

PIN 04269-0124

Section 161: Residential Fourth Density Subzone UC - R4-UC						
Section 161 (Subsection)	Requirement	Provided	Compliance			
(8) for lots > 450 m ²	30% of lot area to be landscaped Lot area = 3268 m ² 30% = 980 m ²	Provided = 990 m ²	Yes			
(15) (b) (iii) for lots > 450 m ²	50% of rear yard to be soft landscaped	97%	Yes			
(15) (d) where front yard setback > 3 m	40% of front yard to be soft landscaped where lot width > 12 m	68.7%	Yes			
(16) (b) for lots > 450 m ²	Minimum 25% of units to be 2 bedroom	Total units = 29, Total 2 bed units = 22 or 76%	Yes			
Table 162A – Subzone UC – Planned Unit Development						
Table 162A Standards	Requirement	Provided	Compliance			
Minimum lot width	N/A	34.29 m	Yes			
Minimum lot area	1400 m ²	3268 m ²	Yes			
Maximum height	As per dwelling type – low-rise apartment >9 units:	10.45 m	Yes			
Minimum front yard	4.5 m	7.26 m (existing) With 2 m required widening = 5.3 m	Yes			
Minimum rear yard where front yard setback > 4.5 m (Table 144 B (b) and Table 162A - Endnote 4)	For lower-rise buildings with > 9 units - 25% of the lot depth which must comprise at least 25% of the area of the lot, and need not exceed 7.5 m	6 m	Not compliant Minor variance required			
Minimum interior side yard	Subsection (b): 7.5 m	South lot line: 1.8 m North lot line: 1.7 m	Not compliant Minor variance required			
Table 162B Endnote 1						
Table 131 – Provisions for Planned Unit Development						
Table 131 Standards	Requirement	Provided	Compliance			
(1) Minimum lot width	N/A	34.29 m	Yes			
(2) Minimum setback for any wall of a residential use building to a private way	1.8 m	1.8 m	Yes			
(4) Minimum separation area between buildings within a planned unit development	(a) where the height of abutting buildings within the PUD is less than or equal to 14.5 m = 1.2 m	Building height is 10.45 m: Distance between buildings: 22.5 m	Yes			
Section 137 – Amenity Area						
Table 137 (3) Low-rise apartment dwelling	6 m ² per dwelling unit = 29 units x 6 = 174 m ² aggregated into areas up to 54 m ² – 50% of total for community area	Total area provided = Interior Amenity = 56 m ² Balconies = 39 m ² Ext. amenity = 394 m ² Total = 489 m ²	Yes			
Section 139 – Low-rise Residential Development Within the Greenbelt						
Table 139 (Subsection)	Requirement	Provided	Compliance			
(1) Minimum % aggregated soft landscaped area	Front yard > 3 m with lot width > 12 m = 40%	Lot width > 12 m 76 %	Yes			
(4) A walkway located in a front yard or corner side yard is permitted subject to the following:	(b) Where a walkway extends from the right-of-way, it must be separated from any driveway by at least 0.6m of soft landscaping.	0.60 m	Yes			
(c) (i) The width of a walkway serving a low-rise apartment building may not exceed: 1.8 m	1.8 m		Yes			
Parking, Queueing and Loading Provisions						
Section 101 - Resident	Requirement	Provided	Compliance			
(3) In Area X and Table 101 Row 11	Total Units – 19 existing + 29 new units = 48 0 spaces for first 12 units - .5 spaces for 36 (balance) = 18 spaces	18 spaces	Yes			
Section 102 - Visitor	Requirement	Provided	Compliance			
Visitor spaces (2) in Area X and Table 102 Low-rise Apartment	Total Units – 19 existing + 29 new units = 48 0 spaces for first 12 units - .5 spaces for 36 (balance) = 3.5 or 4 spaces	4 spaces	Yes			
Section 107 - Aisle and Driveway Provisions	Requirement	Provided	Compliance			
(1) (a) A driveway providing access to a parking lot or parking garage must have a minimum width of:	For two way traffic – 6 m	6 m	Yes			
Section 110 - Landscaping provisions for parking lots	Requirement	Provided	Compliance			
Table 110 (b) lot containing > 10 and < 100 spaces	Minimum width - 1.5 m	1.03 m	Not compliant Minor variance required			
Section 111 - Bicycle Parking Space Rates and Provisions	Requirement	Provided	Compliance			
Table 111A (b) (i)	.5 per unit: 48 x .5 = 24 spaces	32 spaces	Yes			

