

BEFORE

19 CENTREPOINTE DR

OTTAWA, ON
RLA PROJECT #: 1910

25/SEP/2021

19 CENTREPOINTE DR.



19 CENTREPOINTE DR.



CURRENT

19 CENTREPOINTE DR

OTTAWA, ON

RLA PROJECT #: 1910

SPC UPDATE

31 JAN 2023

rla/architecture

19 CENTREPOINTE DR.

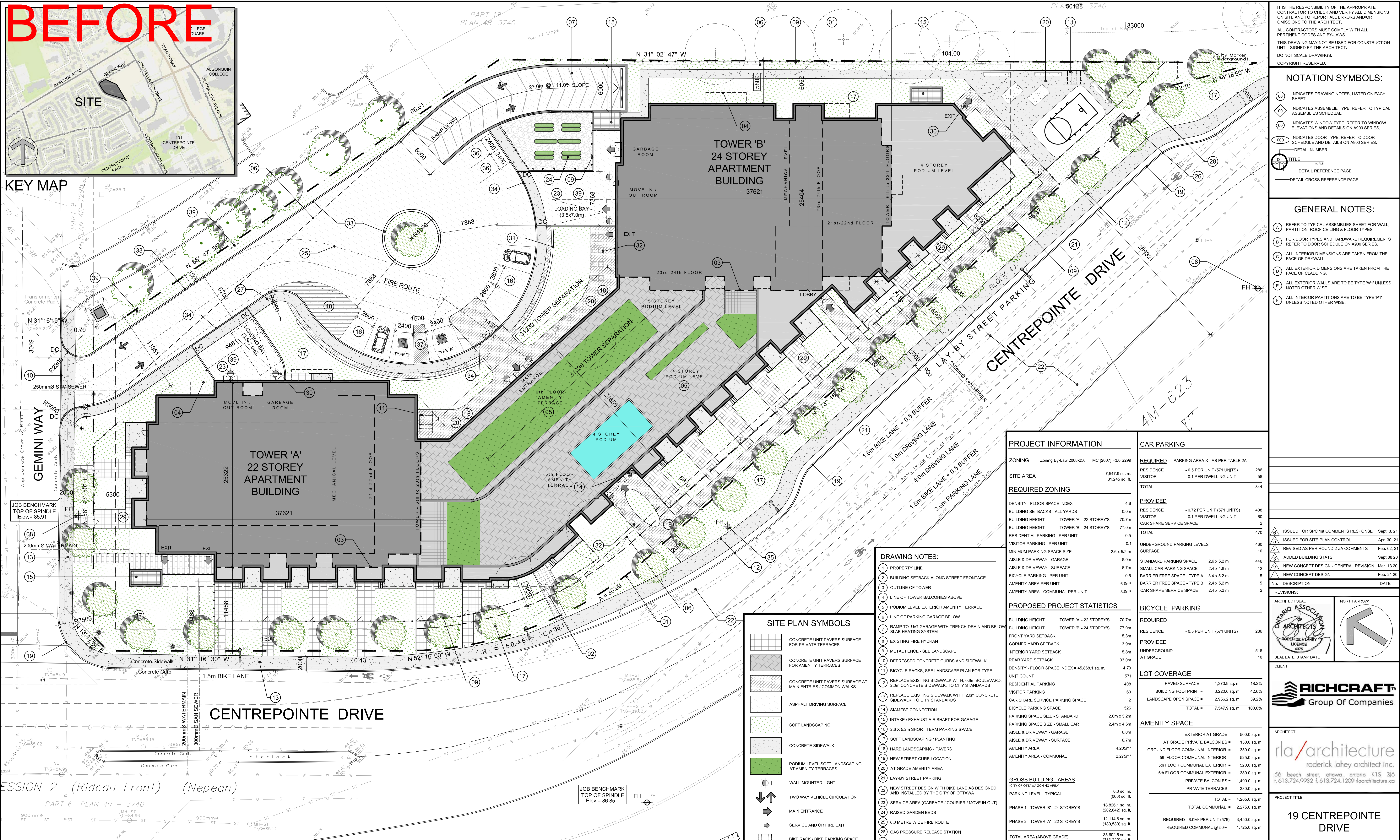


19 CENTREPOINTE DR.



BEFORE

KEY MAP



SITE PLAN

SCALE 1: 200

PROJECT DEVELOPER RICHCRAFT Group of Companies 2280 St. Laurent Blvd., Suite 201 Ottawa, Ontario K1G 4K1 Tel: (613) 739-7111 Fax: (613) 739-7102	SURVEYOR Annis O'Sullivan Vollebek Ltd. Ontario Land Surveyors 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 727-0850 Fax: (613) 727-1079	CIVIL ENGINEER David Schaeffer Engineering Ltd. 120 Iber Road, Unit 203 Stittsville, ON K2S 1E9 Tel: (613) 836-0856 Fax: (613) 836-7183 Email: MWingate@dsel.ca
LEGAL DESCRIPTION TOPOGRAPHICAL PLAN OF PART OF BLOCK 25 REGISTERED PLAN 4M-623 CITY OF OTTAWA	TRANSPORTATION ENGINEER CGH Transportation Inc. 13 Markham Avenue Ottawa, ON K2G 3Z1 Tel: (343) 999-9117 Email: Andrew.Harte@CGHTransportation.com	LANDSCAPE ARCHITECT NAK Design Strategies 1285 Wellington St. West Ottawa, Ontario K1Y 3A8 Tel: (613) 237-2345 Cell: (613) 997-6416 Email: tmedeiros@nak-design.com

SITE PLAN SYMBOLS

[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR PRIVATE TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR AMENITY TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE AT MAIN ENTRIES / COMMON WALKS
[Symbol]	ASPHALT DRIVING SURFACE
[Symbol]	SOFT LANDSCAPING
[Symbol]	CONCRETE SIDEWALK
[Symbol]	PODIUM LEVEL SOFT LANDSCAPING AT AMENITY TERRACES
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	TWO WAY VEHICLE CIRCULATION
[Symbol]	MAIN ENTRANCE
[Symbol]	SERVICE AND/OR FIRE EXIT
[Symbol]	BIKE RACK / BIKE PARKING SPACE
[Symbol]	PROPERTY LINE
[Symbol]	2.2m HT. SOUND BARRIER FENCE
[Symbol]	1.1m TO 1.5m HT. METAL FENCE
[Symbol]	PRIVACY FENCE
[Symbol]	BARRIER FREE PARKING SPACE AS PER PARKING BY-LAW SECTION 3.1
[Symbol]	TYPE 'A' = 3.4M X 5.2M
[Symbol]	TYPE 'B' = 2.4M X 5.2M
[Symbol]	ACCESS AISLE = 1.5M WIDE

DRAWING NOTES:

- PROPERTY LINE
- BUILDING SETBACK ALONG STREET FRONTAGE
- OUTLINE OF TOWER
- LINE OF TOWER BALCONIES ABOVE
- PODIUM LEVEL EXTERIOR AMENITY TERRACE
- LINE OF PARKING GARAGE BELOW
- RAMP TO LIFT GARAGE WITH TRENCH DRAIN AND BELOW SLAB HEATING SYSTEM
- EXISTING FIRE HYDRANT
- METAL FENCE - SEE LANDSCAPE
- DEPRESSED CONCRETE CURBS AND SIDEWALK
- BIKE RACKS, SEE LANDSCAPE PLAN FOR TYPE
- REPLACE EXISTING SIDEWALK WITH 0.9m BOULEVARD, 2.0m CONCRETE SIDEWALK, TO CITY STANDARDS
- REPLACE EXISTING SIDEWALK WITH 2.0m CONCRETE SIDEWALK, TO CITY STANDARDS
- SIAMSESE CONNECTION
- INTAKE / EXHAUST AIR SHAFT FOR GARAGE
- 2.4m X 5.2m SHORT TERM PARKING SPACE
- SOFT LANDSCAPING / PLANTING
- HARD LANDSCAPING - PAVERS
- NEW STREET CURB LOCATION
- AT GRADE AMENITY AREA
- LAY-BY STREET PARKING
- NEW STREET DESIGN WITH BIKE LANE AS DESIGNED AND INSTALLED BY THE CITY OF OTTAWA
- SERVICE AREA (GARBAGE / COURIER / MOVE-IN-OUT)
- RAISED GARDEN BEDS
- 6.0 METRE WIDE FIRE ROUTE
- GAS PRESSURE RELEASE STATION
- 1.5 METRE WIDE CONCRETE WALK
- 2.2m HT. NOISE BARRIER FENCE
- PRIVATE TERRACE AT GRADE
- LIGHTING, AS DESIGNED AND LOCATED BY ELECTRICAL
- LOW DECORATIVE CONCRETE SEAT WALL
- SEASONAL SITE FURNITURE
- 1.50M WIDE CONCRETE CURB
- DEPRESSED CONCRETE CURB
- FIRE HYDRANT
- PRIVACY FENCE - SEE LANDSCAPE DRAWING
- ACCESSIBLE PARKING SPACE
- CAR SHARE SERVICE SPACE
- SIGN - FIRE ROUTE NO PARKING
- SOLID WASTE CONTAINER PICK-UP AREA
- NO PARKING AREA - PAINTED LINES ON ASPHALT

PROJECT INFORMATION

ZONING: Zoning By-Law 2008-250 MC (2007) F3.0 S299

REQUIRED ZONING

DENSITY - FLOOR SPACE INDEX: 4.8
BUILDING SETBACKS - ALL YARDS: 0.0m
BUILDING HEIGHT TOWER 'A' - 22 STOREYS: 70.7m
BUILDING HEIGHT TOWER 'B' - 24 STOREYS: 77.0m
RESIDENTIAL PARKING - PER UNIT: 0.5
VISITOR PARKING - PER UNIT: 0.1
MINIMUM PARKING SPACE SIZE: 2.6 x 5.2 m
AISLE & DRIVEWAY - GARAGE: 6.0m
AISLE & DRIVEWAY - SURFACE: 6.7m
BICYCLE PARKING - PER UNIT: 0.5
AMENITY AREA PER UNIT: 6.0m²
AMENITY AREA - COMMUNAL PER UNIT: 3.0m²

PROPOSED PROJECT STATISTICS

BUILDING HEIGHT TOWER 'A' - 22 STOREYS: 70.7m
BUILDING HEIGHT TOWER 'B' - 24 STOREYS: 77.0m
FRONT YARD SETBACK: 5.3m
CORNER YARD SETBACK: 3.9m
INTERIOR YARD SETBACK: 5.8m
REAR YARD SETBACK: 33.0m
DENSITY - FLOOR SPACE INDEX = 45,868.1 sq. m.
UNIT COUNT: 571
RESIDENTIAL PARKING: 408
VISITOR PARKING: 60
CAR SHARE SERVICE PARKING SPACE: 2
BICYCLE PARKING SPACE: 528
PARKING SPACE SIZE - STANDARD: 2.6m x 5.2m
PARKING SPACE SIZE - SMALL CAR: 2.4m x 4.6m
AISLE & DRIVEWAY - GARAGE: 6.0m
AISLE & DRIVEWAY - SURFACE: 6.7m
AMENITY AREA: 4,205m²
AMENITY AREA - COMMUNAL: 2,275m²

GROSS BUILDING - AREAS
(CITY OF OTTAWA ZONING AREA)

PARKING LEVEL - TYPICAL

PHASE 1 - TOWER 'B' - 24 STOREYS: 18,826.1 sq. m. (202,642) sq. ft.
PHASE 2 - TOWER 'A' - 22 STOREYS: 12,114.6 sq. m. (130,580) sq. ft.
TOTAL AREA (ABOVE GRADE): 35,602.5 sq. m. (383,222) sq. ft.

UNIT STATISTICS

TOWER 'A' - 22 STOREYS: 267
TOWER 'B' - 24 STOREYS: 304
TOTAL: 571

UNIT TYPE

STUDIO UNIT: 3
1 BEDROOM UNIT: 71
1 BEDROOM + DEN UNIT: 312
2 BEDROOM UNIT: 162
2 BEDROOM + DEN UNIT: 23
TOTAL: 571

CAR PARKING

REQUIRED

PARKING AREA X - AS PER TABLE 2A

RESIDENCE: -0.5 PER UNIT (571 UNITS) 286
VISITOR: -0.1 PER DWELLING UNIT 58
TOTAL: 344

PROVIDED

RESIDENCE: -0.72 PER UNIT (571 UNITS) 408
VISITOR: -0.1 PER DWELLING UNIT 60
CAR SHARE SERVICE SPACE: 2
TOTAL: 470

UNDERGROUND PARKING LEVELS: 460
SURFACE: 10
STANDARD PARKING SPACE: 2.6 x 5.2 m: 146
SMALL CAR PARKING SPACE: 2.4 x 4.6 m: 428
BARRIER FREE SPACE - TYPE A: 3.4 x 5.2 m: 5
BARRIER FREE SPACE - TYPE B: 2.4 x 5.2 m: 5
CAR SHARE SERVICE SPACE: 2.4 x 5.2 m: 2

BICYCLE PARKING

REQUIRED

RESIDENCE: -0.5 PER UNIT (571 UNITS) 286

PROVIDED

UNDERGROUND: 516
AT GRADE: 10

LOT COVERAGE

PAVED SURFACE = 1,370.9 sq. m. 18.2%
BUILDING FOOTPRINT = 3,220.6 sq. m. 42.6%
LANDSCAPE OPEN SPACE = 2,956.2 sq. m. 39.2%
TOTAL = 7,547.9 sq. m. 100.0%

AMENITY SPACE

EXTERIOR AT GRADE = 500.0 sq. m.
AT GRADE PRIVATE BALCONIES = 150.0 sq. m.
GROUND FLOOR COMMUNAL INTERIOR = 350.0 sq. m.
5th FLOOR COMMUNAL INTERIOR = 525.0 sq. m.
5th FLOOR COMMUNAL EXTERIOR = 520.0 sq. m.
6th FLOOR COMMUNAL EXTERIOR = 380.0 sq. m.
PRIVATE BALCONIES = 1,400.0 sq. m.
PRIVATE TERRACES = 380.0 sq. m.
TOTAL = 4,205.0 sq. m.
TOTAL COMMUNAL = 2,275.0 sq. m.
REQUIRED - 6.0M² PER UNIT (575) = 3,450.0 sq. m.
REQUIRED COMMUNAL @ 50% = 1,125.0 sq. m.

SOLID WASTE - 571 UNITS

GARBAGE: 0.110 Y³ PER UNIT 66 Y³
RECYCLING - GMP: 0.018 Y³ PER UNIT 12 Y³
RECYCLING - FIBRE: 0.038 Y³ PER UNIT 24 Y³
ORGANICS: 1 - 240 L BIN PER PER 50 UNITS 12

GROSS BUILDING - AREAS
(CONSTRUCTION AREA)

PARKING LEVEL (3 TYPICAL)

PHASE 1 - TOWER 'B' - 24 STOREYS: 19,955.9 sq. m. (214,911) sq. ft.
PHASE 2 - TOWER 'A' - 22 STOREYS: 24,475.3 sq. m. (263,450) sq. ft.
PHASE 2 - TOWER 'A' - 22 STOREYS: 12,114.6 sq. m. (130,580) sq. ft.
TOTAL AREA (ABOVE GRADE): 493,720 sq. ft.
65,834.0 sq. m. (708,631) sq. ft.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

- (01) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (02) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.
- (03) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- (04) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- (05) - (09) - DETAIL NUMBER
- (10) - (14) - TITLE
- (15) - (19) - DETAIL REFERENCE PAGE
- (20) - (24) - DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- (A) REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A300 SERIES.
- (C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W' UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

ARCHITECT SEAL: **richcraft architects** (Professional License #4375)

CLIENT: **RICHCRAFT** Group of Companies

ARCHITECT: **rla/architecture** roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t: 613.724.9932 f: 613.724.1209 rlaarchitecture.ca

PROJECT TITLE: 19 CENTREPOINTE DRIVE

OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN**

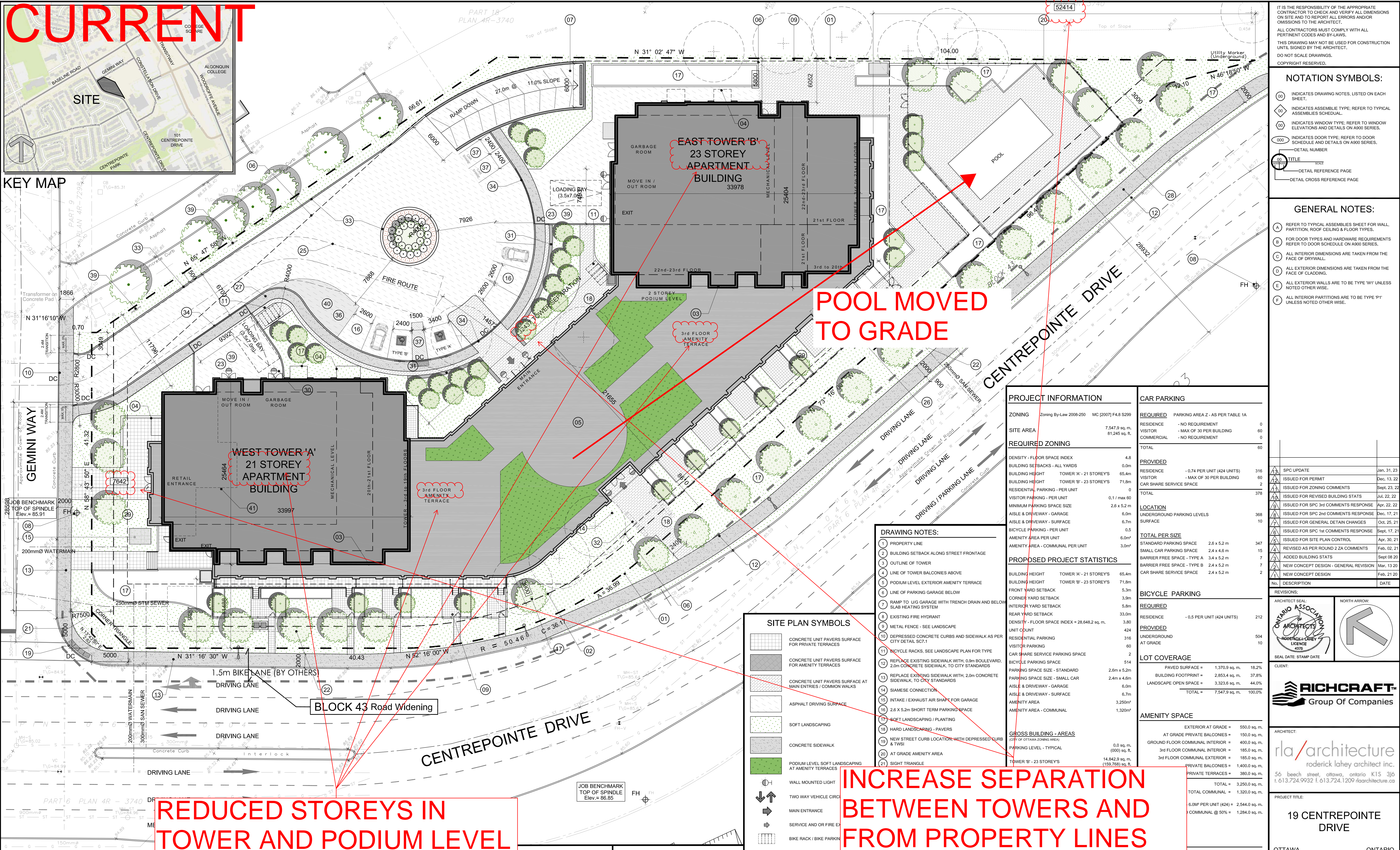
DRAWN: RV **CHECKED:** R.L.A.

SCALE: 1:200 **SHEET No.:** SP-1

PROJECT No.: 1910

CURRENT

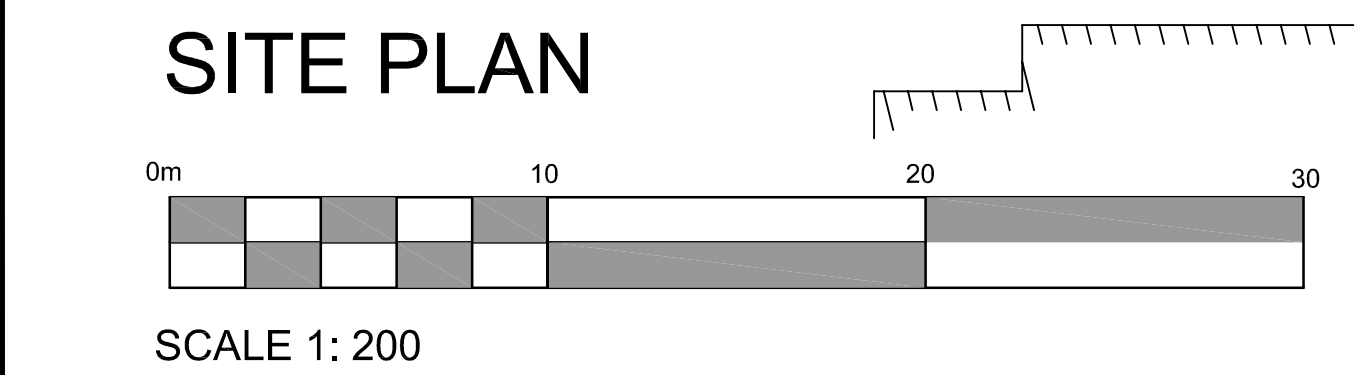
KEY MAP



REDUCED STOREYS IN TOWER AND PODIUM LEVEL

POOL MOVED TO GRADE

INCREASE SEPARATION BETWEEN TOWERS AND FROM PROPERTY LINES



PAPER SIZE: ISO_B1 (707.00 x 1000.00 MM) PLOT DATE: Tuesday, January 31, 2023 PLOT SCALE: 1:25.4

RICHCRAFT
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LEGAL DESCRIPTION
TOPOGRAPHICAL PLAN OF
PART OF BLOCK 25
REGISTERED PLAN 4M-623
CITY OF OTTAWA
Prepared by Annis, O'Sullivan, Vollebek Ltd.

ANNIS O'SULLIVAN VOLLEBEK LTD.
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NAK Design Strategies
1285 Wellington St. West
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Tel: (613) 237-2345
Cell: (613) 997-6416
Email: tmedeiros@nak-design.com

SITE PLAN SYMBOLS

[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR PRIVATE TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR AMENITY TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE AT MAIN ENTRIES / COMMON WALKS
[Symbol]	ASPHALT DRIVING SURFACE
[Symbol]	SOFT LANDSCAPING
[Symbol]	CONCRETE SIDEWALK
[Symbol]	PODIUM LEVEL SOFT LANDSCAPING AT AMENITY TERRACES
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	TWO WAY VEHICLE CIRCULATION
[Symbol]	MAIN ENTRANCE
[Symbol]	SERVICE AND/OR FIRE EXIT
[Symbol]	BIKE RACK / BIKE PARKING
[Symbol]	PROPERTY LINE
[Symbol]	2.2m HT. SOUND BARRIER FENCE
[Symbol]	1.1m TO 1.5m HT. METAL FENCE
[Symbol]	PRIVACY FENCE
[Symbol]	BARRIER FREE PARKING SPACE AS PER PARKING BY-LAW SECTION 3.1
[Symbol]	TYPE 'A' = 3.4M X 5.2M
[Symbol]	TYPE 'B' = 2.4M X 5.2M
[Symbol]	ACCESS AISLE = 1.5M WIDE

DRAWING NOTES:

- PROPERTY LINE
- BUILDING SETBACK ALONG STREET FRONTAGE
- OUTLINE OF TOWER
- LINE OF TOWER BALCONIES ABOVE
- PODIUM LEVEL EXTERIOR AMENITY TERRACE
- LINE OF PARKING GARAGE BELOW
- RAMP TO LUG GARAGE WITH TRENCH DRAIN AND BELOW SLAB HEATING SYSTEM
- EXISTING FIRE HYDRANT
- METAL FENCE - SEE LANDSCAPE
- DEPRESSED CONCRETE CURBS AND SIDEWALK AS PER CITY DETAIL 302.1
- BIKE RACKS, SEE LANDSCAPE PLAN FOR TYPE
- REPLACE EXISTING SIDEWALK WITH 0.9m BOULEVARD, 2.0m CONCRETE SIDEWALK TO CITY STANDARDS
- REPLACE EXISTING SIDEWALK WITH 2.0m CONCRETE SIDEWALK TO CITY STANDARDS
- SIAMENSE CONNECTION
- INTAKE / EXHAUST AIR SHAFT FOR GARAGE
- 2.6 X 5.2m SHORT TERM PARKING SPACE
- SOFT LANDSCAPING / PLANTING
- HARD LANDSCAPING - PAVERS
- NEW STREET CURB LOCATION WITH DEPRESSED CURBS & TYSI
- AT GRADE AMENITY AREA
- SIGHT TRIANGLE

PROJECT INFORMATION

ZONING: Zoning By-Law 2008-250 MC (2007) F4.8 S299
SITE AREA: 7,547.9 sq. m. / 81,245 sq. ft.
REQUIRED ZONING: F4.8 S299

PROPOSED PROJECT STATISTICS

BUILDING HEIGHT	TOWER 'A' - 21 STOREYS	65.4m
BUILDING HEIGHT	TOWER 'B' - 23 STOREYS	71.8m
FRONT YARD SETBACK		5.3m
CORNER YARD SETBACK		3.9m
INTERIOR YARD SETBACK		5.8m
REAR YARD SETBACK		33.0m
DENSITY - FLOOR SPACE INDEX		26,648.2 sq. m.
UNIT COUNT		3,360
RESIDENTIAL PARKING		316
VISITOR PARKING		6
CAR SHARE SERVICE PARKING SPACE		2
BIKE CYCLE PARKING SPACE		514
PARKING SPACE SIZE - STANDARD		2.6m x 5.2m
PARKING SPACE SIZE - SMALL CAR		2.4m x 4.6m
AMENITY AREA - COMMUNAL		6.0m
AMENITY AREA - COMMUNAL		3,250m²
AMENITY AREA - COMMUNAL		1,320m²

GROSS BUILDING - AREAS

(CITY OF OTTAWA ZONING AREA)
PARKING LEVEL - TYPICAL
TOWER 'B' - 23 STOREYS: 14,842.9 sq. m. (159,768) sq. ft.
TOWER 'A' - 21 STOREYS: 16,401.2 sq. m. (176,541) sq. ft.

CAR PARKING

REQUIRED	PARKING AREA Z - AS PER TABLE 1A	0
RESIDENCE	- NO REQUIREMENT	0
VISITOR	- MAX OF 30 PER BUILDING	60
COMMERCIAL	- NO REQUIREMENT	0
TOTAL		60

PROVIDED

RESIDENCE	- 0.74 PER UNIT (424 UNITS)	316
VISITOR	- MAX OF 30 PER BUILDING	60
CAR SHARE SERVICE SPACE		2
TOTAL		378

LOCATION

UNDERGROUND PARKING LEVELS SURFACE: 368

TOTAL PER SIZE

STANDARD PARKING SPACE	2.6 x 5.2 m	347
SMALL CAR PARKING SPACE	2.4 x 4.6 m	15
BARRIER FREE SPACE - TYPE A	3.4 x 5.2 m	7
BARRIER FREE SPACE - TYPE B	2.4 x 5.2 m	7
CAR SHARE SERVICE SPACE	2.4 x 5.2 m	2

BIKE CYCLE PARKING

REQUIRED	- 0.5 PER UNIT (424 UNITS)	212
RESIDENCE		212
PROVIDED		504
UNDERGROUND		316
AT GRADE		10

LOT COVERAGE

PAVED SURFACE =	1,370.9 sq. m.	18.2%
BUILDING FOOTPRINT =	2,853.4 sq. m.	37.8%
LANDSCAPE OPEN SPACE =	3,323.6 sq. m.	44.0%
TOTAL =	7,547.9 sq. m.	100.0%

AMENITY SPACE

EXTERIOR AT GRADE =	550.0 sq. m.
AT GRADE PRIVATE BALCONIES =	150.0 sq. m.
GROUND FLOOR COMMUNAL INTERIOR =	400.0 sq. m.
3rd FLOOR COMMUNAL INTERIOR =	185.0 sq. m.
3rd FLOOR COMMUNAL EXTERIOR =	185.0 sq. m.
PRIVATE BALCONIES =	1,400.0 sq. m.
PRIVATE TERRACES =	380.0 sq. m.
TOTAL =	3,250.0 sq. m.
TOTAL COMMUNAL =	1,320.0 sq. m.
6.0M² PER UNIT (424) =	2,544.0 sq. m.
COMMUNAL @ 50% =	1,284.0 sq. m.

