419	503	503					
	306	561	561	52	52					
	307	632	632	59	59					
	308	399	399	37	37					
TOTAL	21 533	15 773	2 002	1 429	3	18	4	23		



2 ZONING PLAN

ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY OF PART 1, PLAN OF THE WEST HALF OF LOT 25 CONFESSION 1 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA, AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD. PLAN AMENDED ON APRIL 26, 2022 TO ADD UNDERGROUND SERVICES; PLAN AMENDED ON JUNE 29, 2022 TO SHOW ASPHALT DRIVEWAY EXTENT.

ELEVATION NOTE
1. ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO THE CGVD28 GEODETIC DATUM.
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.



Section 101 (Subsection)	Requirement	Provided	Compliance
(a) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(b) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(c) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(d) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(e) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(f) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(g) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(h) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(i) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(j) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(k) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(l) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(m) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(n) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(o) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(p) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(q) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(r) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(s) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(t) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(u) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(v) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(w) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(x) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(y) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes
(z) for lots > 4500 m ²	50% of lot area to be landscaped	provided = 9900 m ²	Yes

WOODMAN ARCHITECT
4880 WOODBINE AVENUE, SUITE 201 OTTAWA, ONTARIO, CANADA K1L 1B9
TEL: (613) 239-9899 • FAX: (613) 239-9888 • info@woodmanarchitect.com

JAWAN PROPERTIES INC.
200 SHEPPARD AVENUE EAST, SUITE 400
OTTAWA, ONTARIO K1N 1G6

637 CUMMINGS AVE. OTTAWA

SITE PLAN

DATE: 2022-11-10
DRAWN BY: JAWAN PROPERTIES INC.
CHECKED BY: JAWAN PROPERTIES INC.
SCALE: 1:150