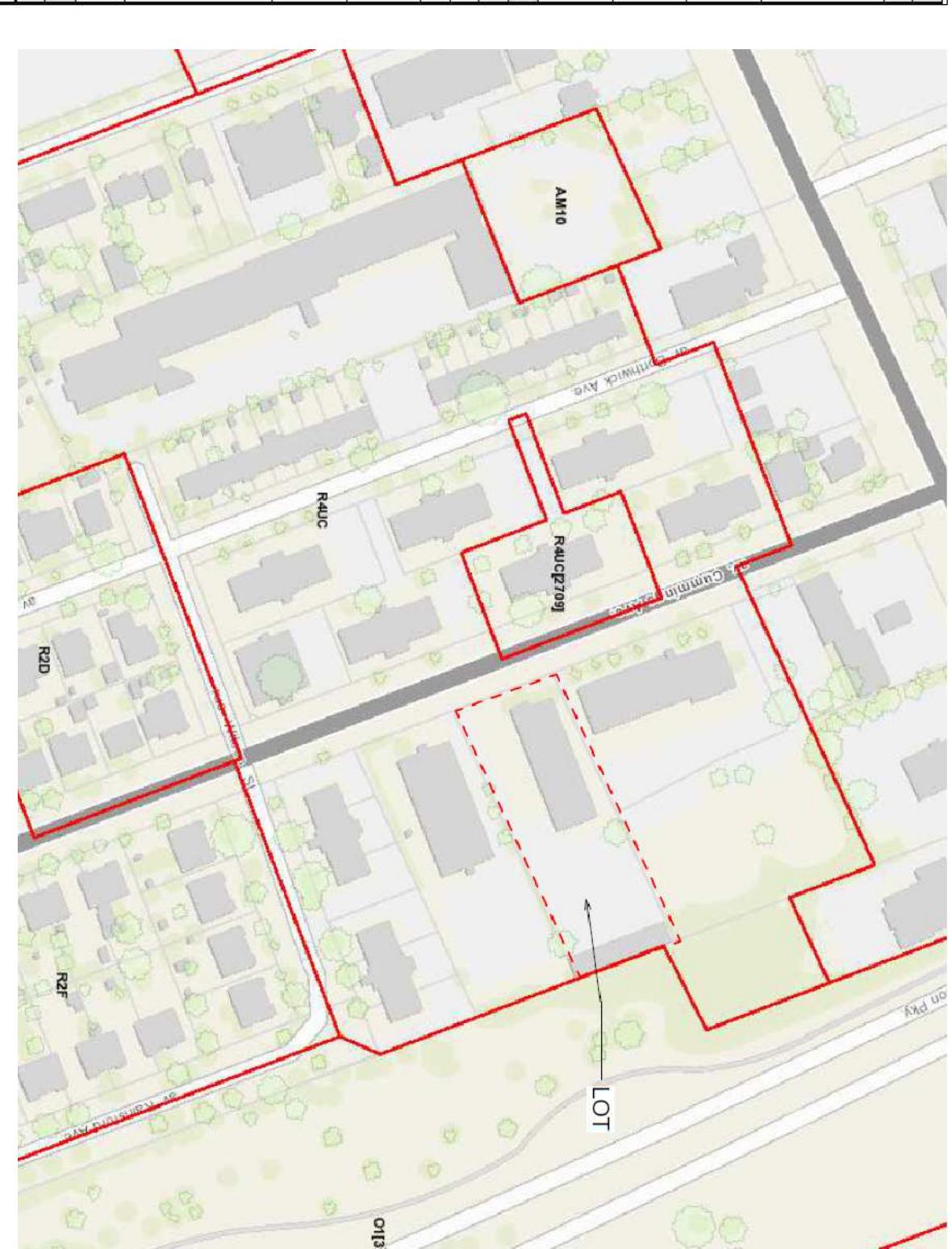
ZONING PLAN
N.T.S.
SP01
2

ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY OF PART 1, PLAN OF THE WEST HALF OF LOT 25 CONCESSION 1 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA, AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKE LTD. PLAN AMENDED ON APRIL 26, 2022 TO ADD UNDERGROUND SERVICES, PLAN AMENDED ON JUNE 29 , 2022 TO SHOW ASPHALT DRIVEWAY EXTENT.

ELEVATION NOTE

1. ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO THE CGVD28 GEODETIC DATUM.

2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT IT'S RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.



DO NOT SCALE DRAWINGS.
THIS DRAWING MAY NOT BE USED FOR
CONSTRUCTION UNTIL SIGNED BY THE
ARCHITECT.
COPYRIGHT RESERVED.

JAWAN PROPERTIES INC.

200 SKIPPER DRIVE, MANOTICK
ON K4M 0W5

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS
ON SITE AND TO REPORT ALL ERRORS AND/OR
OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL
CODES AND BYLAWS AND OTHER AUTHORITIES
HAVING JURISDICTION OVER THE WORK.