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(05) - DETAIL NUMBER
(06) - TITLE
(07) - DETAIL REFERENCE PAGE
(08) - DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

(A) REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
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(E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W' UNLESS NOTED OTHERWISE.
(F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P' UNLESS NOTED OTHERWISE.

REVISIONS:

No.	DESCRIPTION	DATE
1	SPC UPDATE	Jan. 31, 23
2	ISSUED FOR PERMIT	Dec. 13, 22
3	ISSUED FOR ZONING COMMENTS	Sept. 23, 22
4	ISSUED FOR REVISED BUILDING STATS	Jul. 22, 22
5	ISSUED FOR SPC 3rd COMMENTS RESPONSE	Apr. 22, 22
6	ISSUED FOR SPC 2nd COMMENTS RESPONSE	Dec. 17, 21
7	ISSUED FOR GENERAL DETAIL CHANGES	Oct. 25, 21
8	ISSUED FOR SPC 1st COMMENTS RESPONSE	Sept. 17, 21
9	ISSUED FOR SITE PLAN CONTROL	Apr. 30, 21
10	REVISED AS PER ROUND 2 ZA COMMENTS	Feb. 02, 21
11	ADDED BUILDING STATS	Sept 09 20
12	NEW CONCEPT DESIGN - GENERAL REVISION	Mar. 13 20
13	NEW CONCEPT DESIGN	Feb. 21 20

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
RICHCRAFT ARCHITECTURE
56 BEECH STREET, OTTAWA, ONTARIO K1S 3J6
1.613.724.9932 | 1.613.724.1209 | raarchitecture.ca

richcraft
Group of Companies

19 CENTREPOINTE DRIVE

SITE PLAN

OTTAWA ONTARIO

SHEET TITLE: **SP-1**

DRAWN: RV CHECKED: R.L.A.
SCALE: 1:200 SHEET No.
PROJECT No: 1910

D07-12-21-0071

18484

BEFORE



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
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No.	DESCRIPTION	DATE
2	ISSUED FOR SPC COMMENTS	06 APR 22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30 APR 21

No.	DESCRIPTION	DD.MM.YY

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

ARCHITECT:

56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
SITE PLAN

DRAWN: S.S.	CHECKED: R.V.
SCALE: 1 : 250	SHEET No: 1
PROJECT No: 1910	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 I:\RLA\FP01_riai.local\FR\scylbuskiew\Documents\1910_19 CENTREPOINTE R20_scylbuskiew\PGK4.rvt D07-12-21-0071


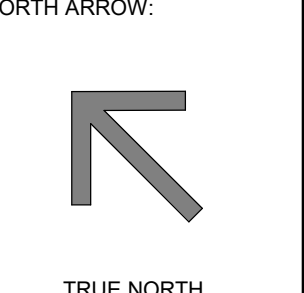
BEFORE



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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT: **RICHCRAFT** Group Of Companies

ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.roderickcaye.ca

PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
GROUND FLOOR PLAN

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 250	SHEET No: 2
PROJECT No: 1910	


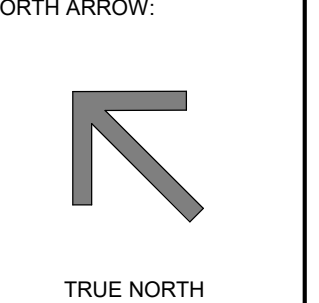
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CURRENT

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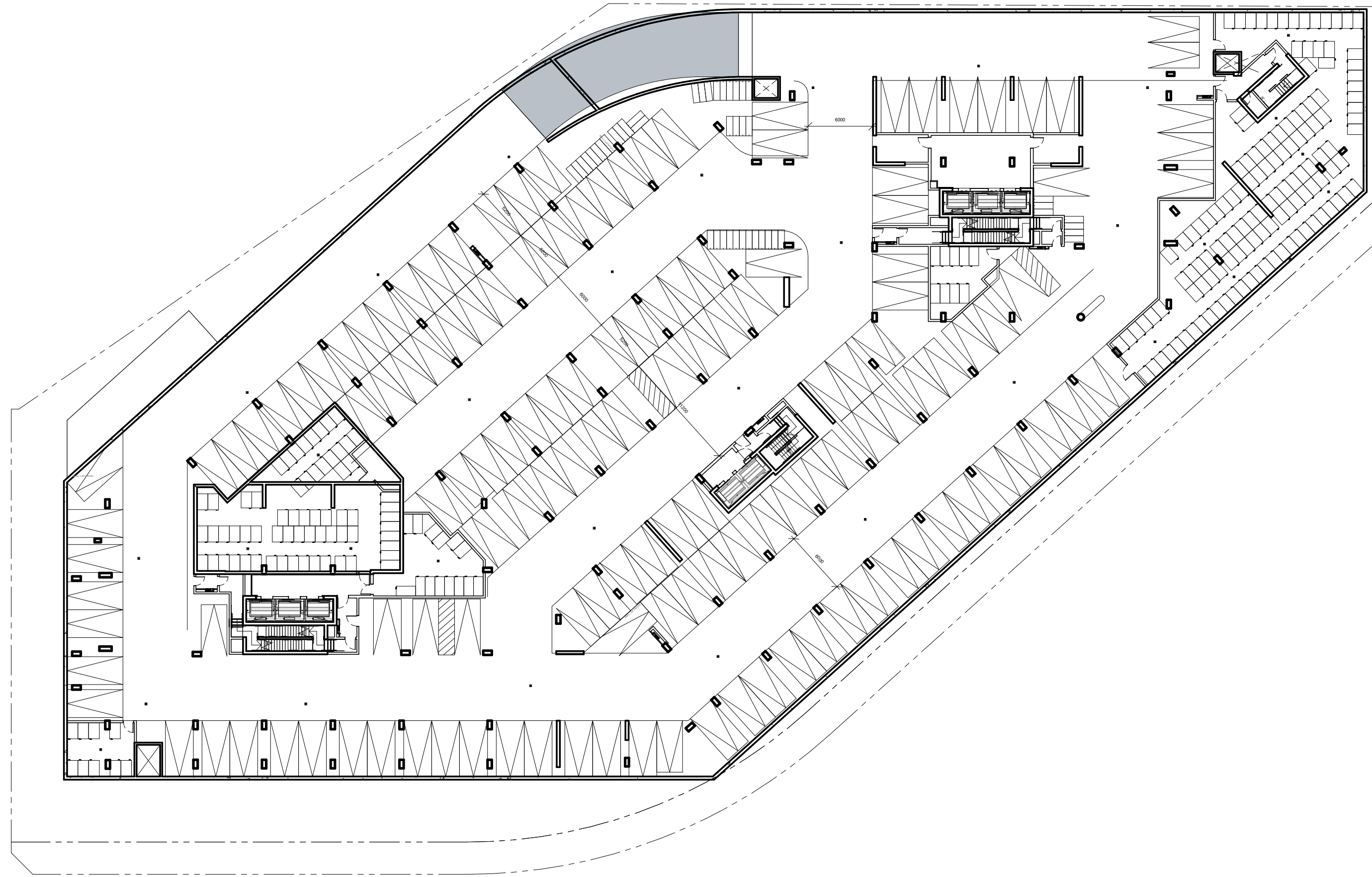
PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

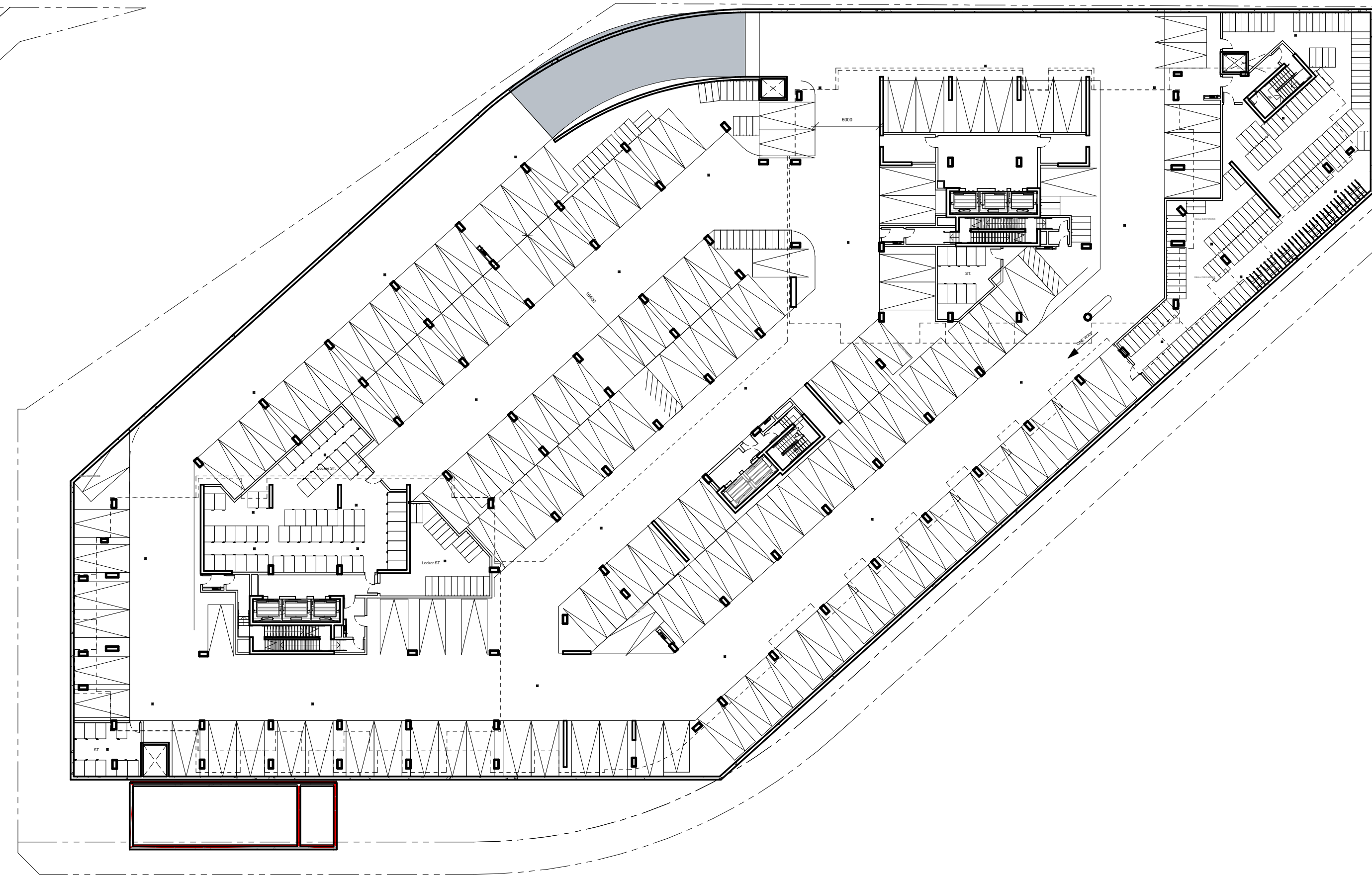
SHEET TITLE:
GROUND FLOOR PLAN

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 250	SHEET No: 2
PROJECT No: 1910	

BEFORE



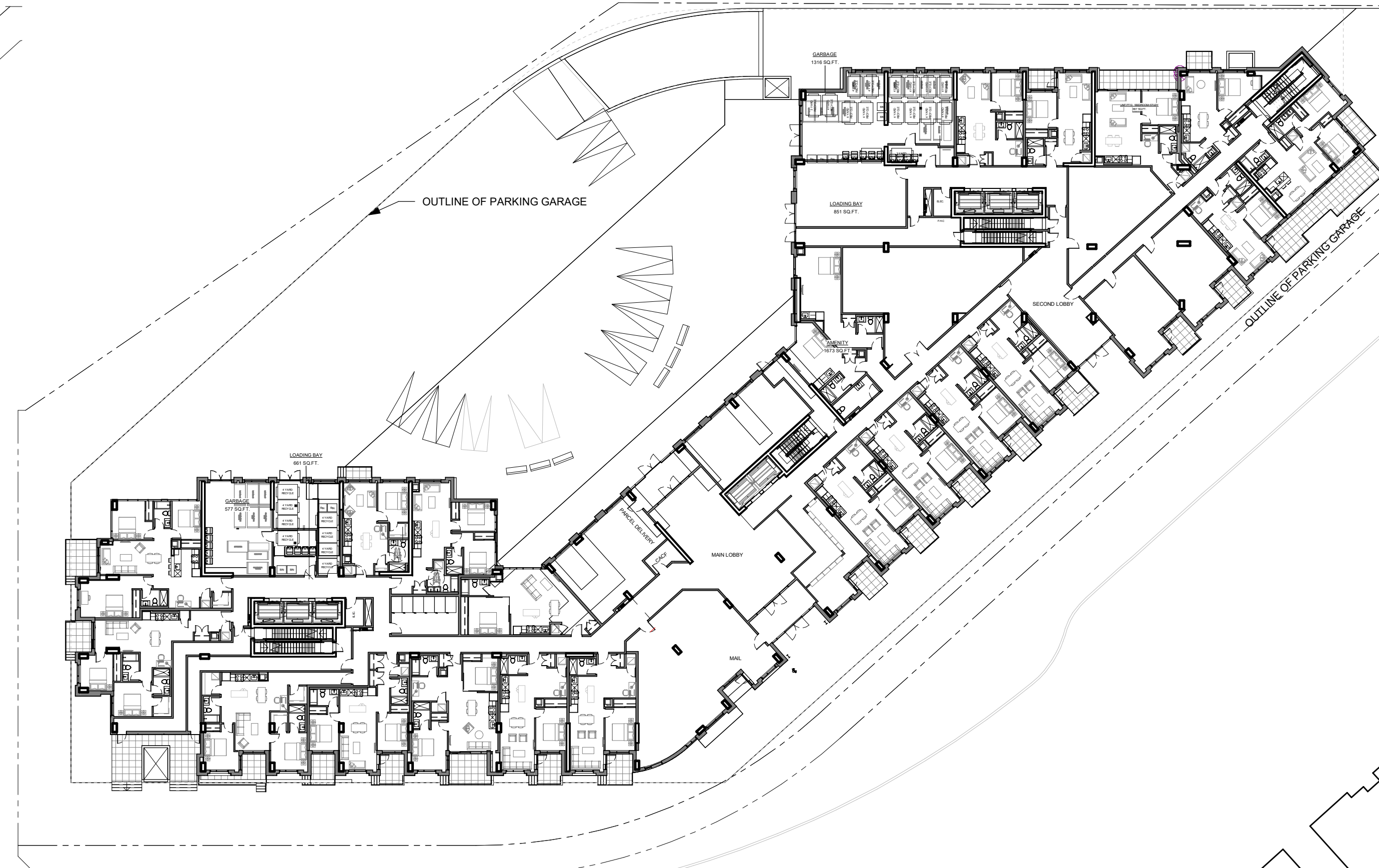
P3 FLOOR PLAN



P2 FLOOR PLAN




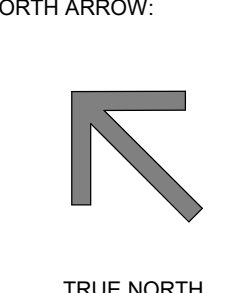
P1 FLOOR PLAN



GROUND FLOOR PLAN

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

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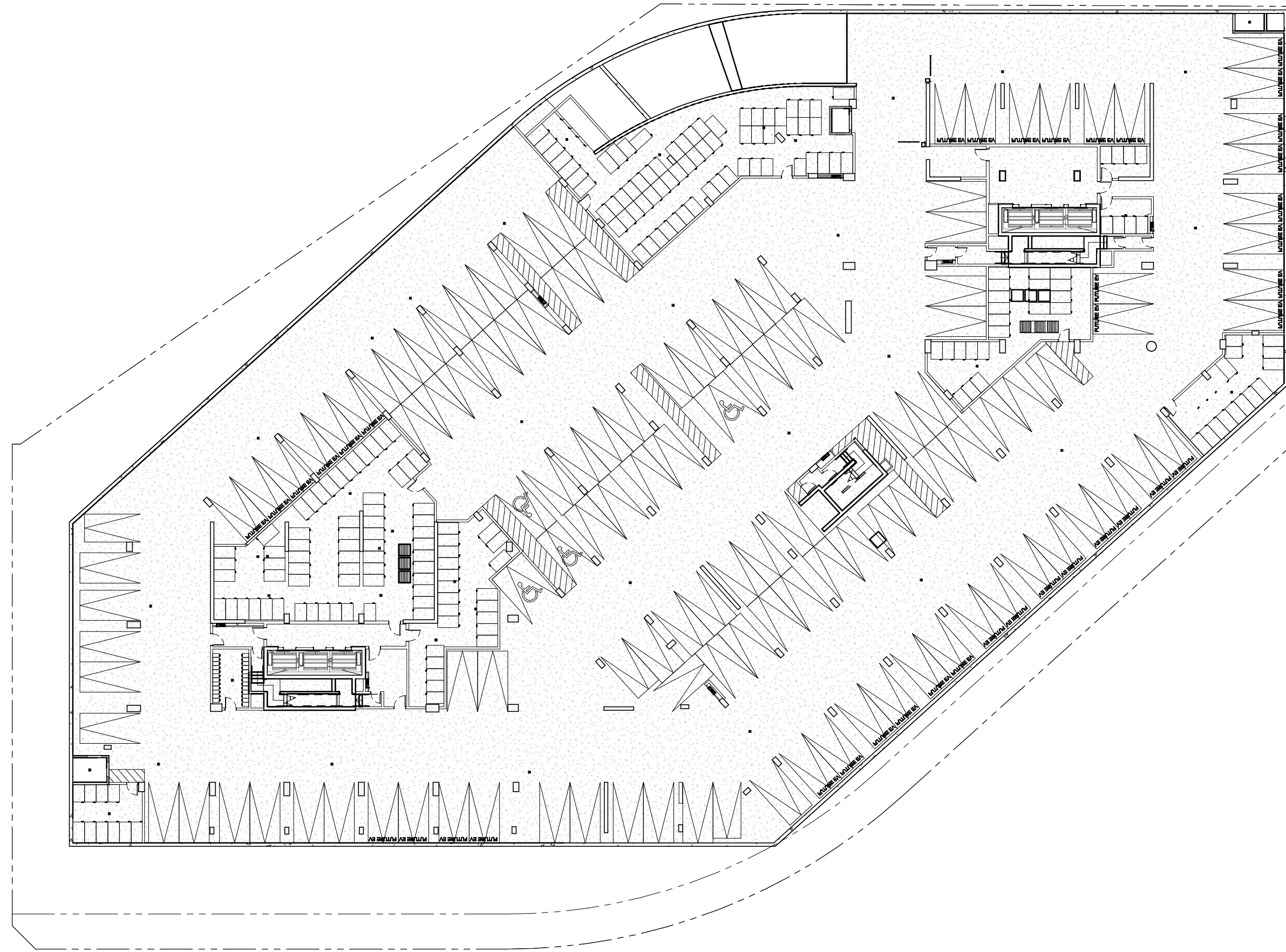
PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
FLOOR PLANS

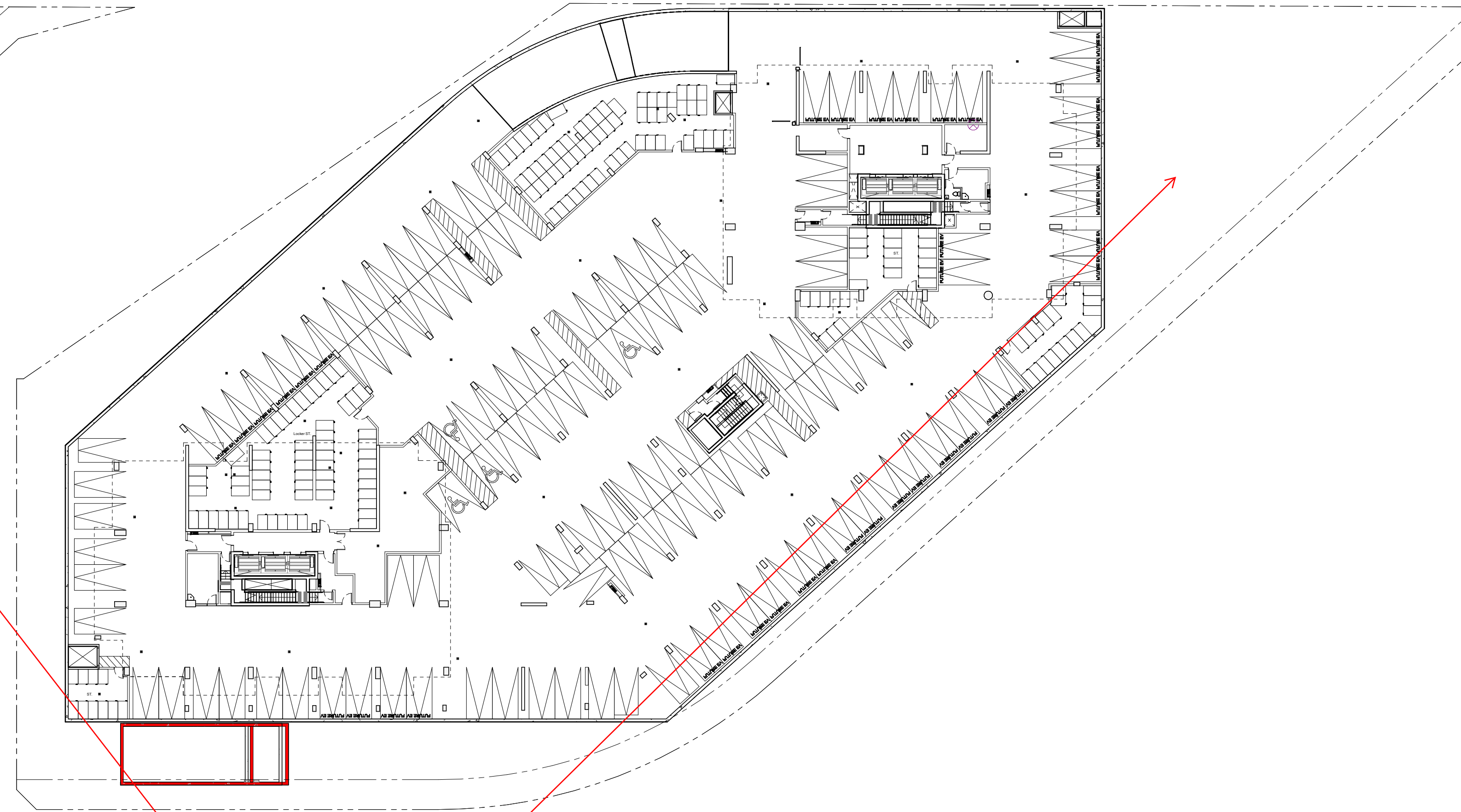
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PROJECT No: 1910	

CURRENT

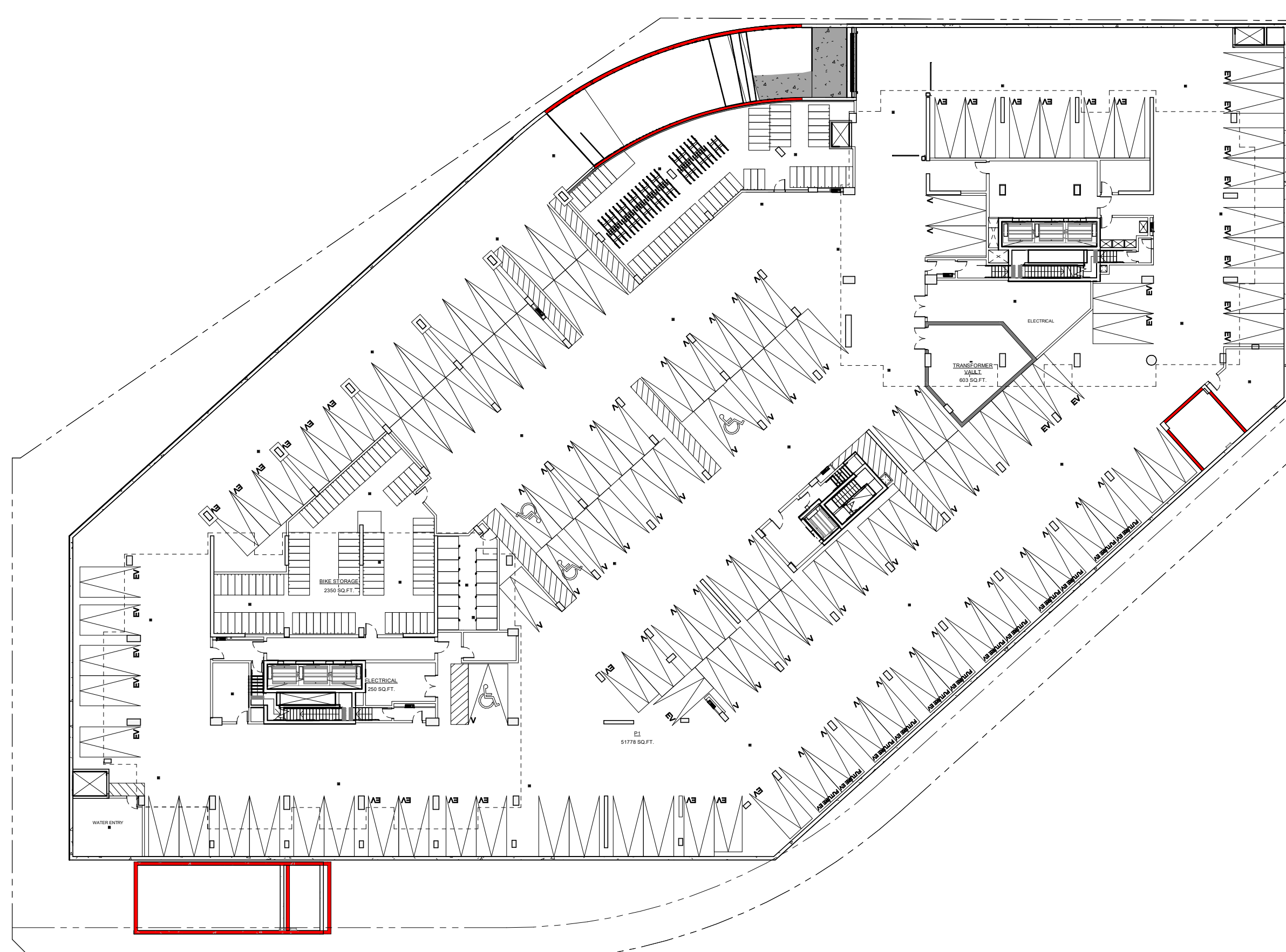
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
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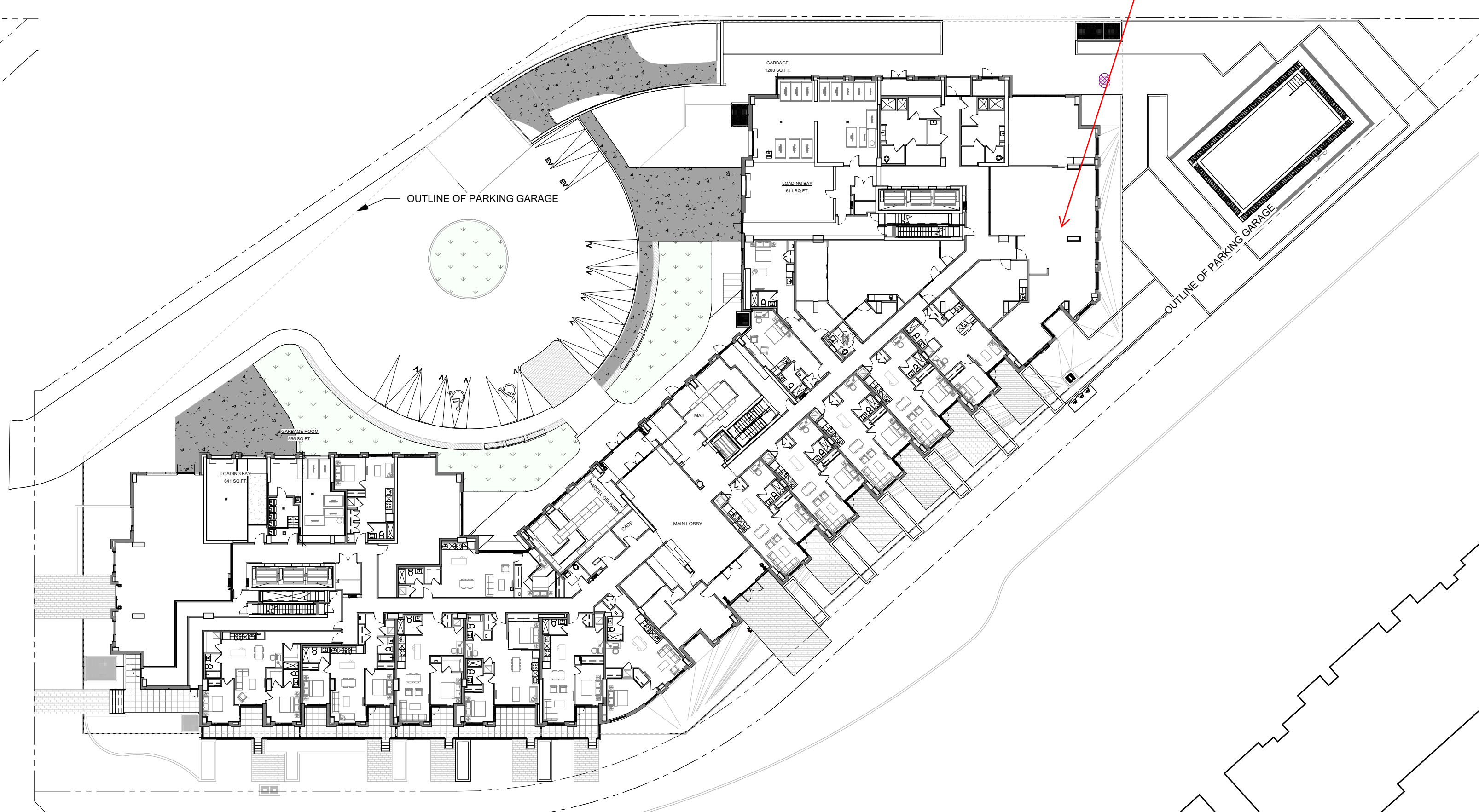
P3 FLOOR PLAN



P2 FLOOR PLAN



P1 FLOOR PLAN



GROUND FLOOR PLAN

STORAGE ROOMS REMOVED FROM PARKING LEVELS

INCREASED AMENITY SPACES

REVISIONS:	DATE
13 SPC UPDATE	31 JAN 2023
No. DESCRIPTION	DD.MM.YY

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ARCHITECT: **rla/architecture**
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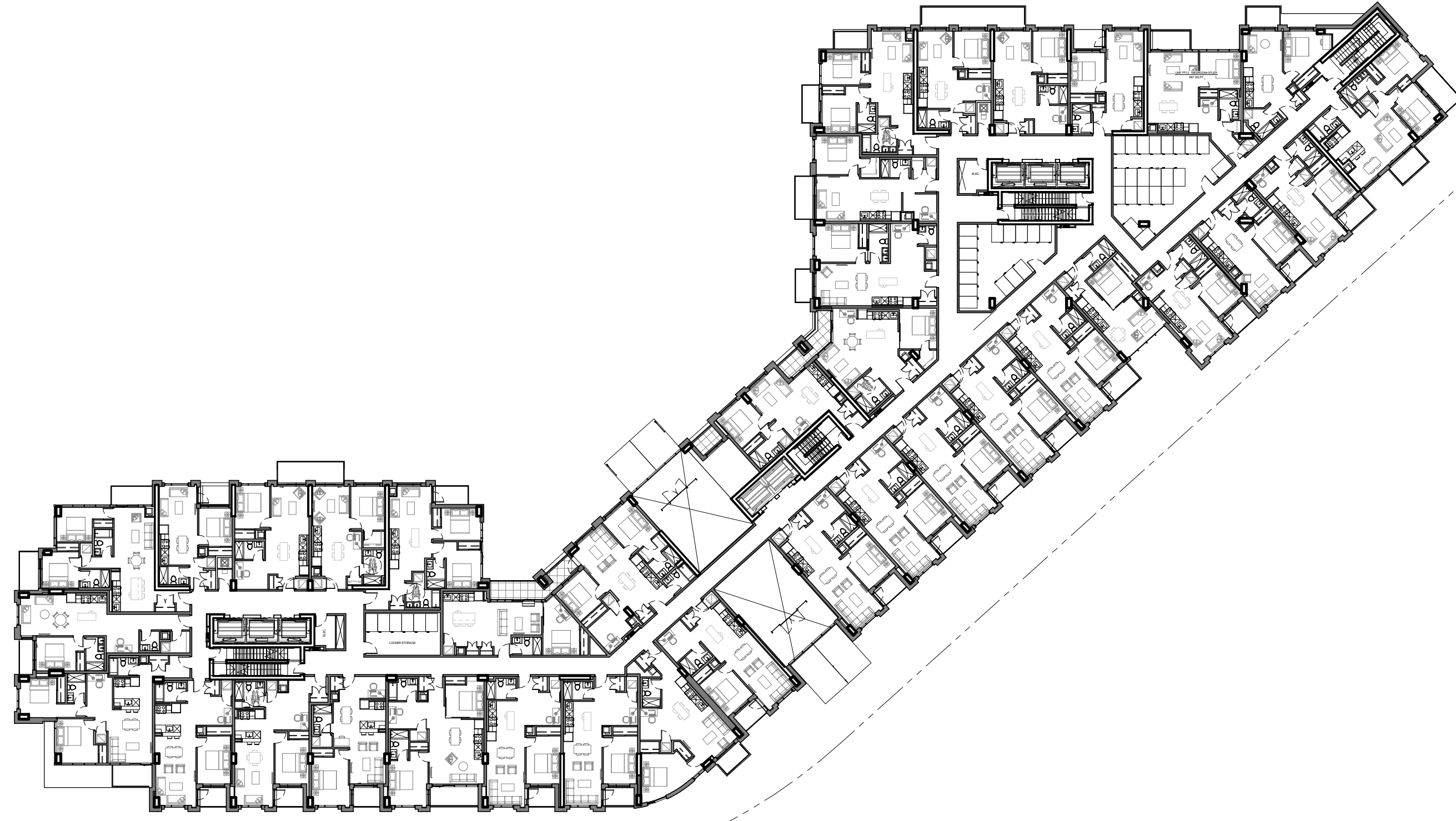
PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

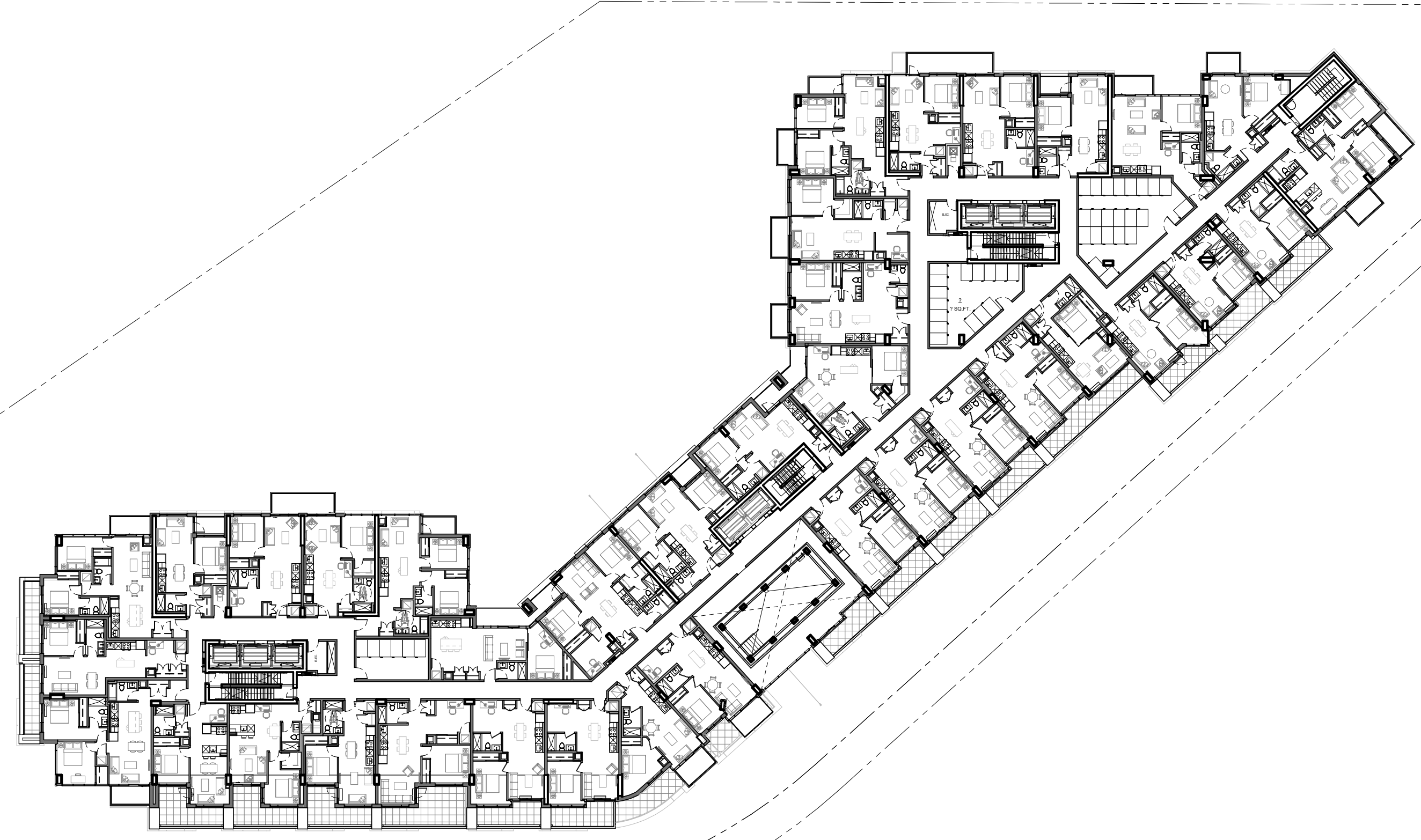
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FLOOR PLANS

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PROJECT No: 1910	

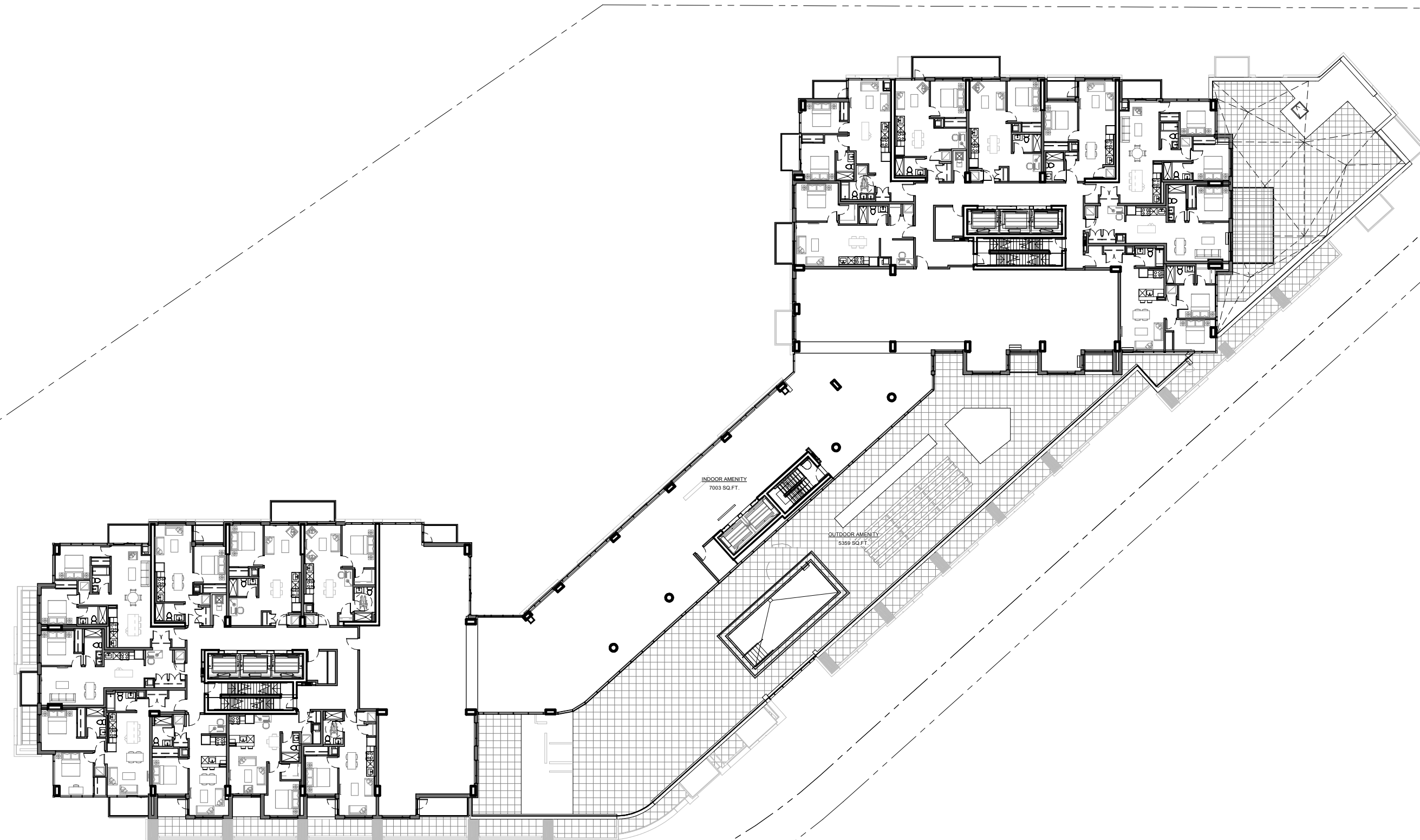
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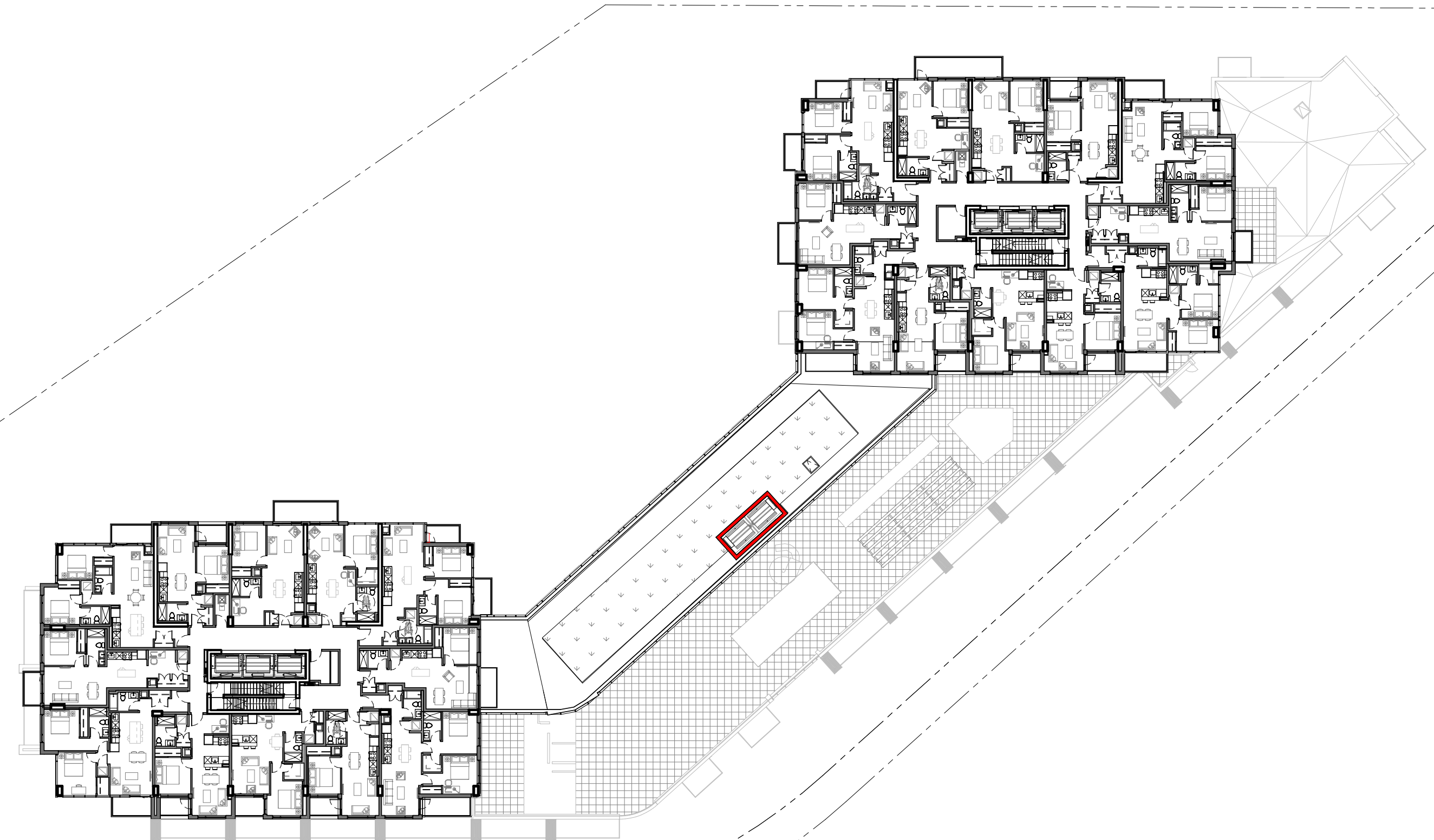
LEVEL 2-3 FLOOR PLAN



LEVEL 4 FLOOR PLAN



LEVEL 5 FLOOR PLAN


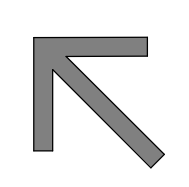


LEVEL 6-20 FLOOR PLAN

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

	NORTH ARROW:  TRUE NORTH
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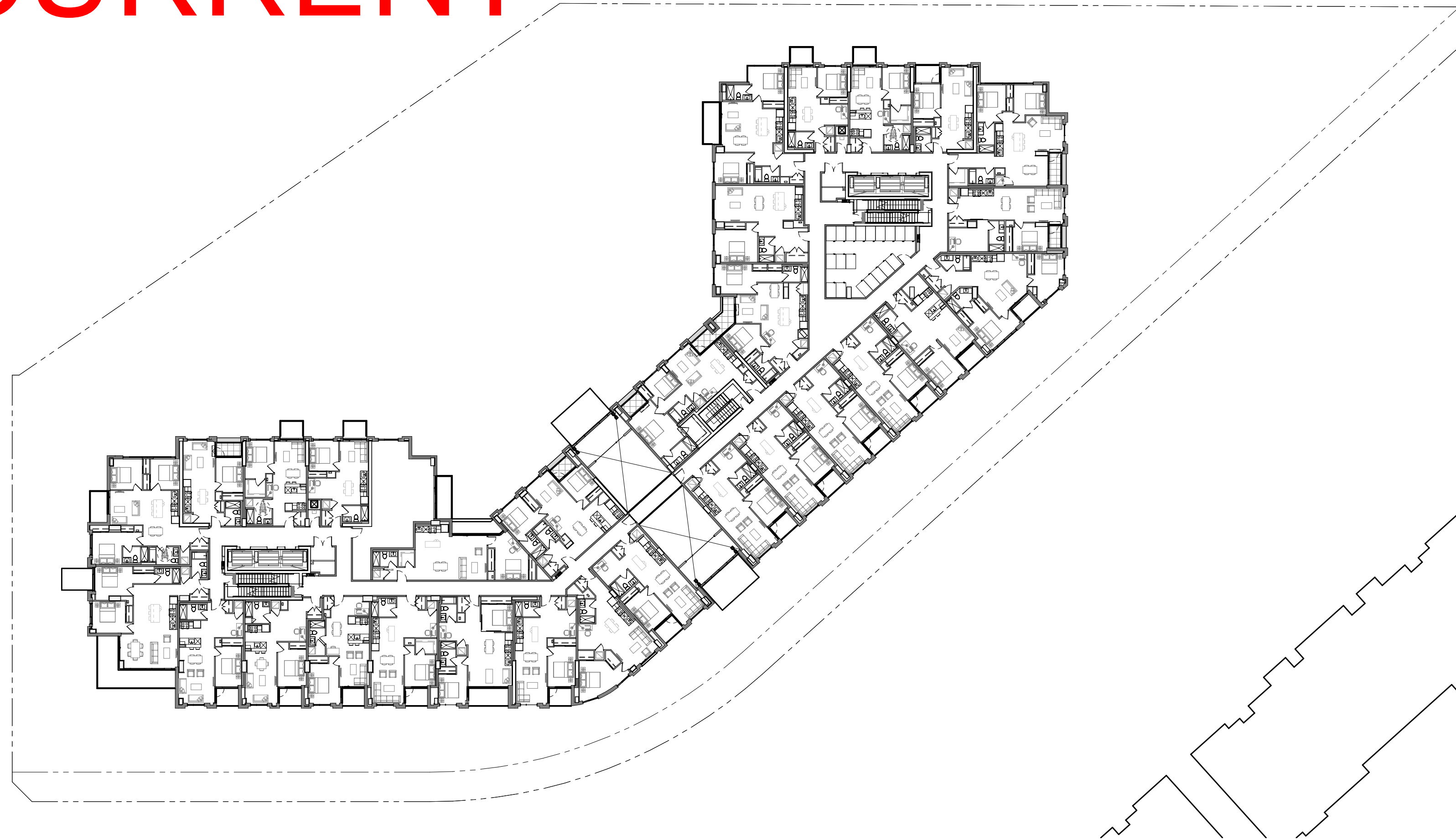
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19 CENTREPOINTE DR
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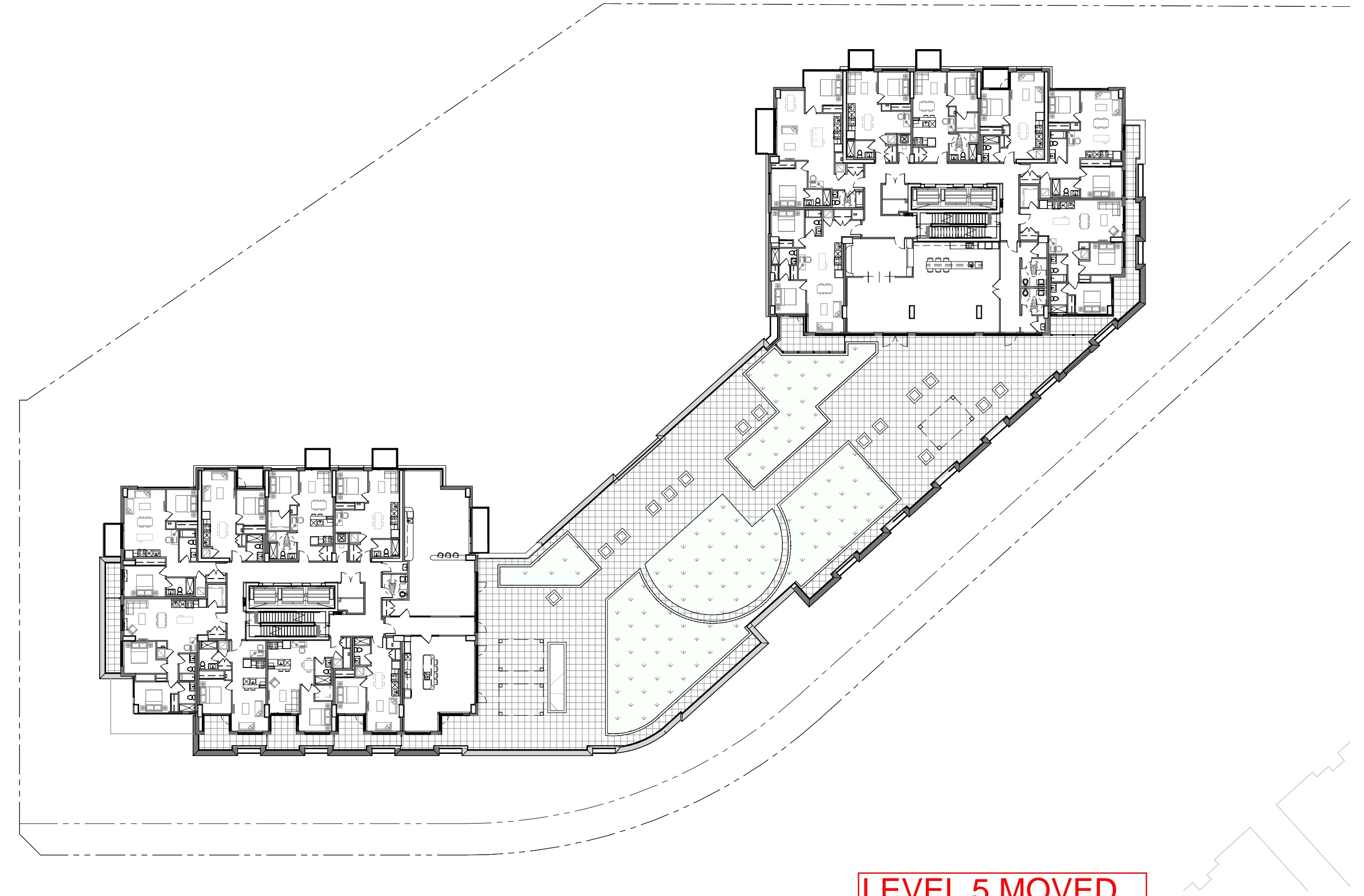
SHEET TITLE:
FLOOR PLANS

DRAWN: S.S	CHECKED: R.V.
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PROJECT No: 1910	

CURRENT



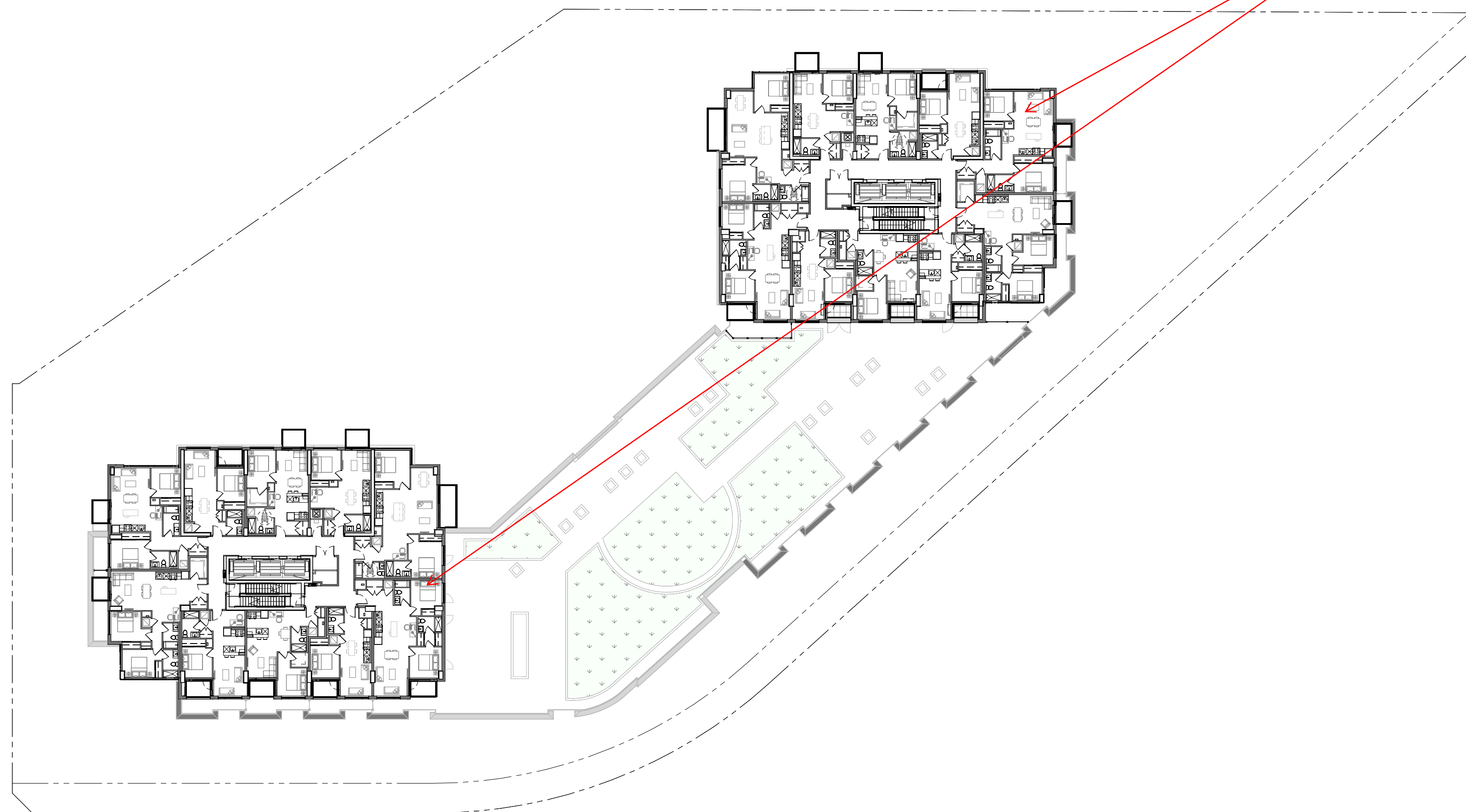
LEVEL 2 FLOOR PLAN



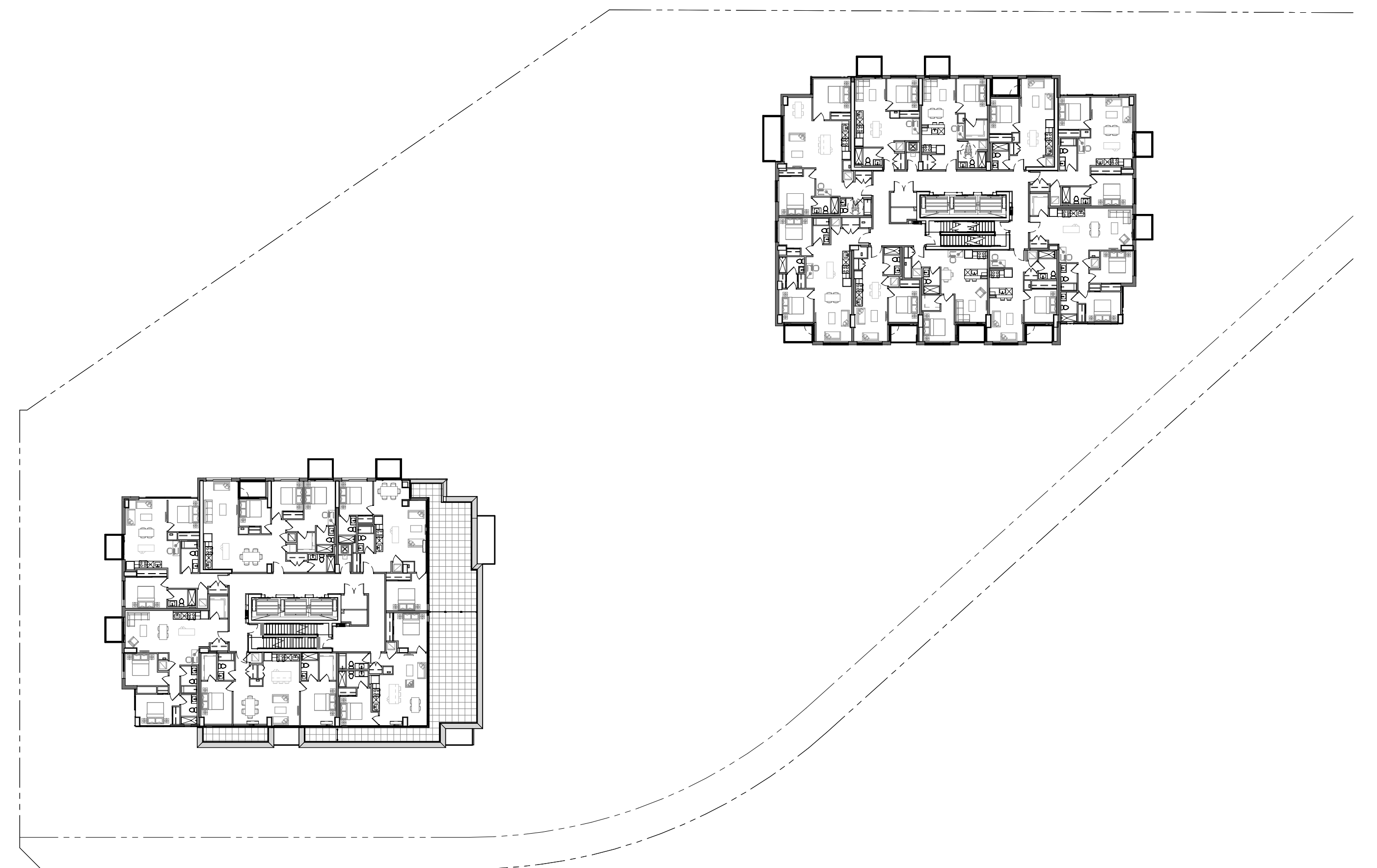
LEVEL 3 FLOOR PLAN

LEVEL 5 MOVED TO LEVEL 3

REDUCED NUMBER OF SUITES ON TYPICAL FLOOR PLATE, LARGER CORNER SUITES




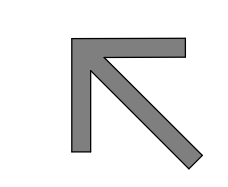
LEVEL 4-19 FLOOR PLAN



LEVEL 20-21 FLOOR PLAN

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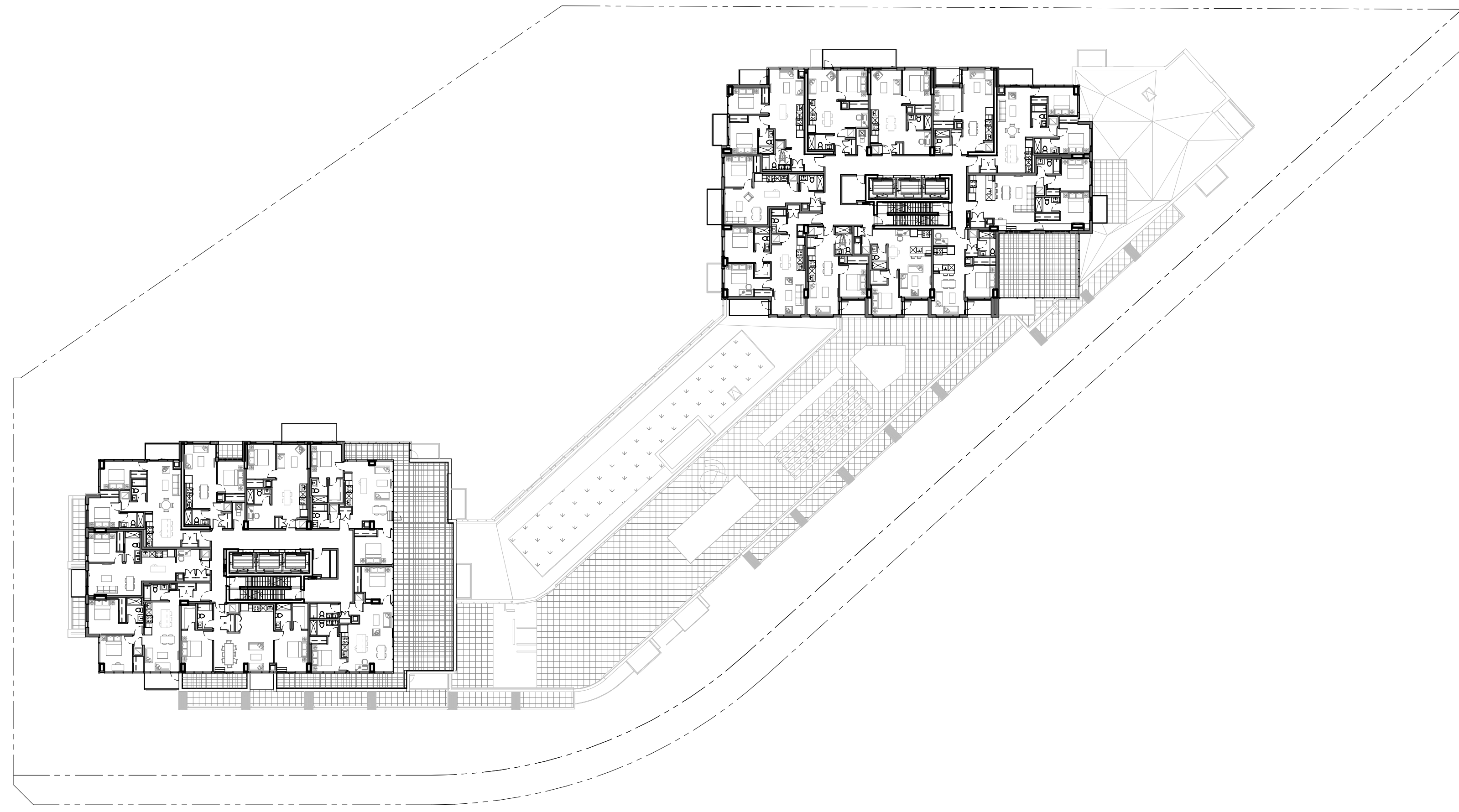
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19 CENTREPOINTE DR

OTTAWA, ON

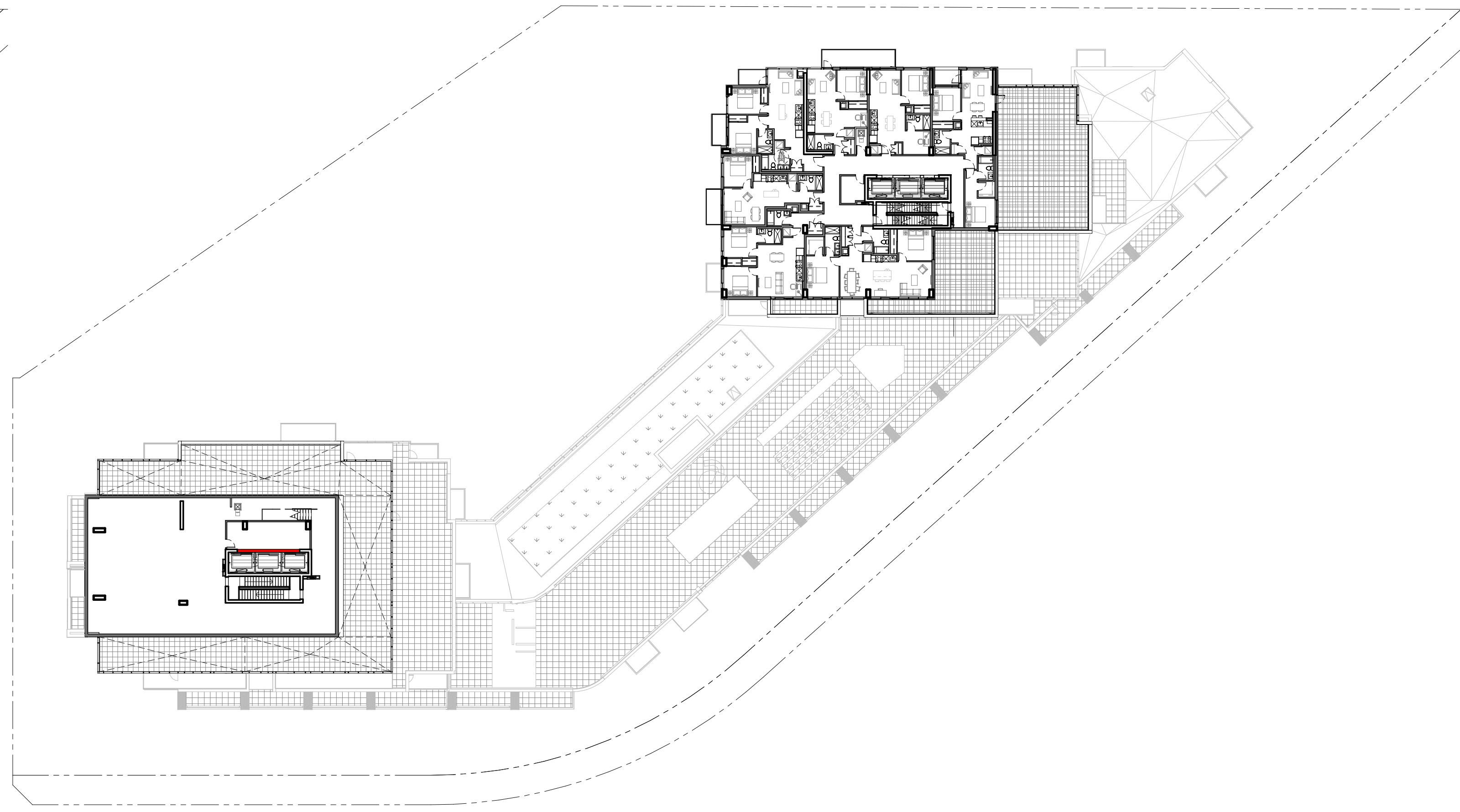
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FLOOR PLANS

DRAWN: S.S	CHECKED: R.V.
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PROJECT No: 1910	

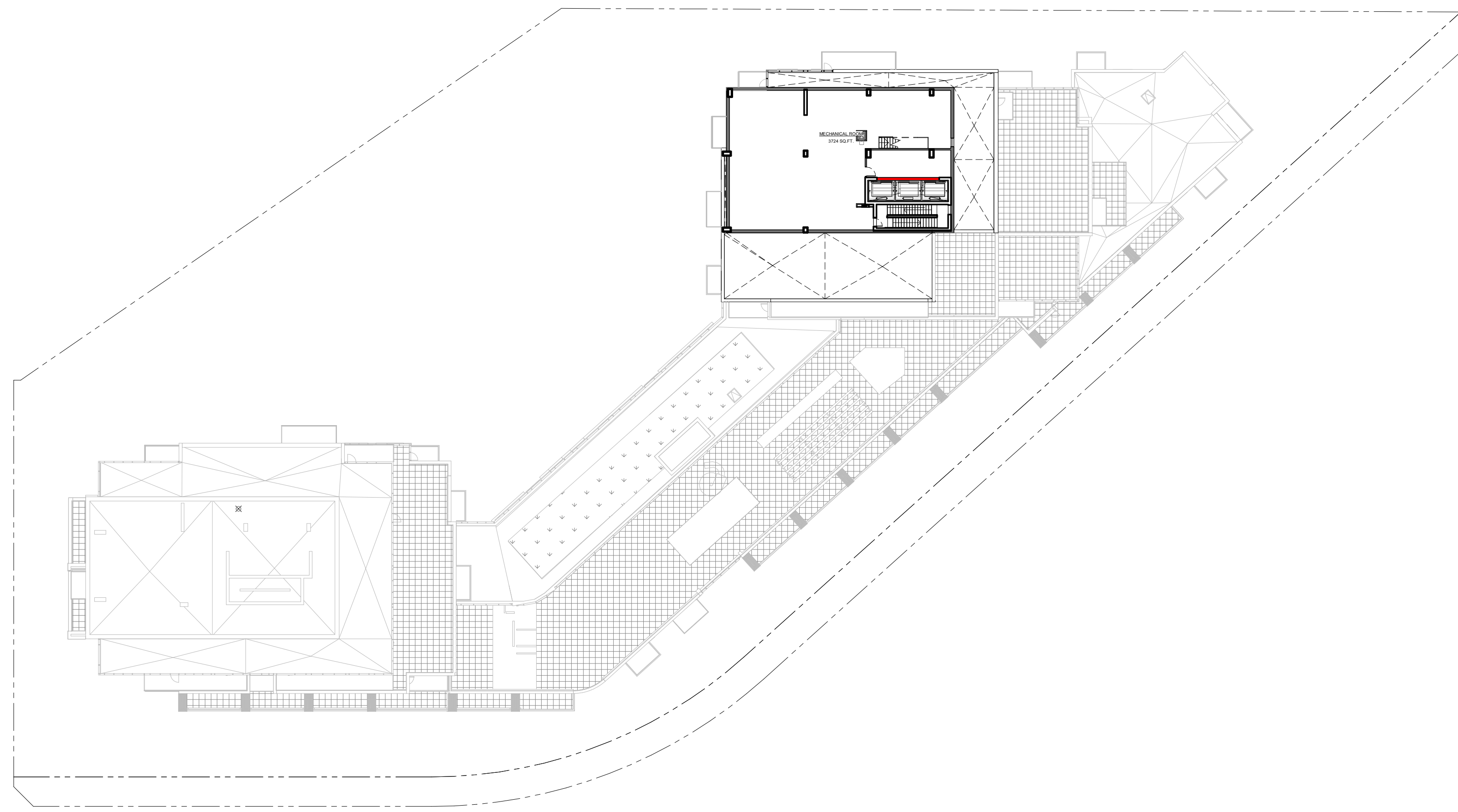
BEFORE



LEVEL 21-22 FLOOR PLAN



LEVEL 23-24 FLOOR PLAN



LEVEL 25/MECHANICAL FLOOR PLAN

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

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PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:

FLOOR PLANS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 350	SHEET No: 5
PROJECT No: 1910	

BEFORE



WEST ELEVATION



EAST ELEVATION



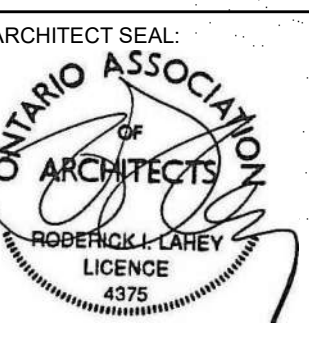
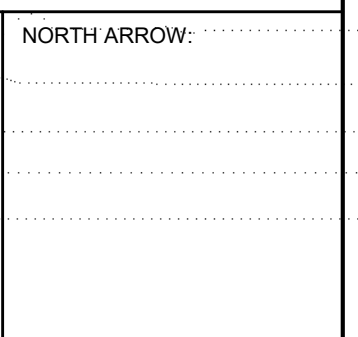
NORTH ELEVATION



SOUTH ELEVATION

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 400	SHEET No: 6
PROJECT No: 1910	

CURRENT



WEST ELEVATION



EAST ELEVATION

TOWER WIDTH
REDUCED



NORTH ELEVATION



SOUTH ELEVATION

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13	SPC UPDATE	31 JAN 2023

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ARCHITECT:
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PROJECT TITLE:
19 CENTREPOINTE DR

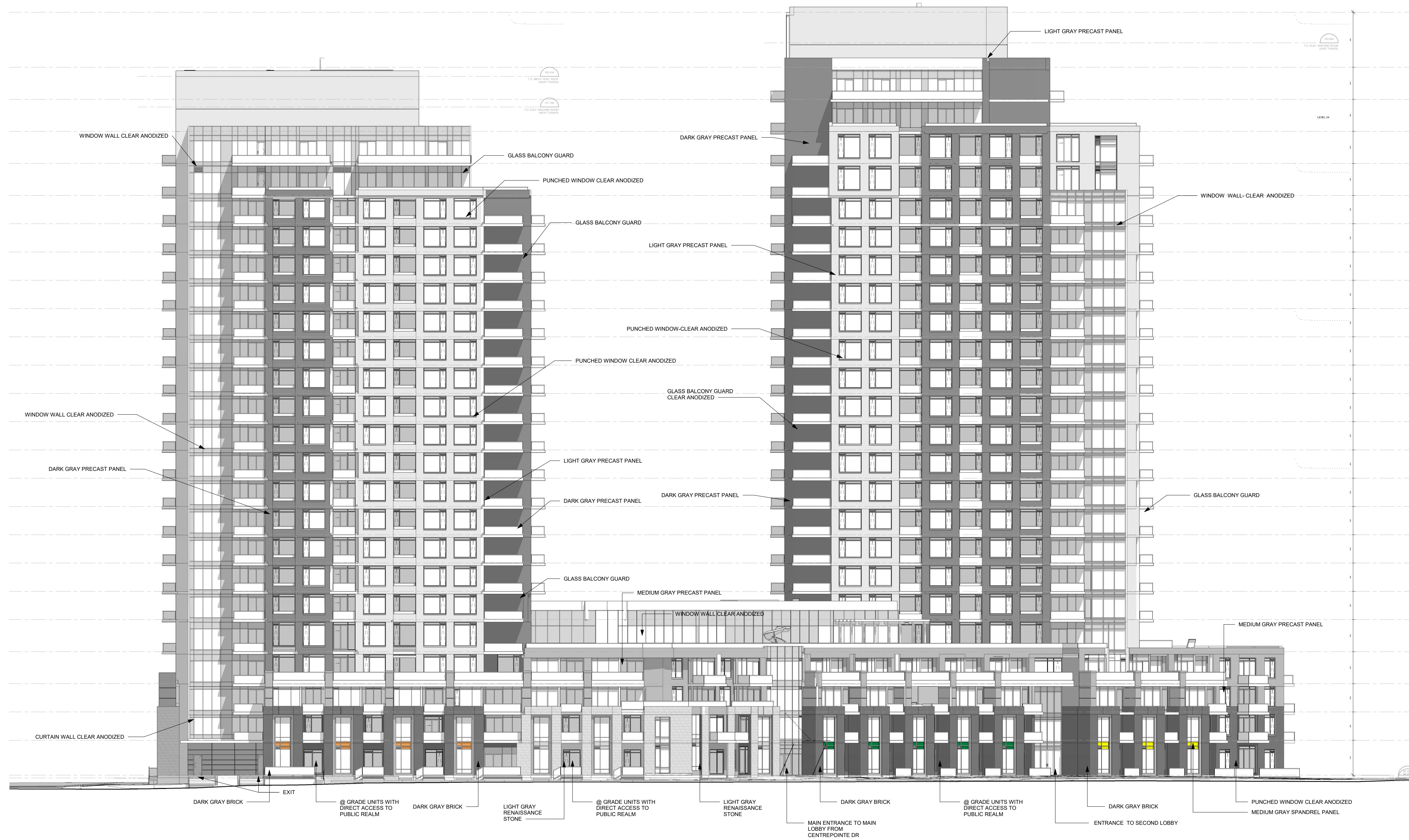
OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 400	SHEET No: 6
PROJECT No: 1910	

BEFORE

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2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21
No.	DESCRIPTION	DD.MM.YY

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PROJECT TITLE:

19 CENTREPOINTE DR

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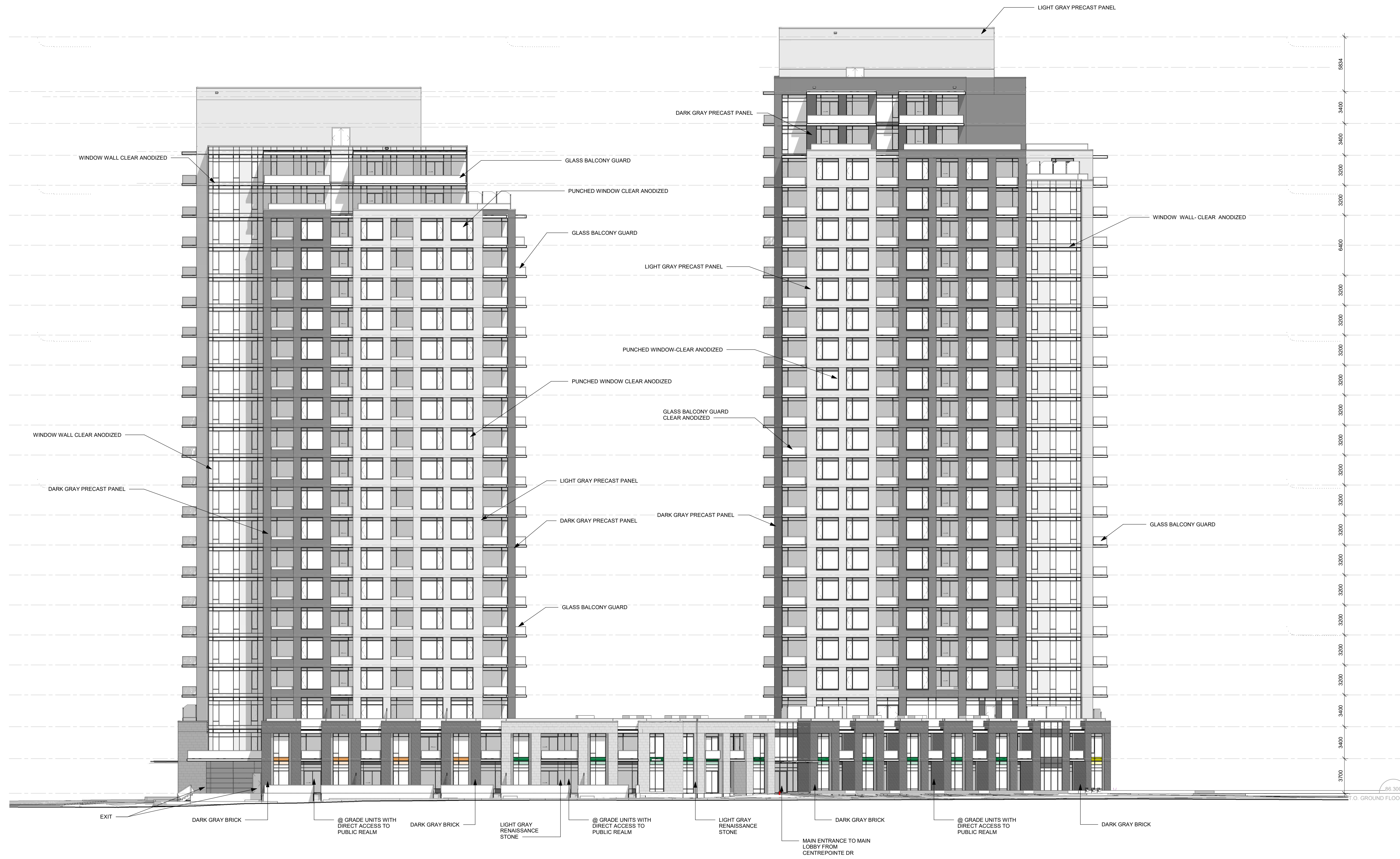
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WEST ELEVATION-ENLARGED

DRAWN: Author	CHECKED: Checker
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PROJECT No: 1910	

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PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:

WEST ELEVATION-ENLARGED

DRAWN: Author	CHECKED: Checker
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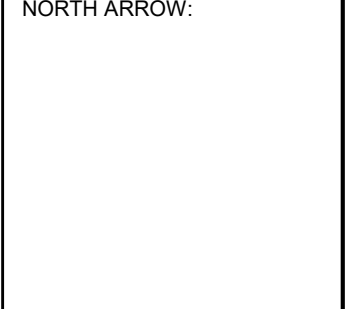
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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

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PROJECT TITLE:

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OTTAWA, ON

SHEET TITLE:

EAST ELEVATION-ENLARGED


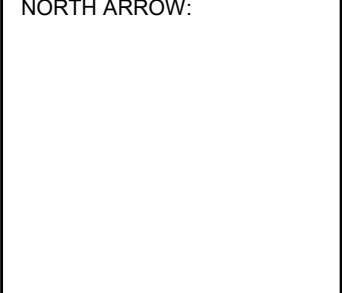
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PROJECT No: 1910	

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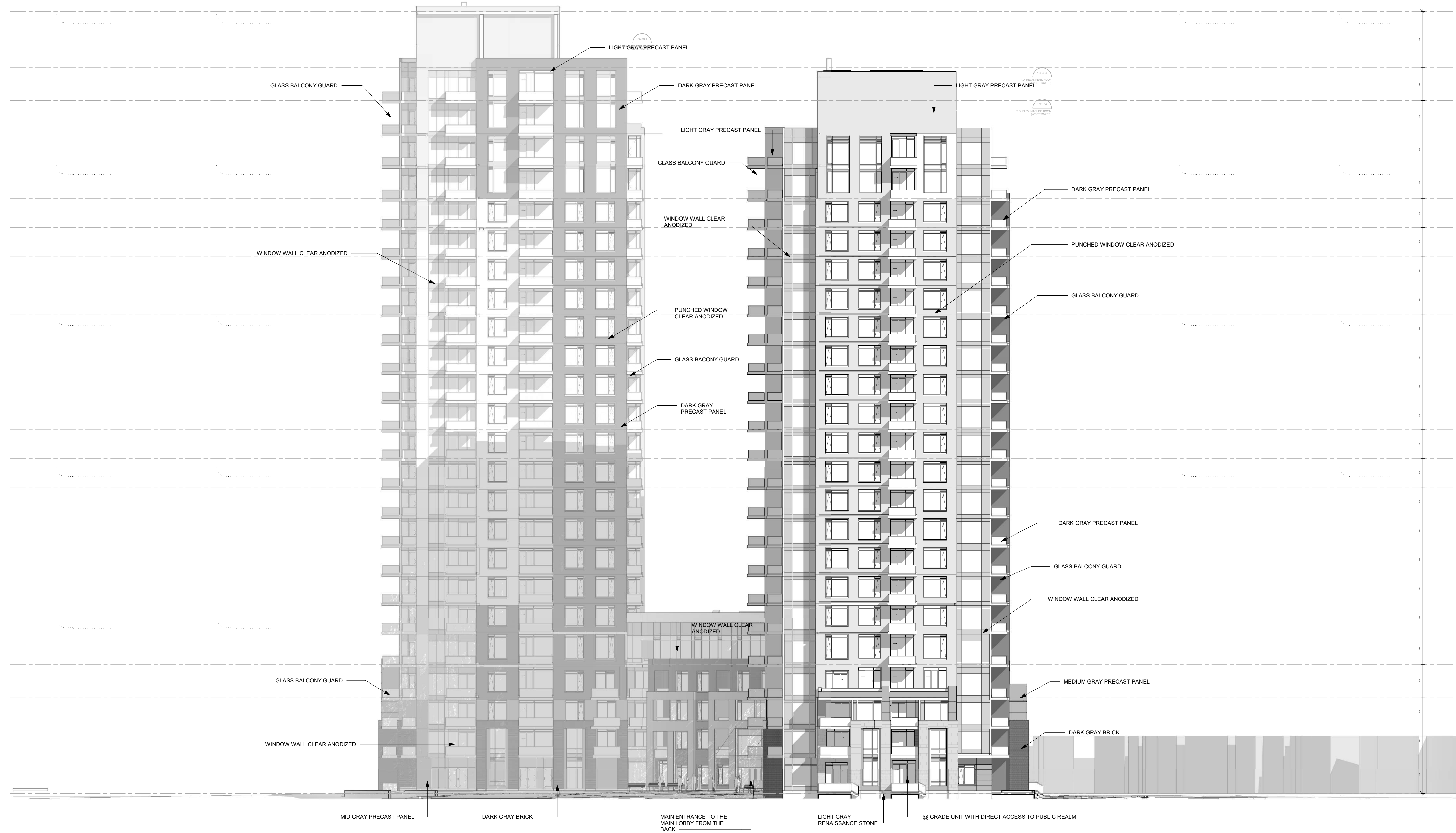
PROJECT TITLE:
19 CENTREPOINTE DR
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SHEET TITLE:
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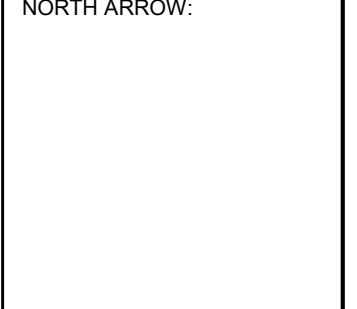
BEFORE

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2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

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CLIENT:


ARCHITECT:

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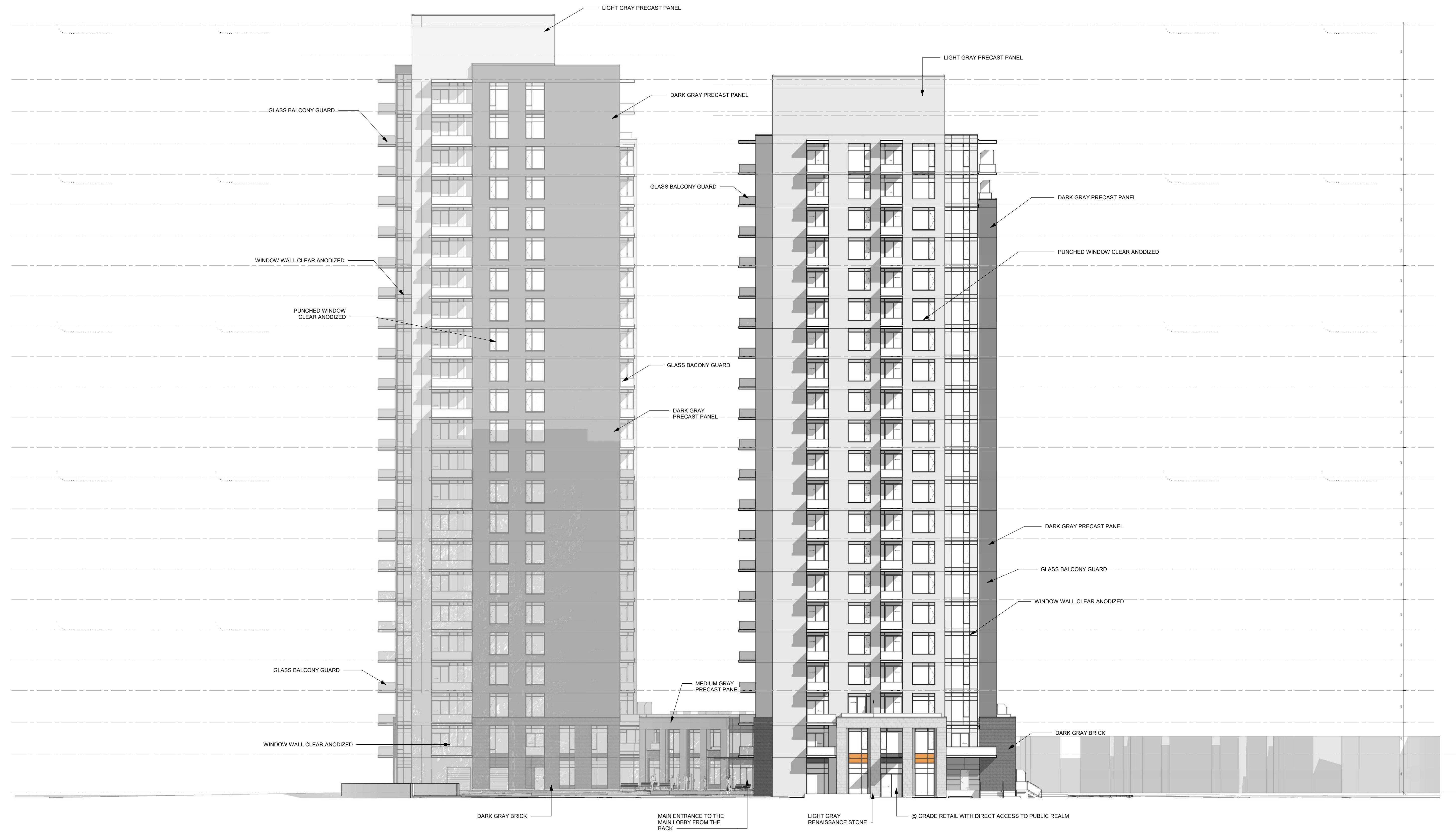
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19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
NORTH ELEVATION-ENLARGED


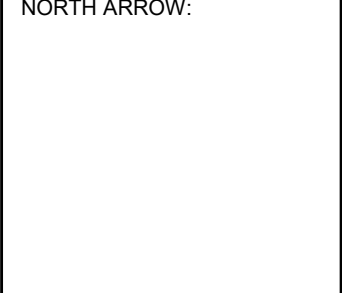
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SCALE: 1 : 200	SHEET No: 6-3
PROJECT No: 1910	

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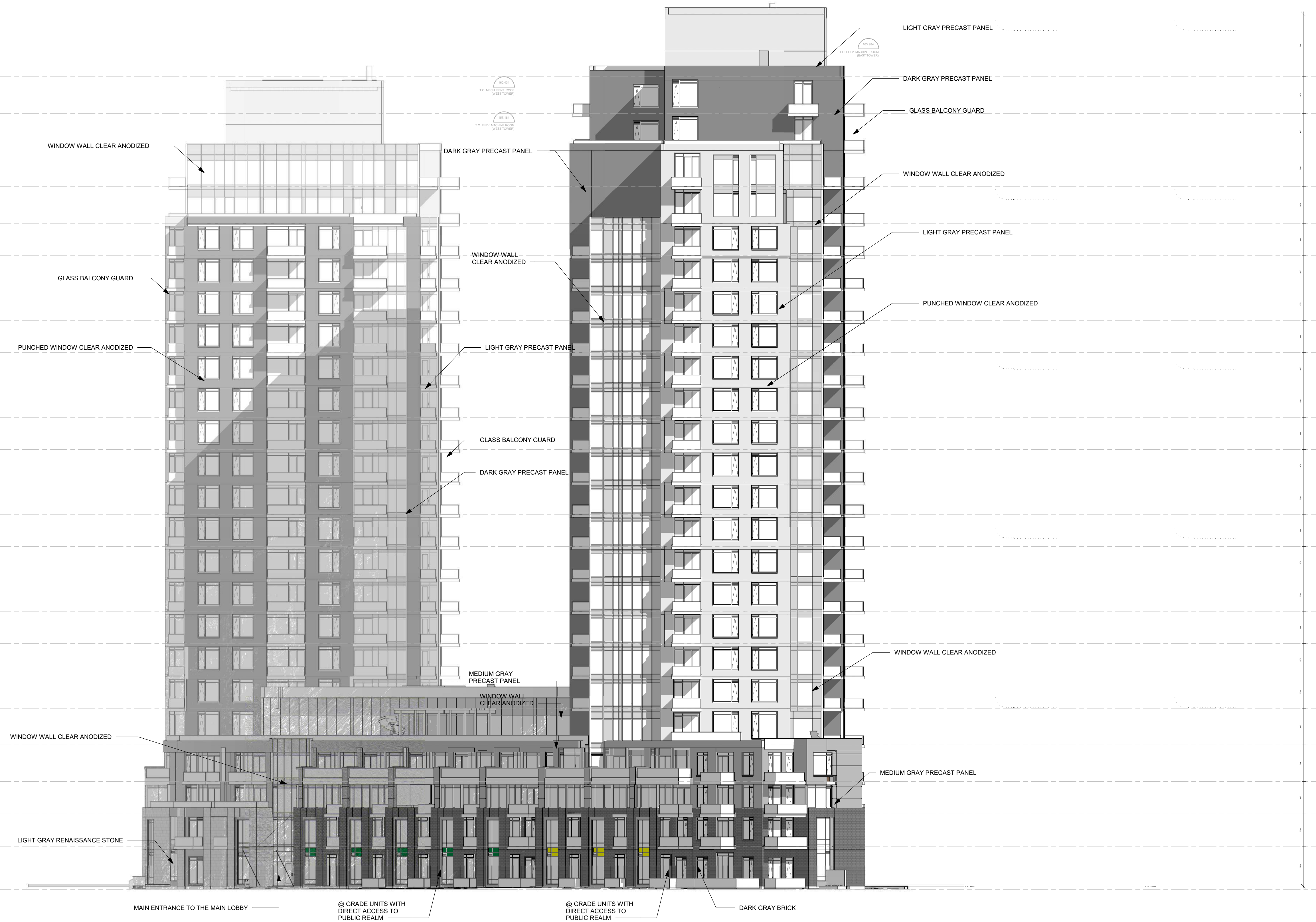
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19 CENTREPOINTE DR
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SHEET TITLE:
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PROJECT No: 1910	


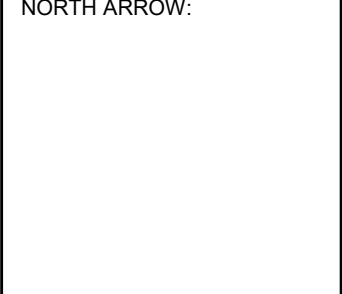
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2	ISSUED FOR SPC COMMENTS	06.APR.22
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

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ARCHITECT:


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PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

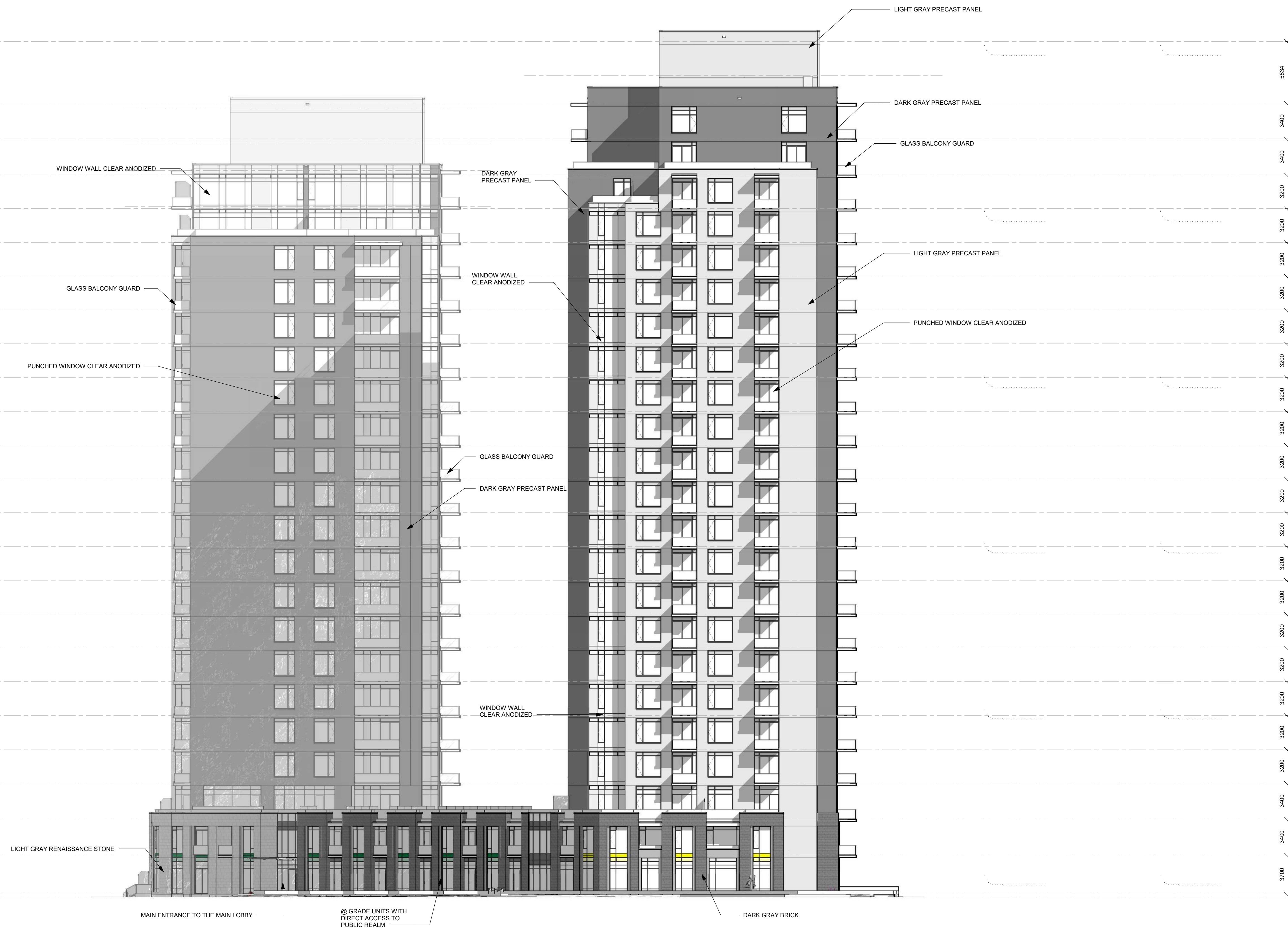
SHEET TITLE:

SOUTH ELEVATION-ENLARGED


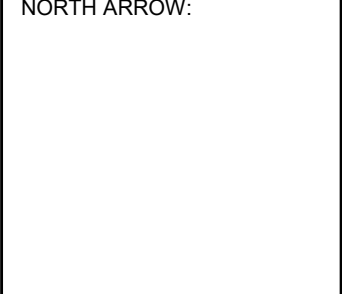
DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: 6-4
PROJECT No: 1910	

CURRENT

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13	SPC UPDATE	31 JAN 2023

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PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
SOUTH ELEVATION-ENLARGED

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: 64
PROJECT No: 1910	

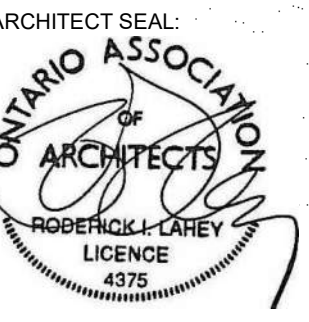
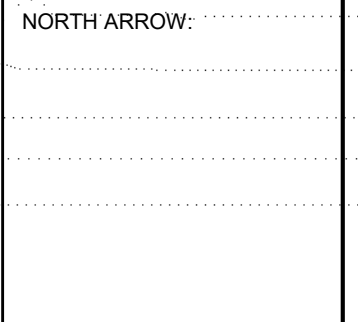
BEFORE



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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW: 

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ARCHITECT:

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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
AERIAL VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 7
PROJECT No: 1910	

CURRENT

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REVISIONS:

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ARCHITECT:

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PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:

AERIAL VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 7
PROJECT No: 1910	

BEFORE

1- 3D VIEW LOOKING NORTH EAST



2- 3D VIEW LOOKING EAST



3- 3D VIEW LOOKING NORTH



4- 3D VIEW LOOKING SOUTH-WEST



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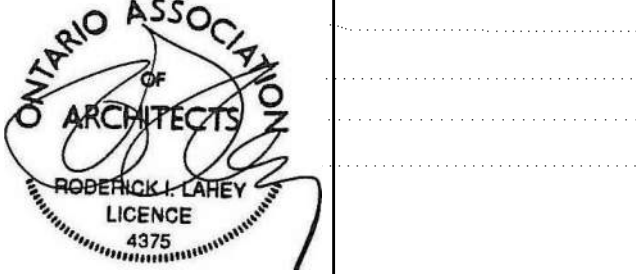
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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

ARCHITECT SEAL: NORTH ARROW:



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ARCHITECT:

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PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:

3D VIEWS

DRAWN: S.S. CHECKED: R.V.

SCALE: SHEET No:

8

PROJECT No: 1910

CURRENT

1- 3D VIEW LOOKING NORTH EAST



2- 3D VIEW LOOKING EAST



**PODIUM HEIGHT NOW UNIFORM
ADJACENT PROPERTIES**

3- 3D VIEW LOOKING NORTH



4- 3D VIEW LOOKING SOUTH-WEST



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13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW: 

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ARCHITECT: 
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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S. CHECKED: R.V.

SCALE: SHEET No: **8**

PROJECT No: 1910

BEFORE



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1- 3D VIEW LOOKING FROM CENTREPOINTE- GEMINI WAY INTERSECTION



2- 3D VIEW LOOKING FROM EAST



No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

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CLIENT:

ARCHITECT:

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PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S.	CHECKED: R.V.
SCALE:	SHEET No: 9
PROJECT No: 1910	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

F:\2019\1910 - Centrepointe (Richcraft) (previously 1028)\01_Design Development\03 Rev\114-2021-08-05\19 CENTREPOINTE.rvt

D07-12-21-0071

BEFORE

1- 3D VIEW LOOKING TOWARD MAIN ENTRANCE FROM CENTREPOINTE DR



2- 3D VIEW LOOKING NORTH-EAST



3- 3D VIEW LOOKING NORTH-EAST FROM CENTREPOINTE DR



4- 3D VIEW LOOKING NORTH

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

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NORTH ARROW:

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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 10
PROJECT No: 1910	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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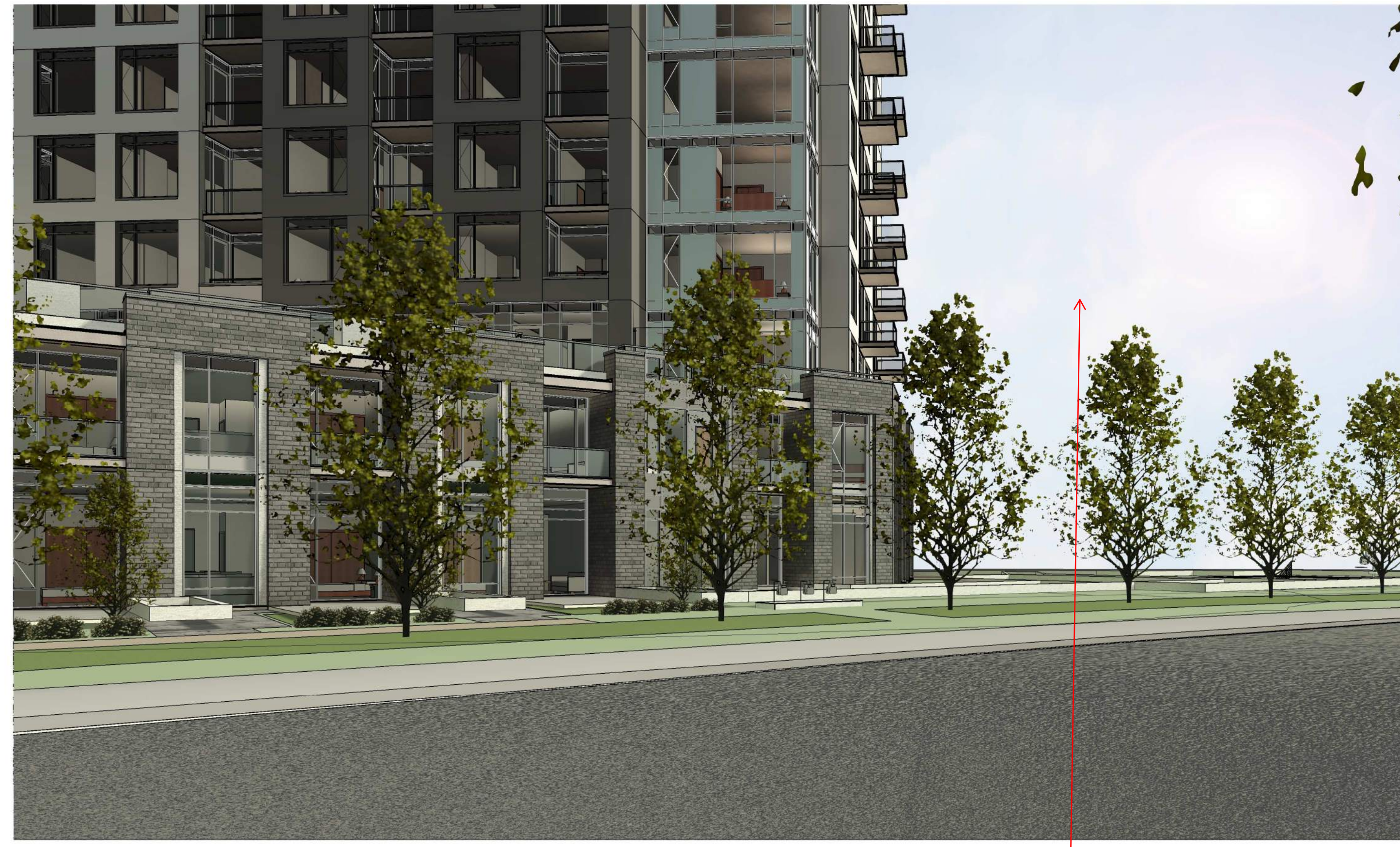
D07-12-21-0071

CURRENT

1- 3D VIEW LOOKING TOWARD MAIN ENTRANCE FROM CENTREPOINTE DR



2- 3D VIEW LOOKING NORTH-EAST



LENGTH AND HEIGHT OF BUILDING ABUTING CENTREPOINTE REDUCED



3- 3D VIEW LOOKING NORTH-EAST FROM CENTREPOINTE DR



4- 3D VIEW LOOKING NORTH

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13 SPC UPDATE	31 JAN 2023
No. DESCRIPTION	DD.MM.YY

ARCHITECT SEAL:

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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 10
PROJECT No: 1910	

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BEFORE

1- 3D VIEW LOOKING TOWARD ENTRANCE FROM CENTREPOINTE DR



2- 3D VIEW LOOKING TOWARD ENTRANCE FROM CENTREPOINTE DR



3- 3D VIEW LOOKING NORTH TOWARD TOWN HOUSES



4- 3D VIEW LOOKING SOUTH-WEST TOWARD ENTRANCE

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

REVISIONS:

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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
ENLARGED 3D VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 11
PROJECT No: 1910	

CURRENT

1- 3D VIEW LOOKING TOWARD ENTRANCE FROM CENTREPOINTE DR



2- 3D VIEW LOOKING TOWARD ENTRANCE FROM CENTREPOINTE DR



3- 3D VIEW LOOKING NORTH TOWARD TOWN HOUSES


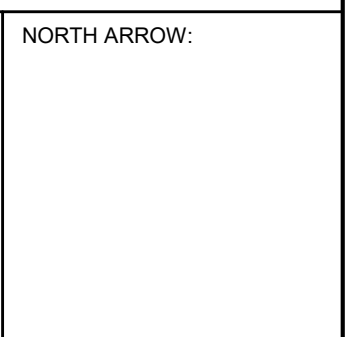


4- 3D VIEW LOOKING SOUTH-WEST TOWARD ENTRANCE

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13	SPC UPDATE	31 JAN 2023
No.	DESCRIPTION	DD.MM.YY

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PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
ENLARGED 3D VIEWS

DRAWN: S.S. CHECKED: R.V.

SCALE: SHEET No: **11**


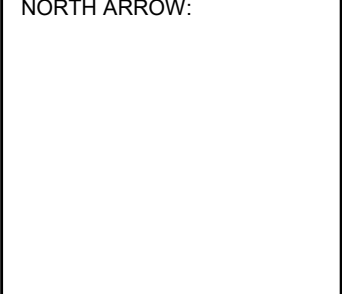
PROJECT No: 1910

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

ARCHITECT SEAL:  NORTH ARROW: 

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ARCHITECT:

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PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
3D VIEW LOOKING TOWARD ENTRANCE AND TOWN HOUSES

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: 12
PROJECT No: 1910	

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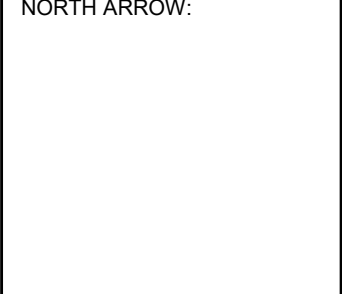
CURRENT



NEW POOL LOCATION WHERE BUILDING USED TO BE. INCREASE IN OUTDOOR AREAS FOR TENANTS. PLEASE NOTE FENCES IN RENDERING IS NOT REFLECTIVE OF MATERIAL SELECTED BY LANDSCAPE ARCHITECTS, NOISE BARRIER FENCE WILL BE PROVIDED AS PER SITE PLAN.

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13	SPC UPDATE	31 JAN 2023

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PROJECT TITLE:
 19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
 3D VIEW LOOKING TOWARD ENTRANCE AND TOWN HOUSES

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: 12
PROJECT No: 1910	

BEFORE

MARCH 21st,
DST

JUNE 21st,
DST

SEPTEMBER 21st,
DST

DECEMBER 21st

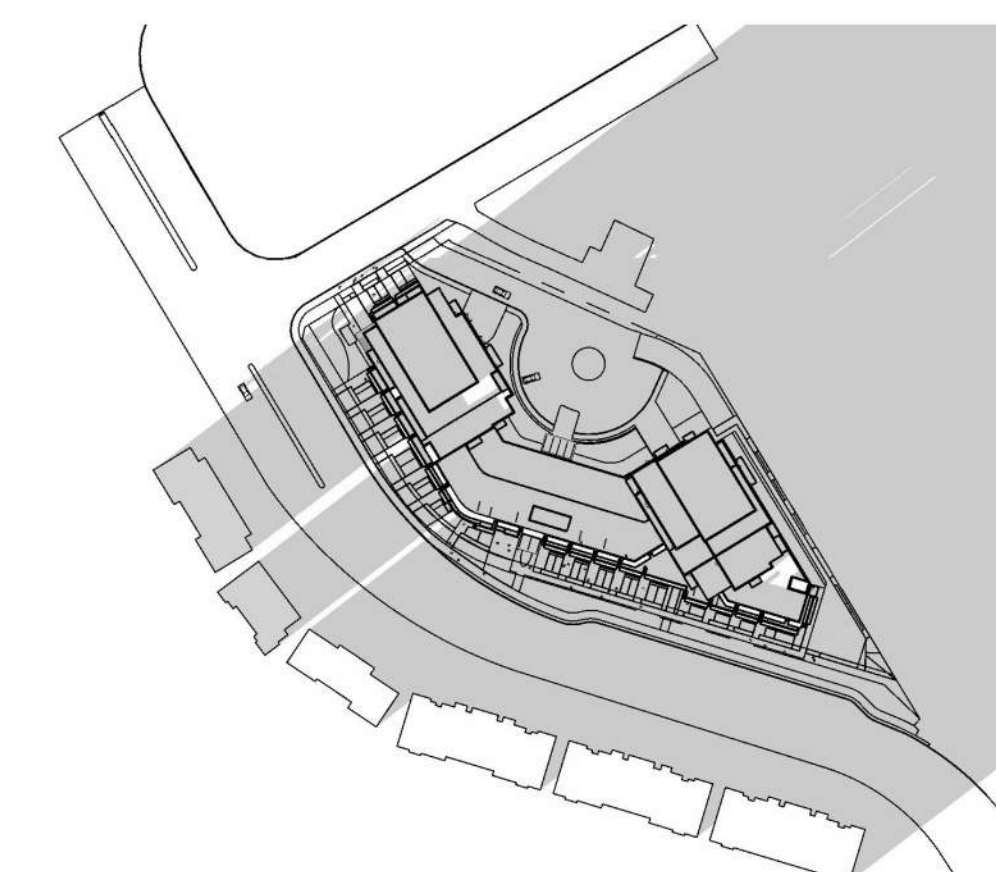
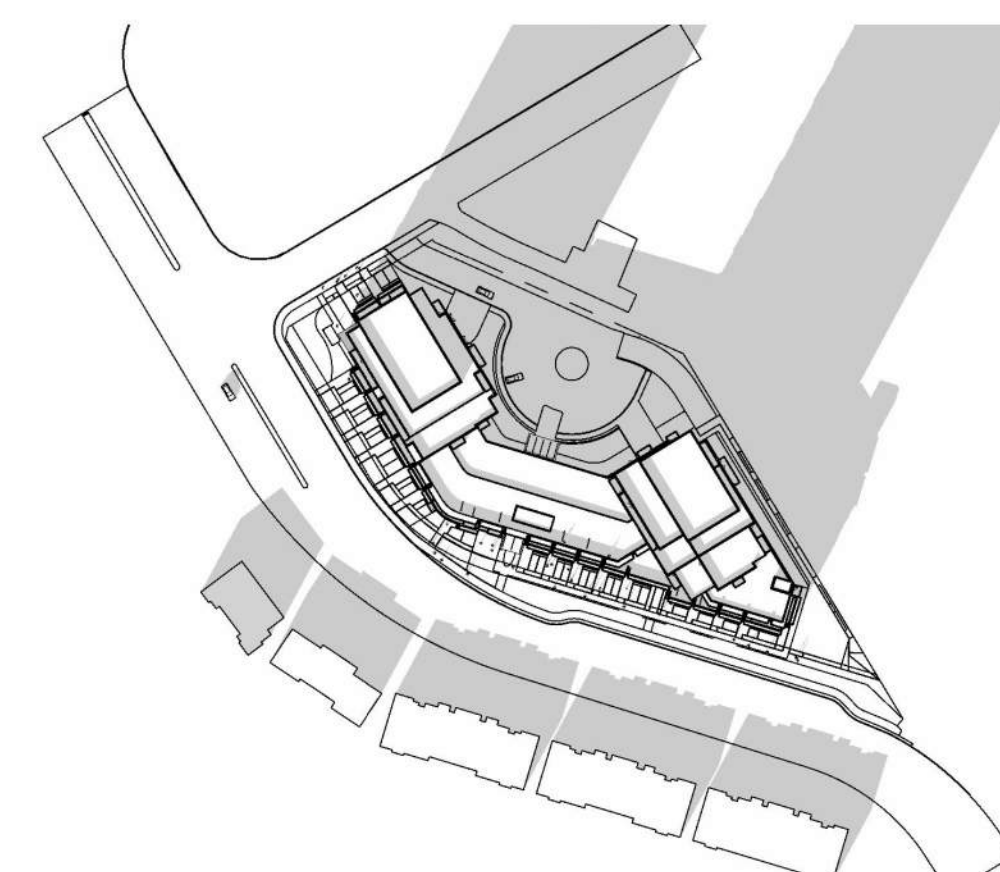
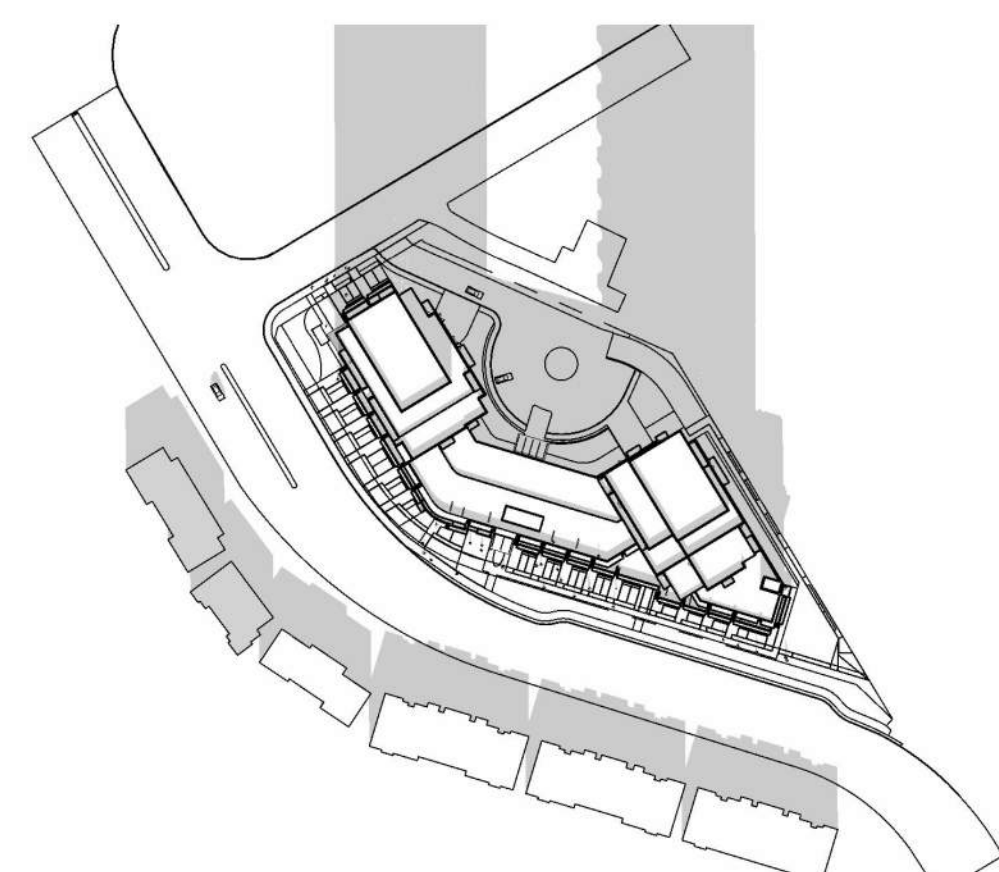
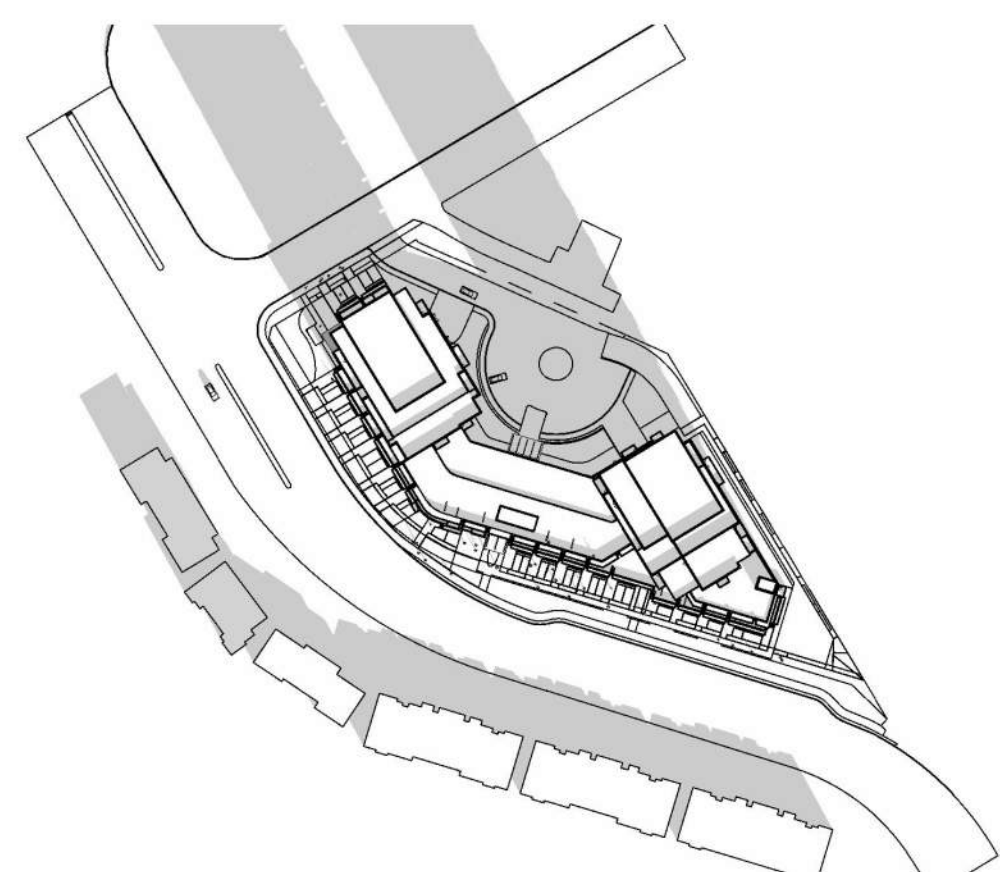
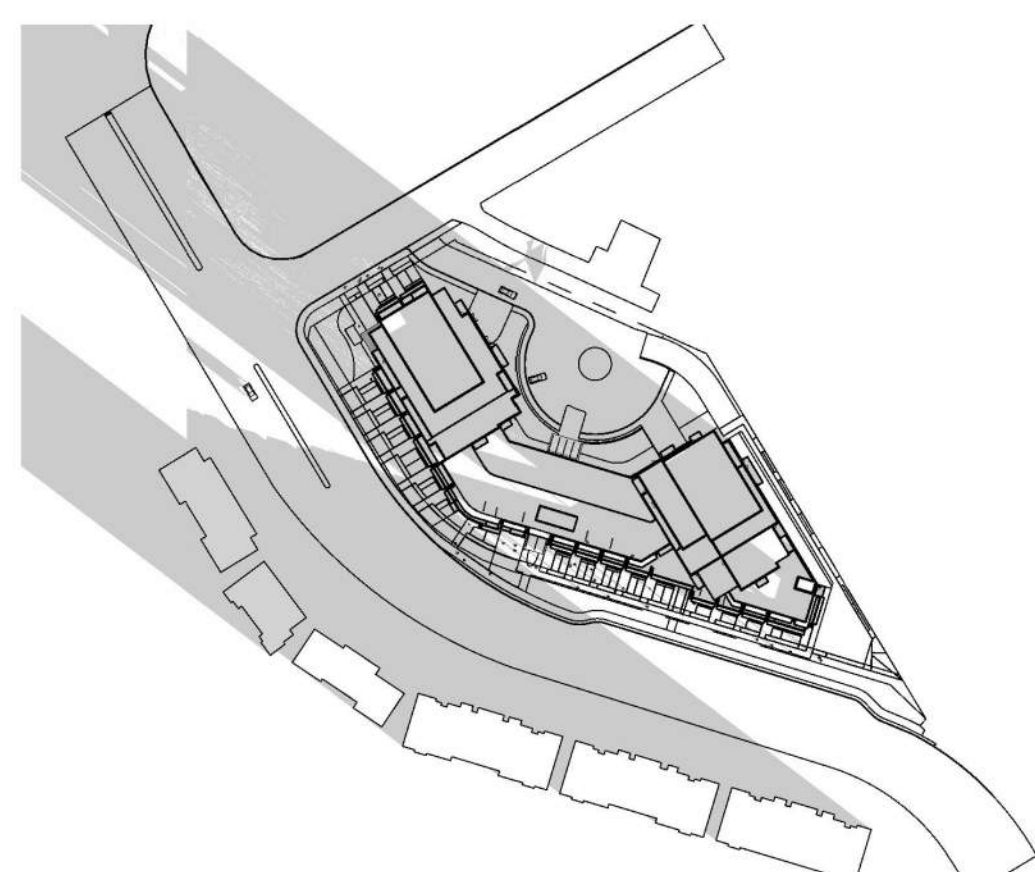
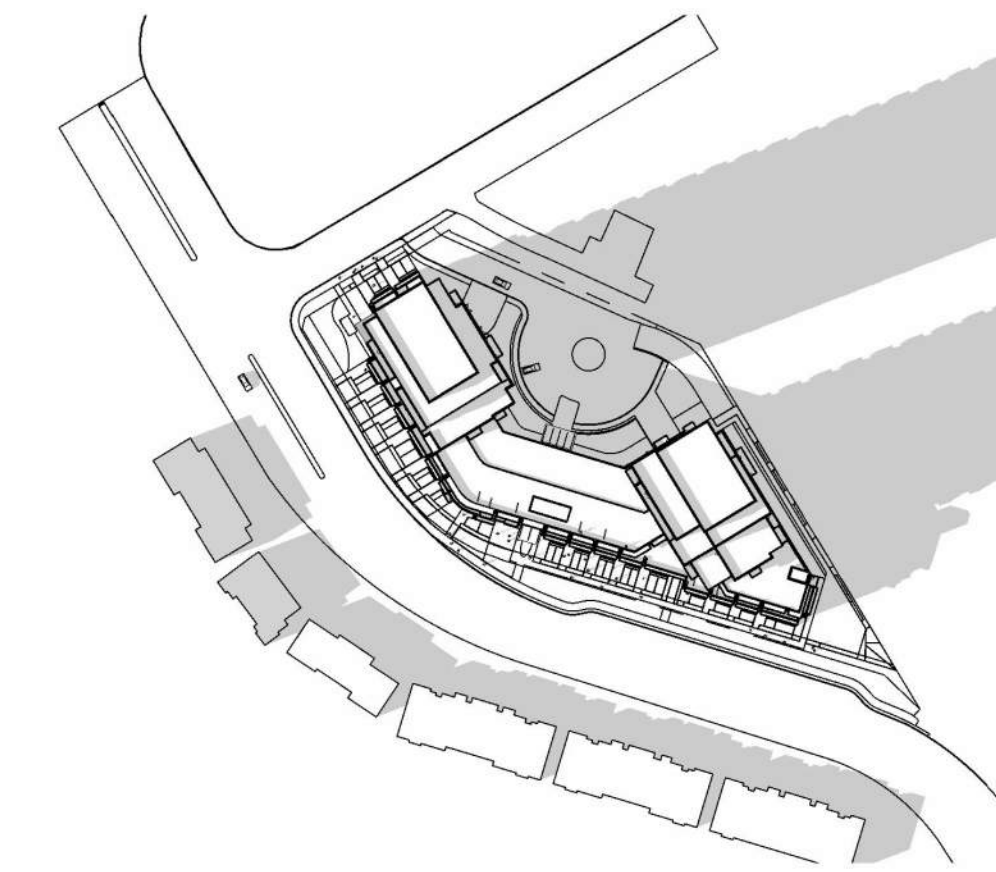
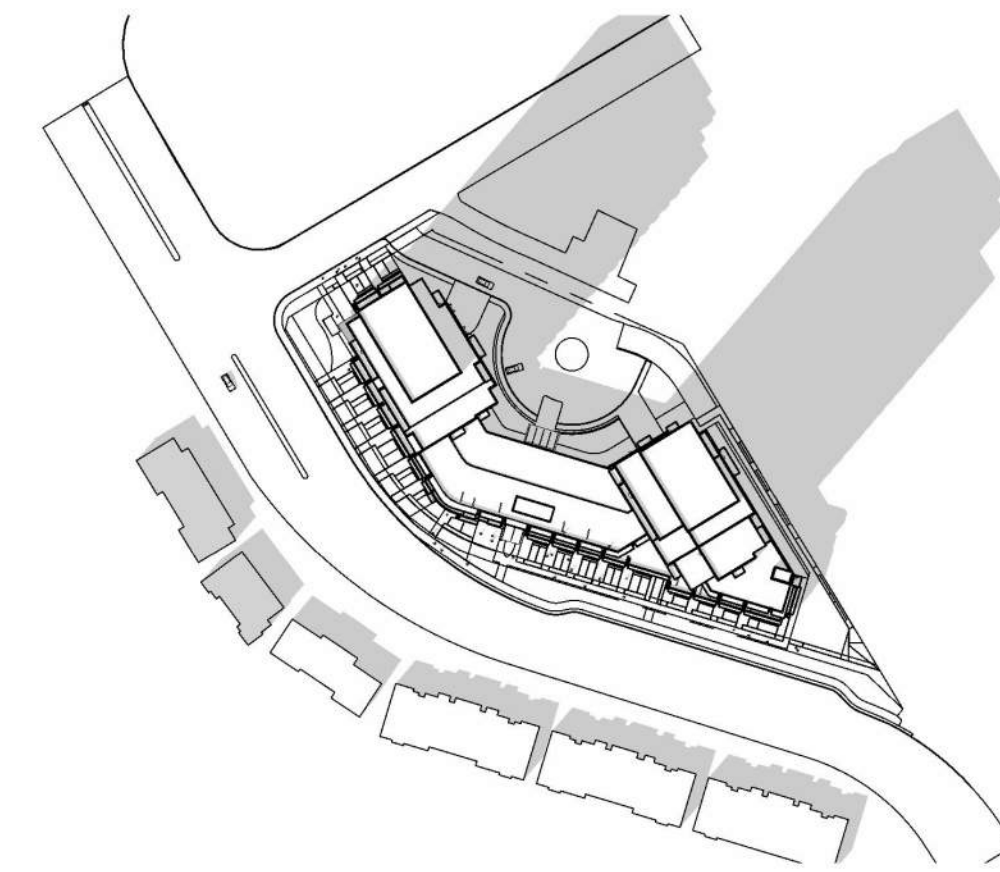
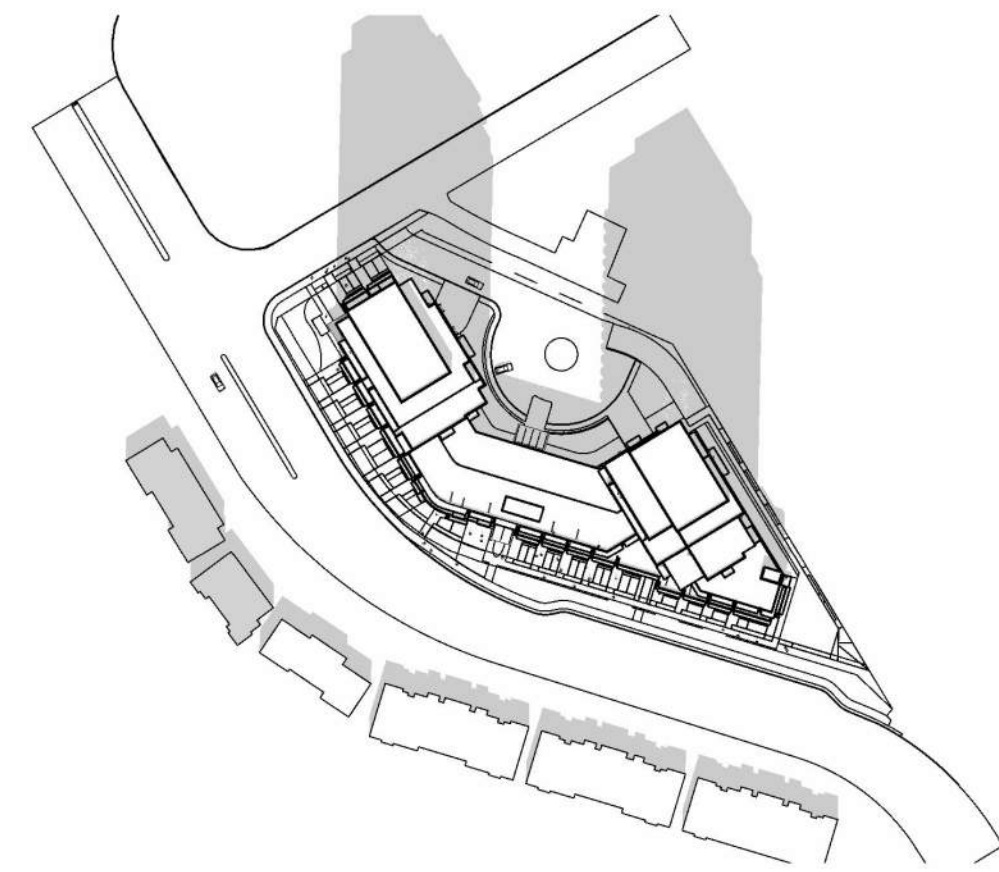
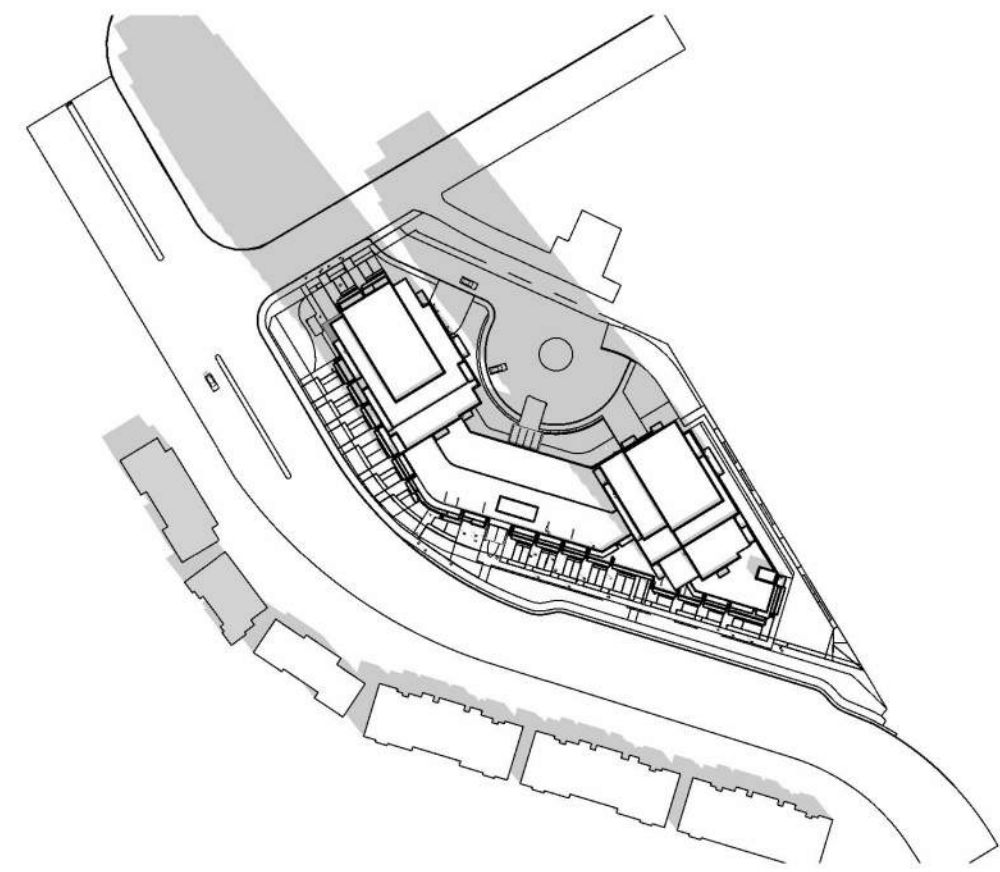
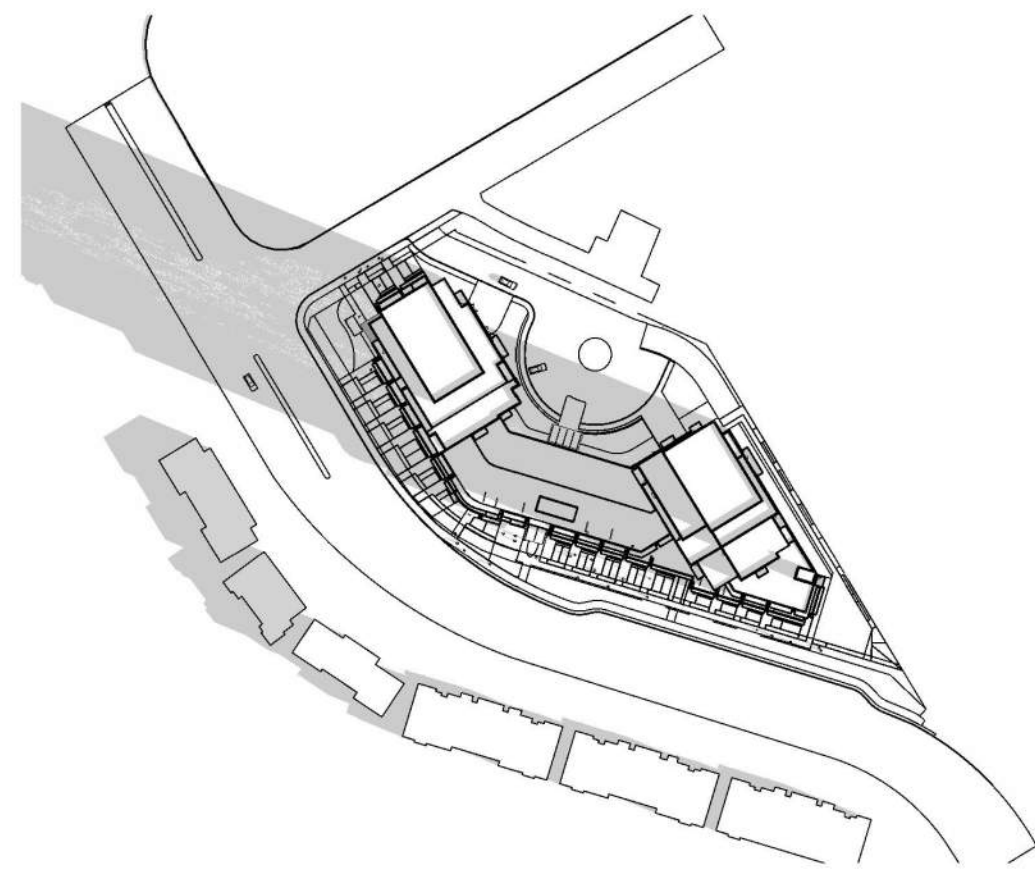
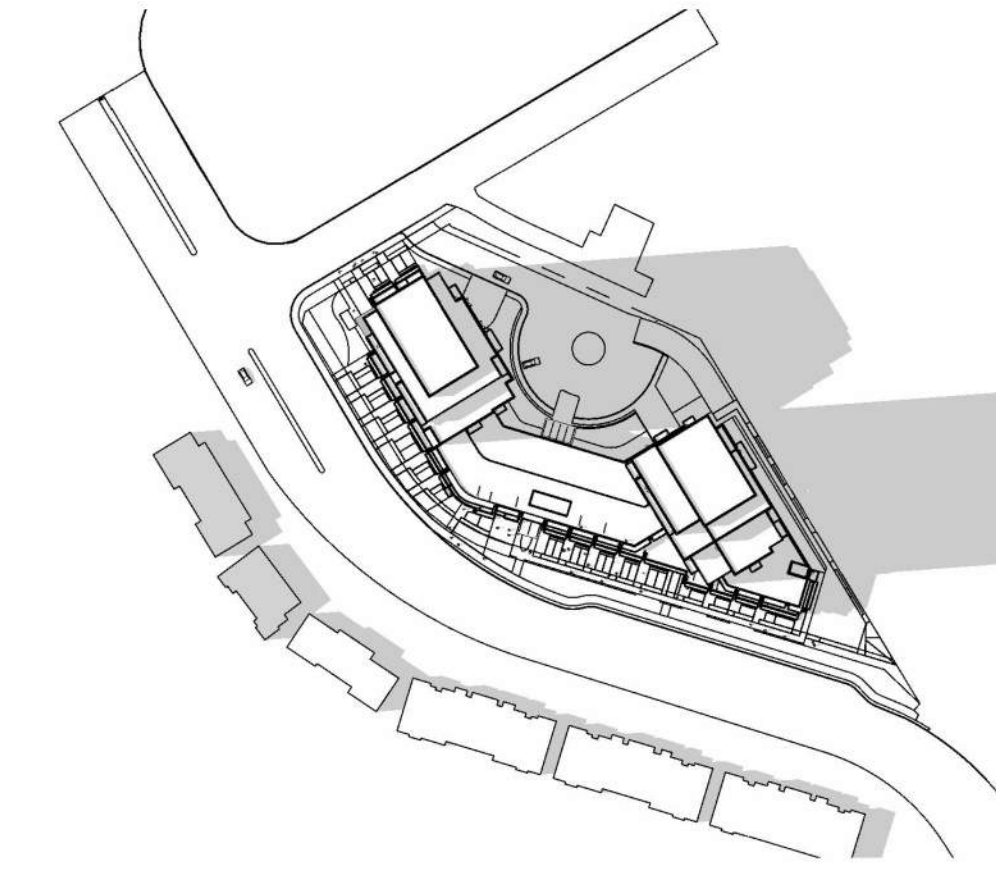
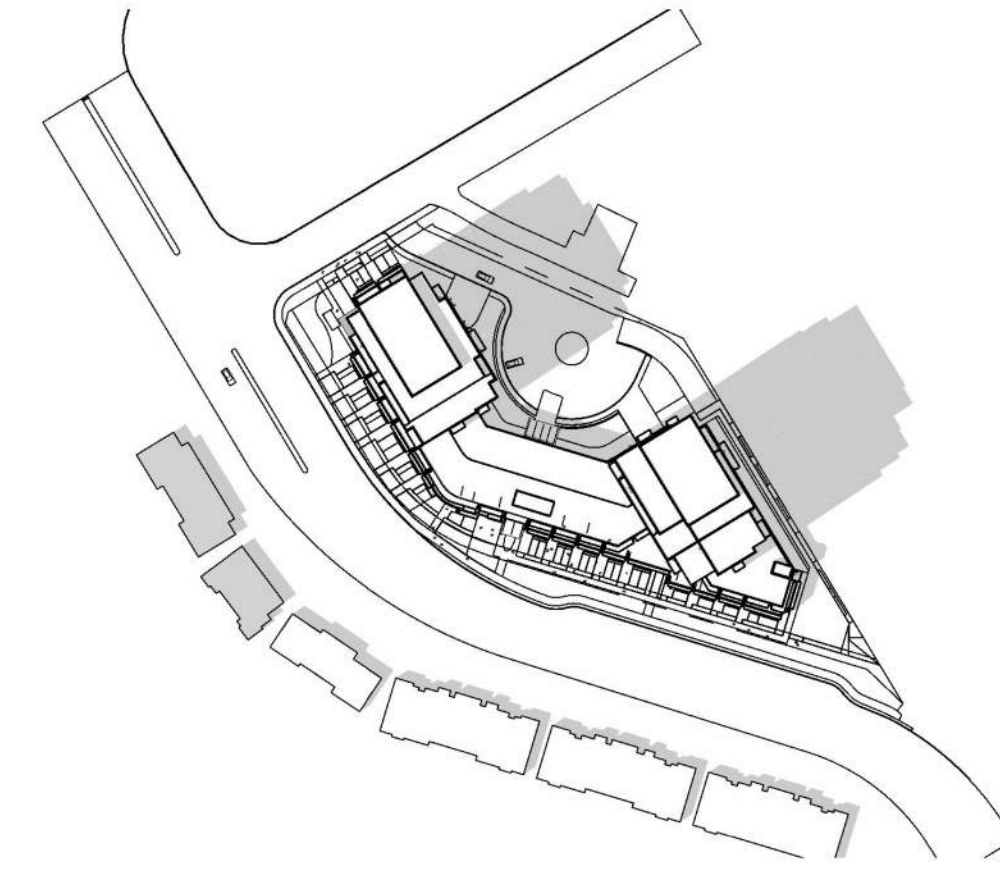
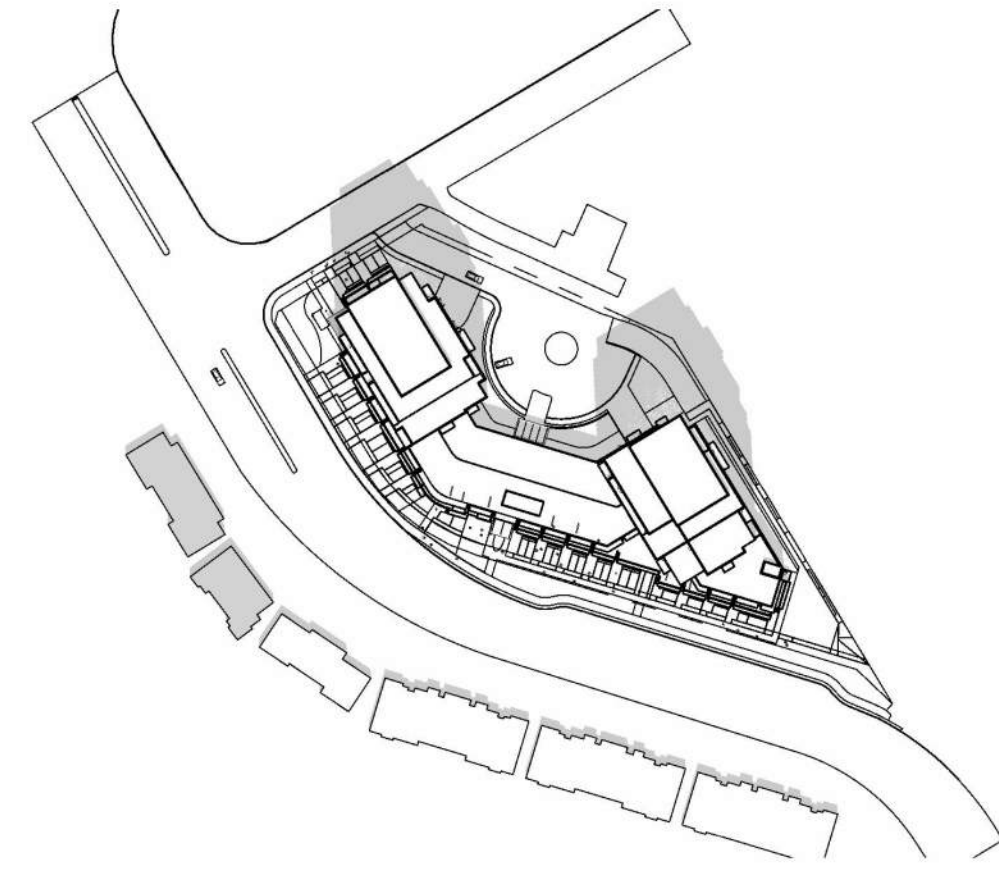
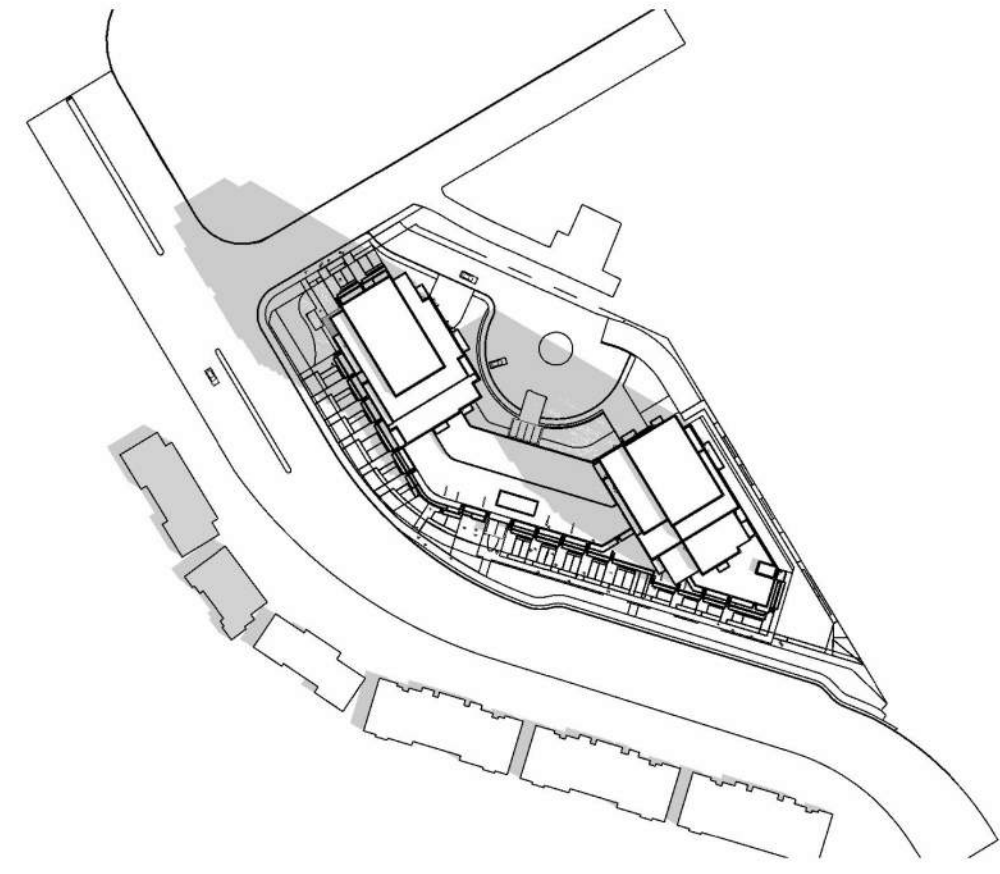
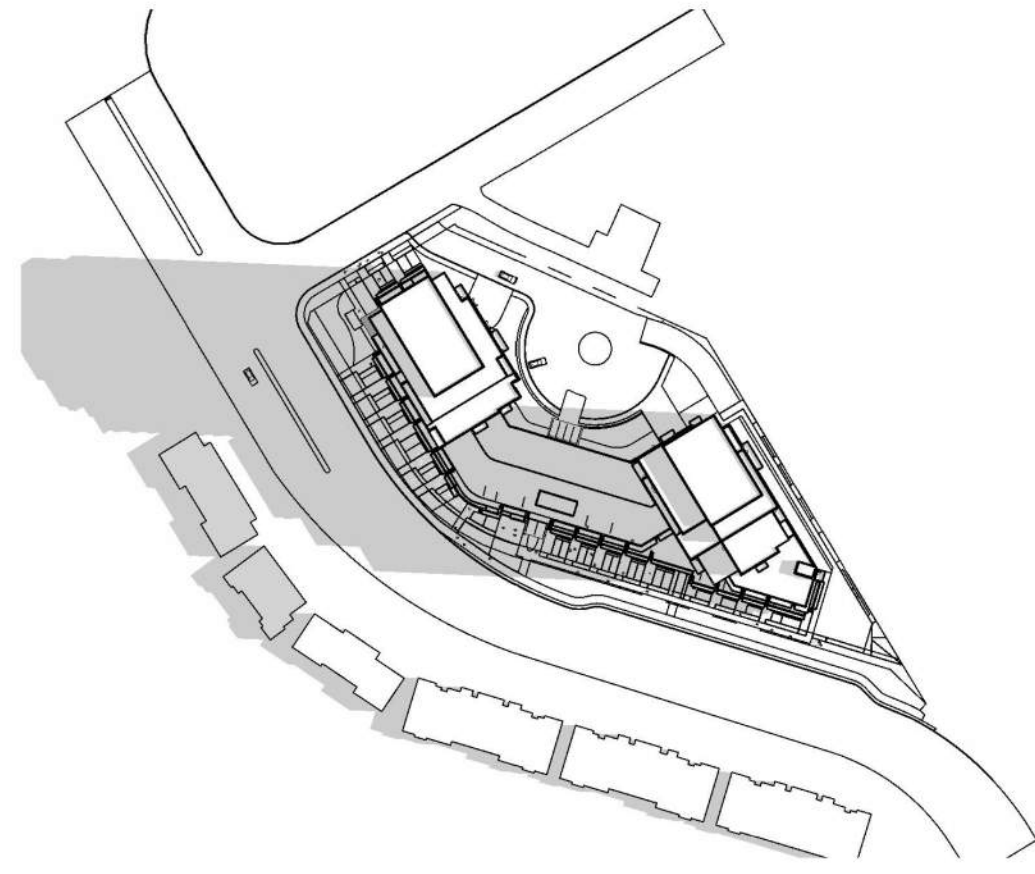
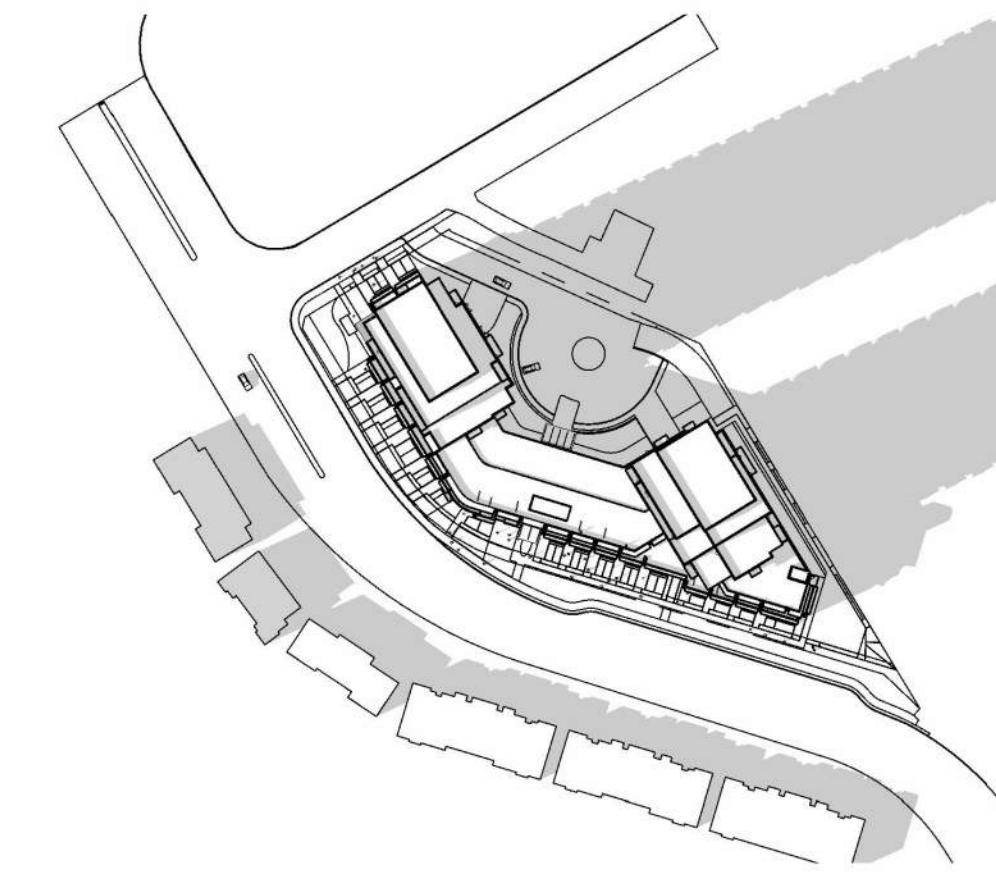
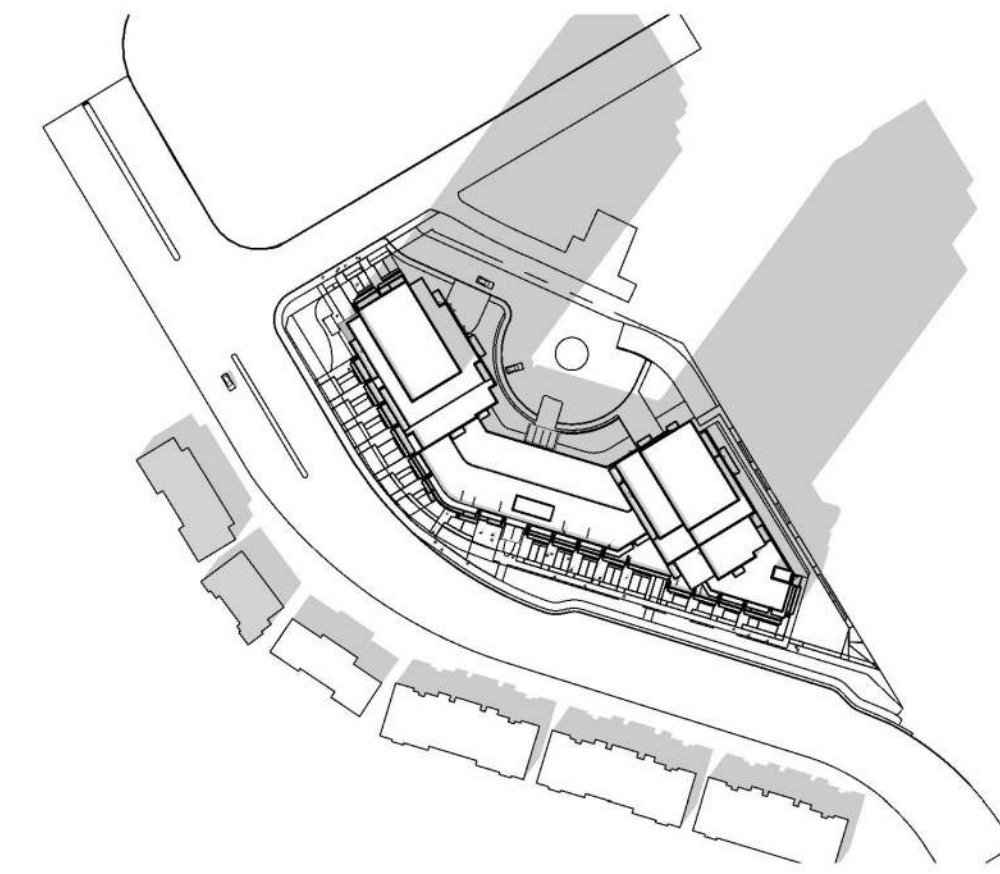
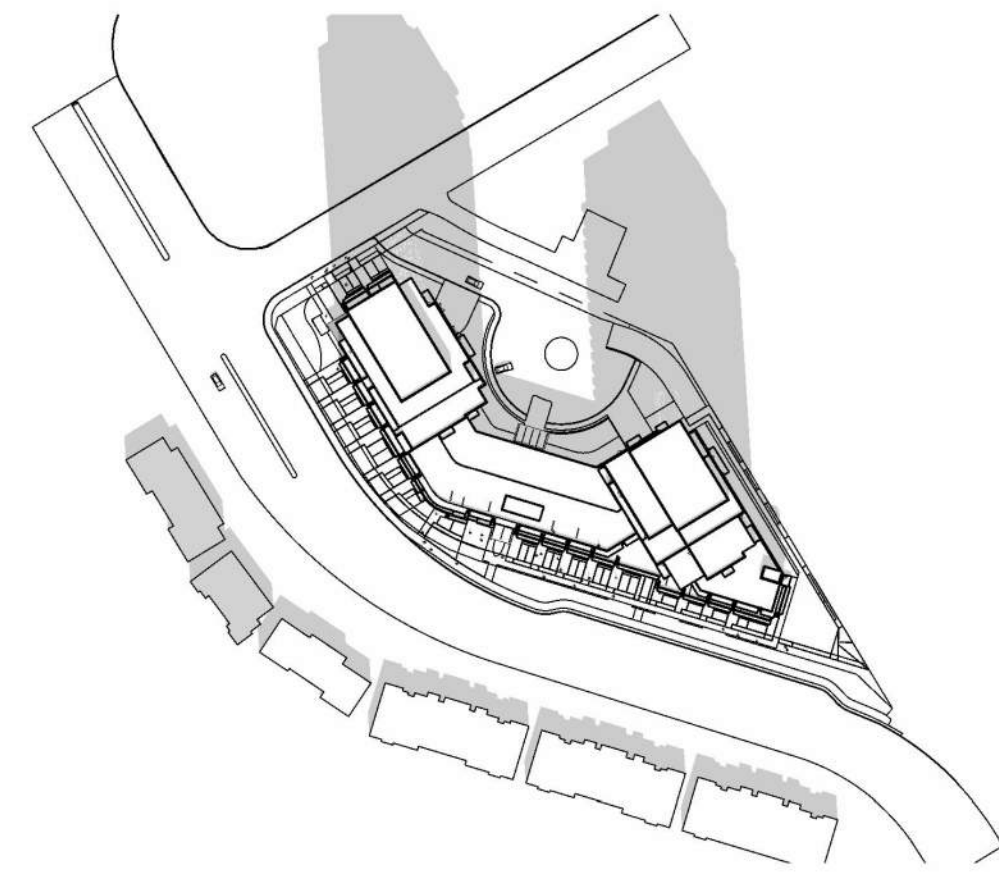
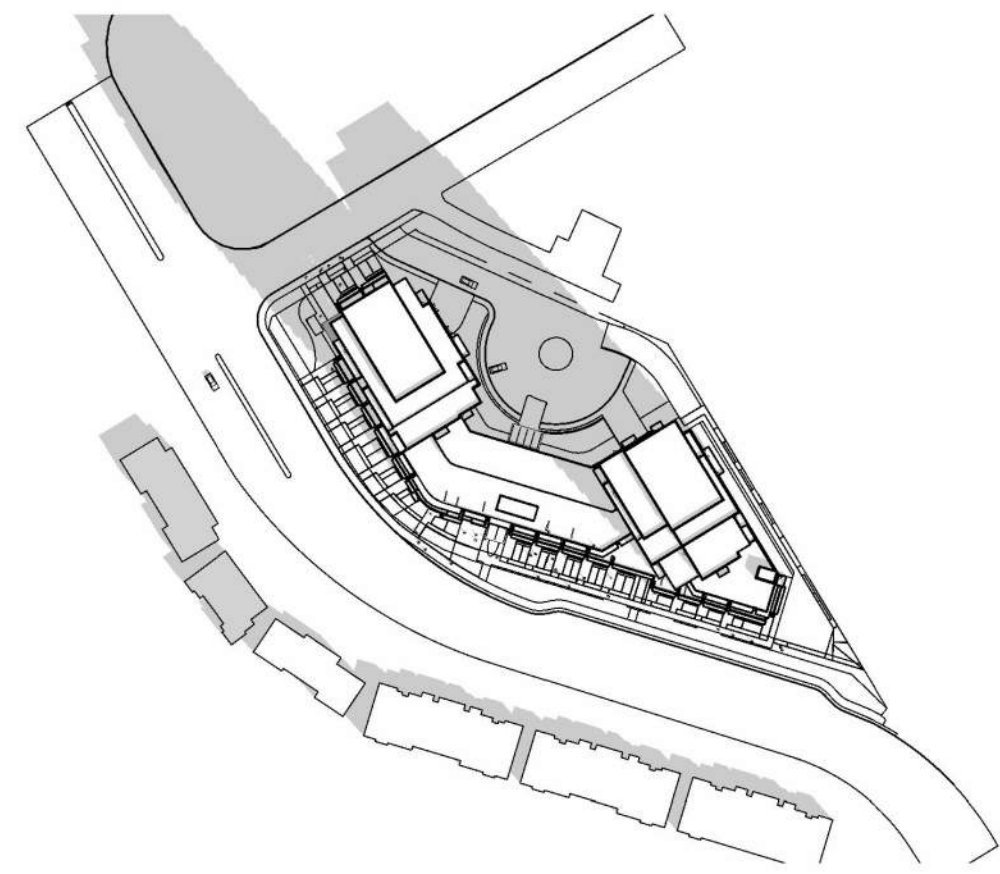
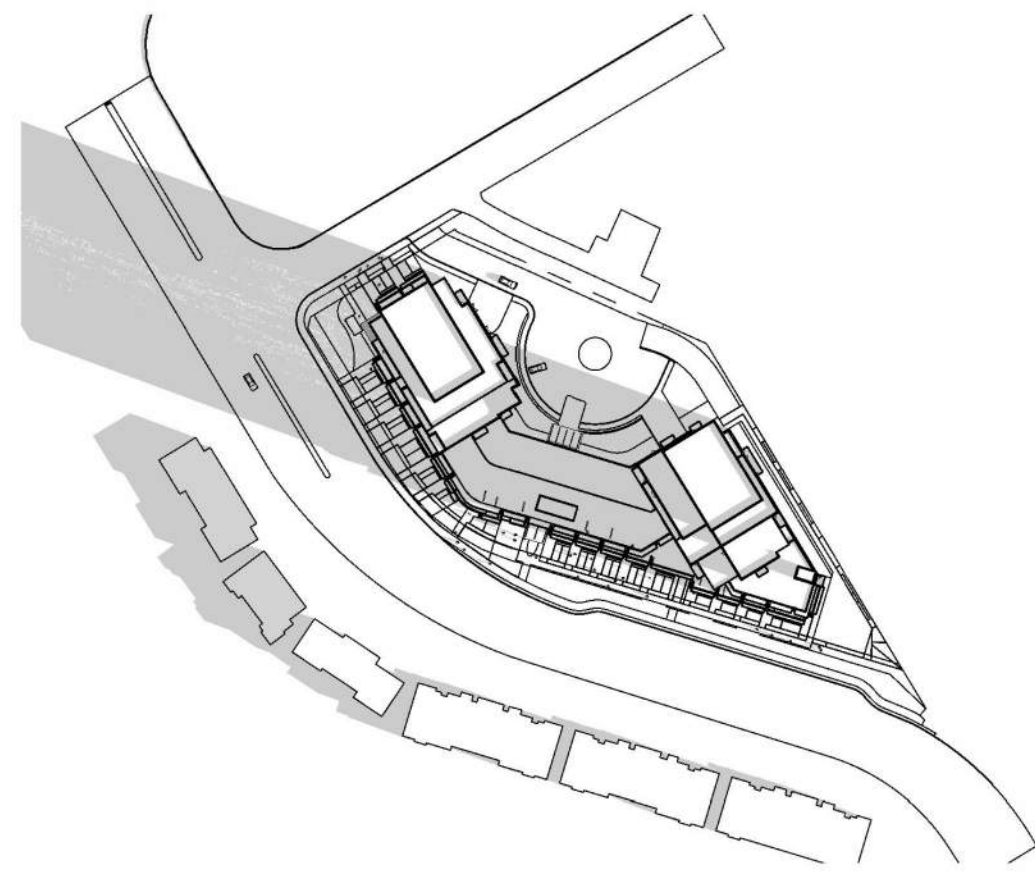
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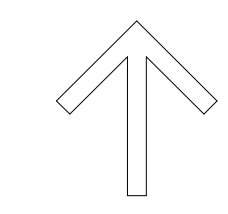
2:00 PM

4:00 PM



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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	25.SEP.21
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	30.APR.21

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: 

ARCHITECT: 
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t.613.724.9932 f.613.724.1209 www.rodericklathey.ca

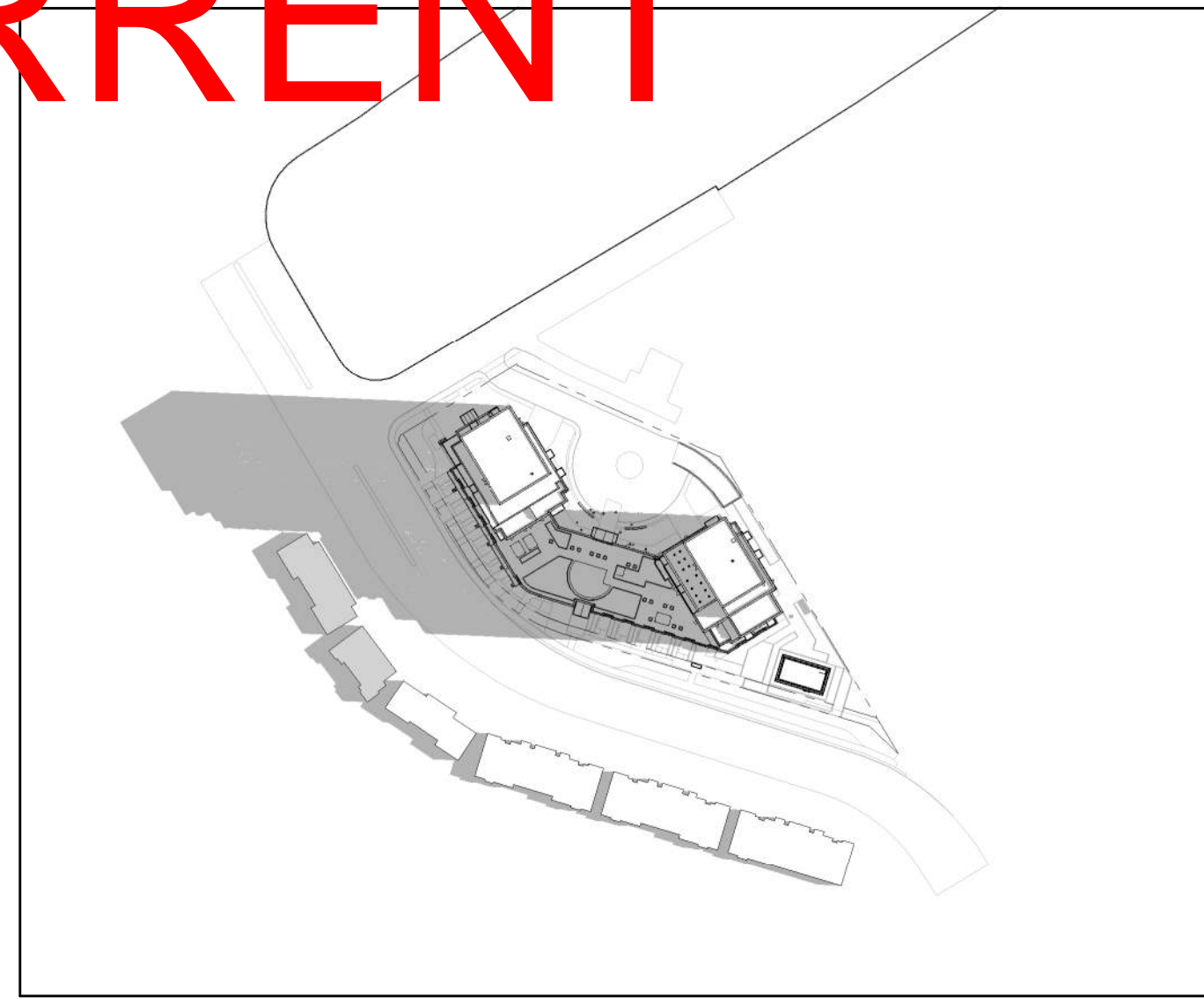
PROJECT TITLE:
19 CENTREPOINTE DR
OTTAWA, ON

SHEET TITLE:
SUNSHADE ANALYSIS

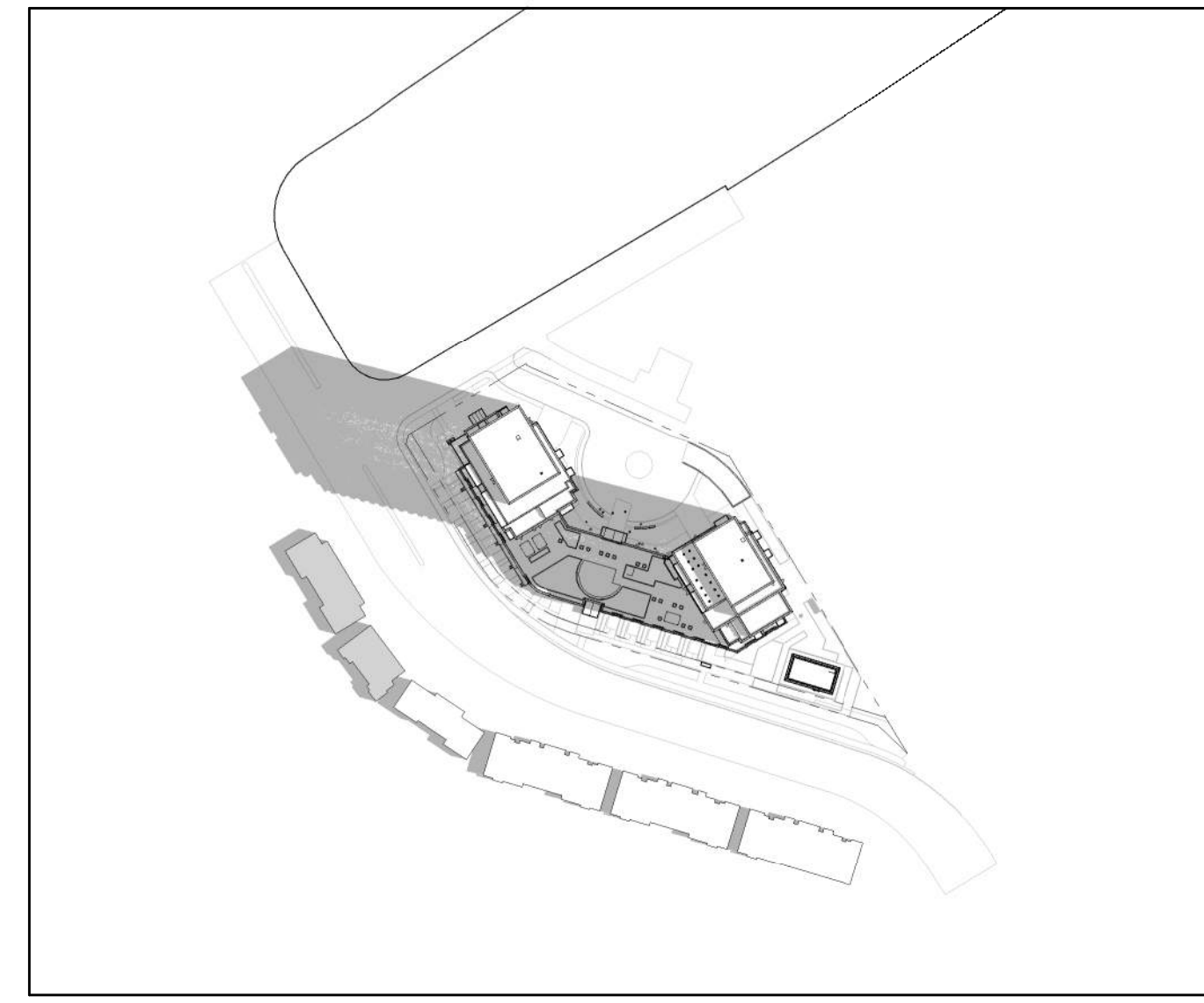
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SCALE:	SHEET No: 13
PROJECT No: 1910	

CURRENT

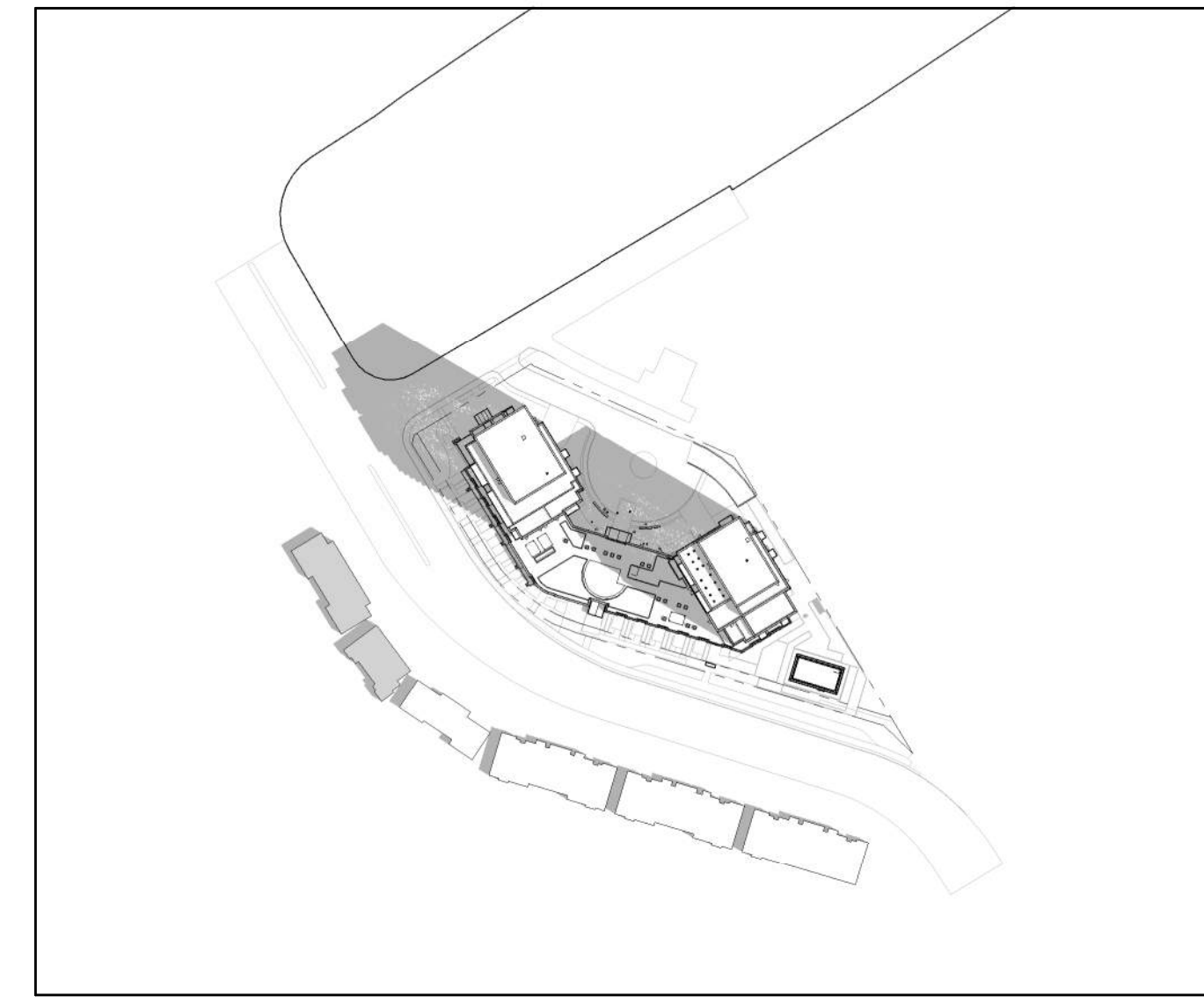
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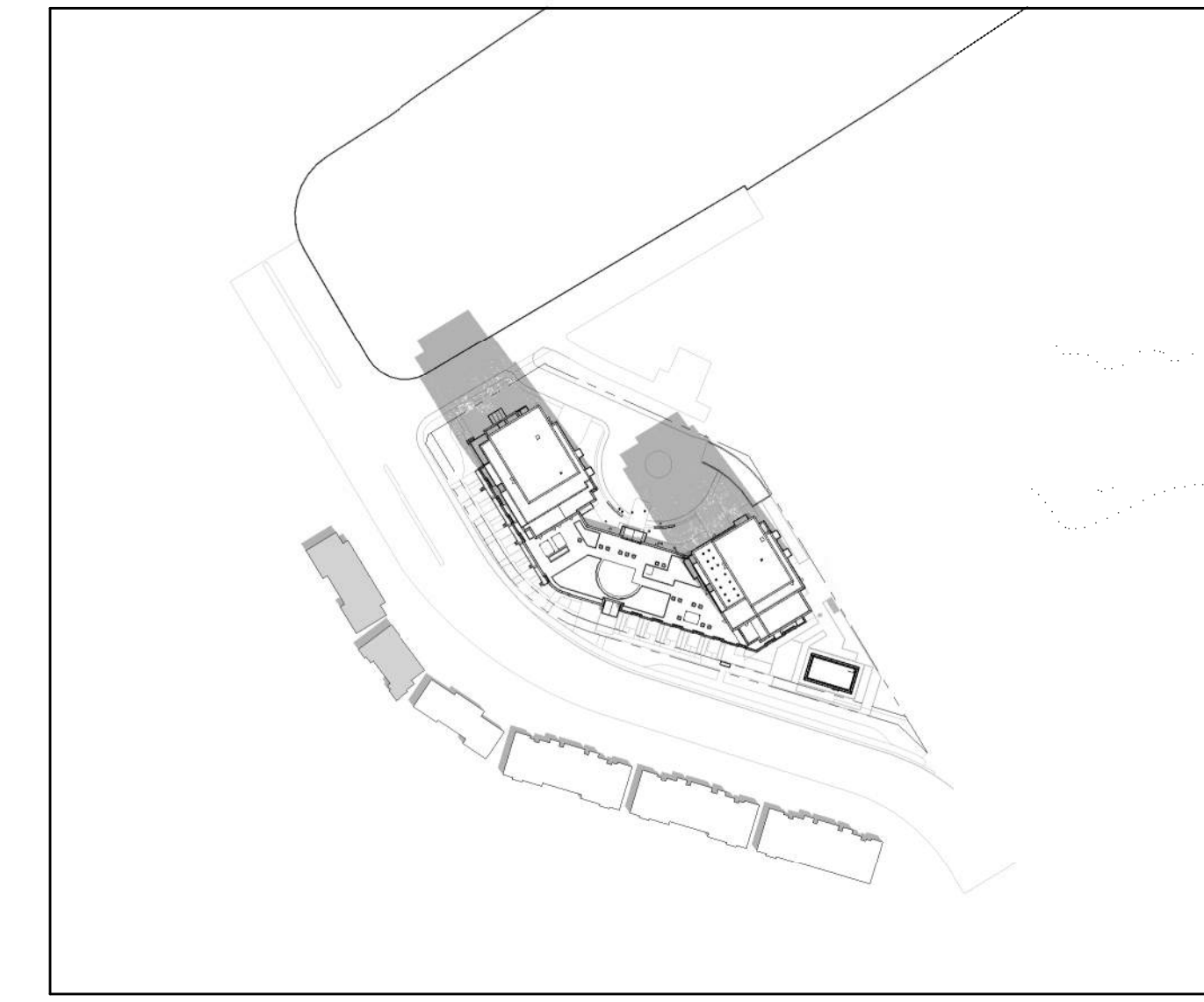
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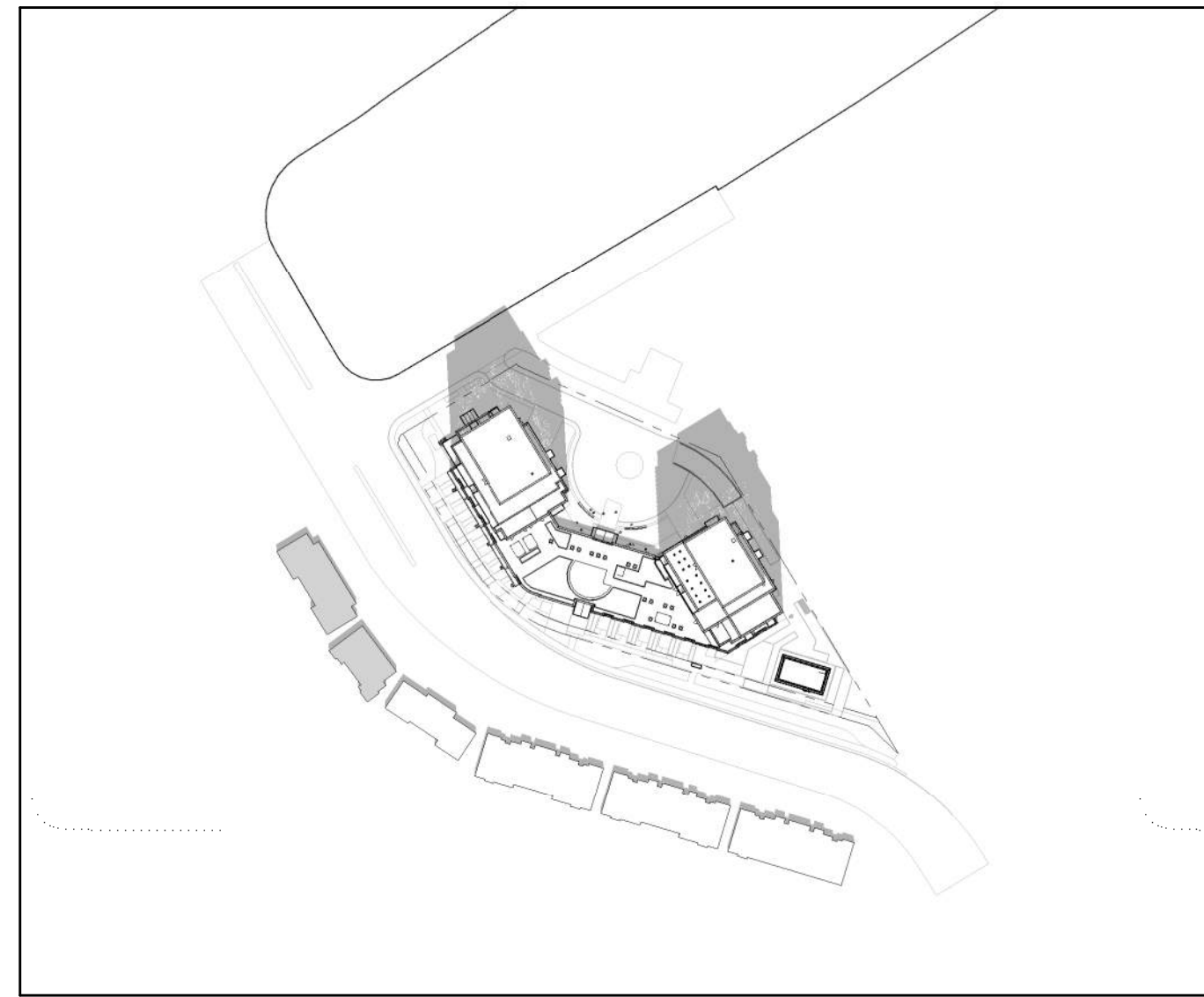
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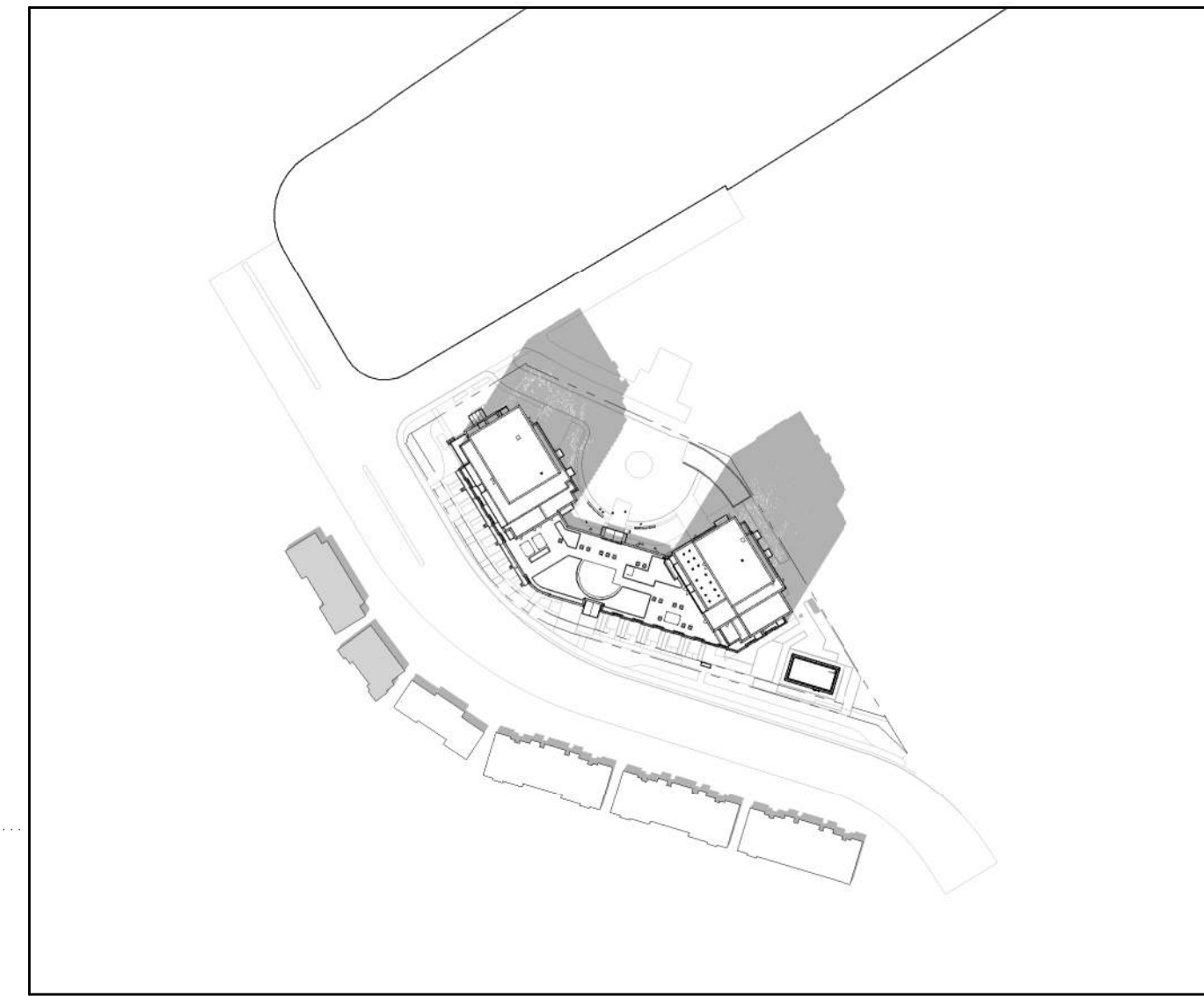
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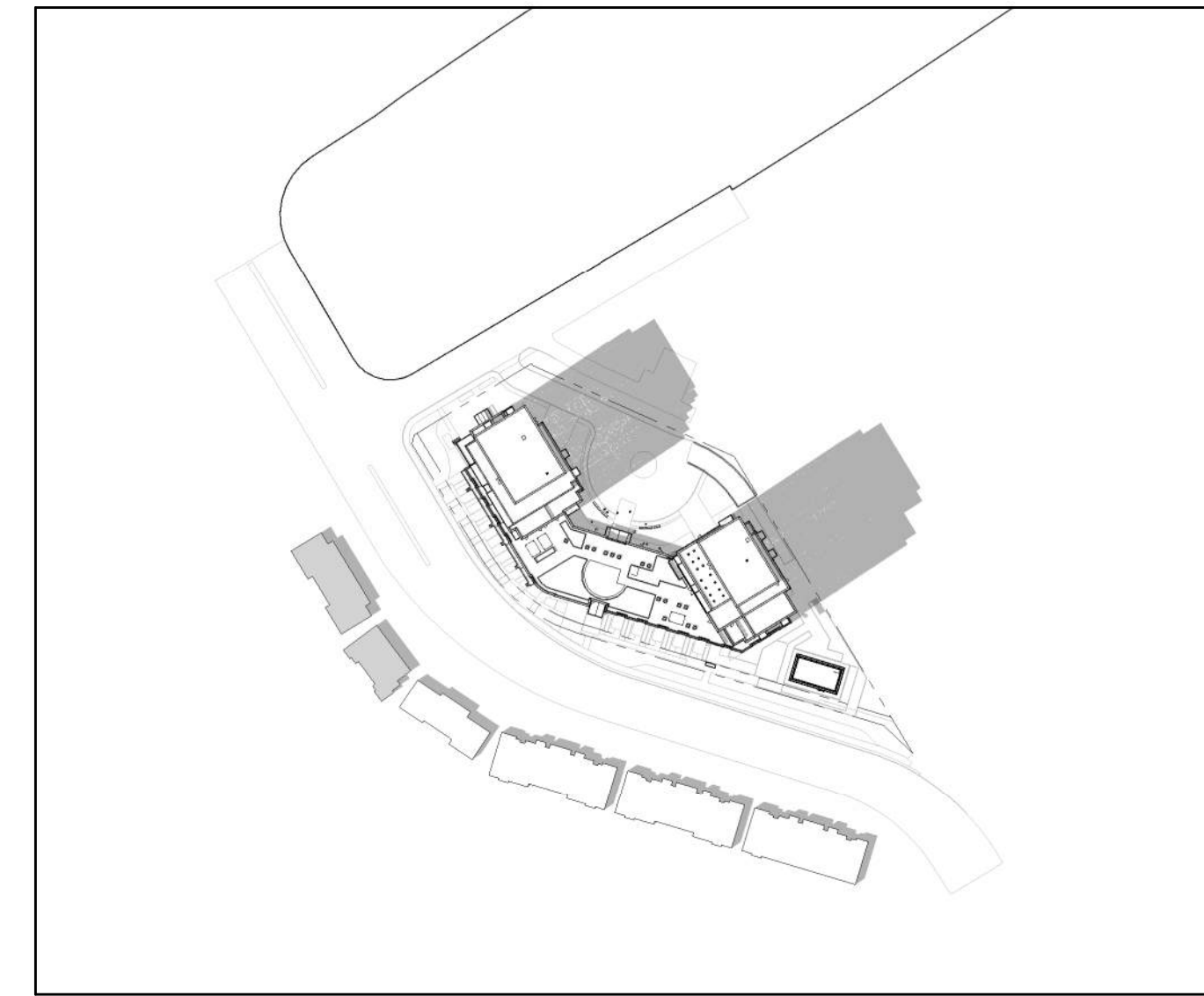
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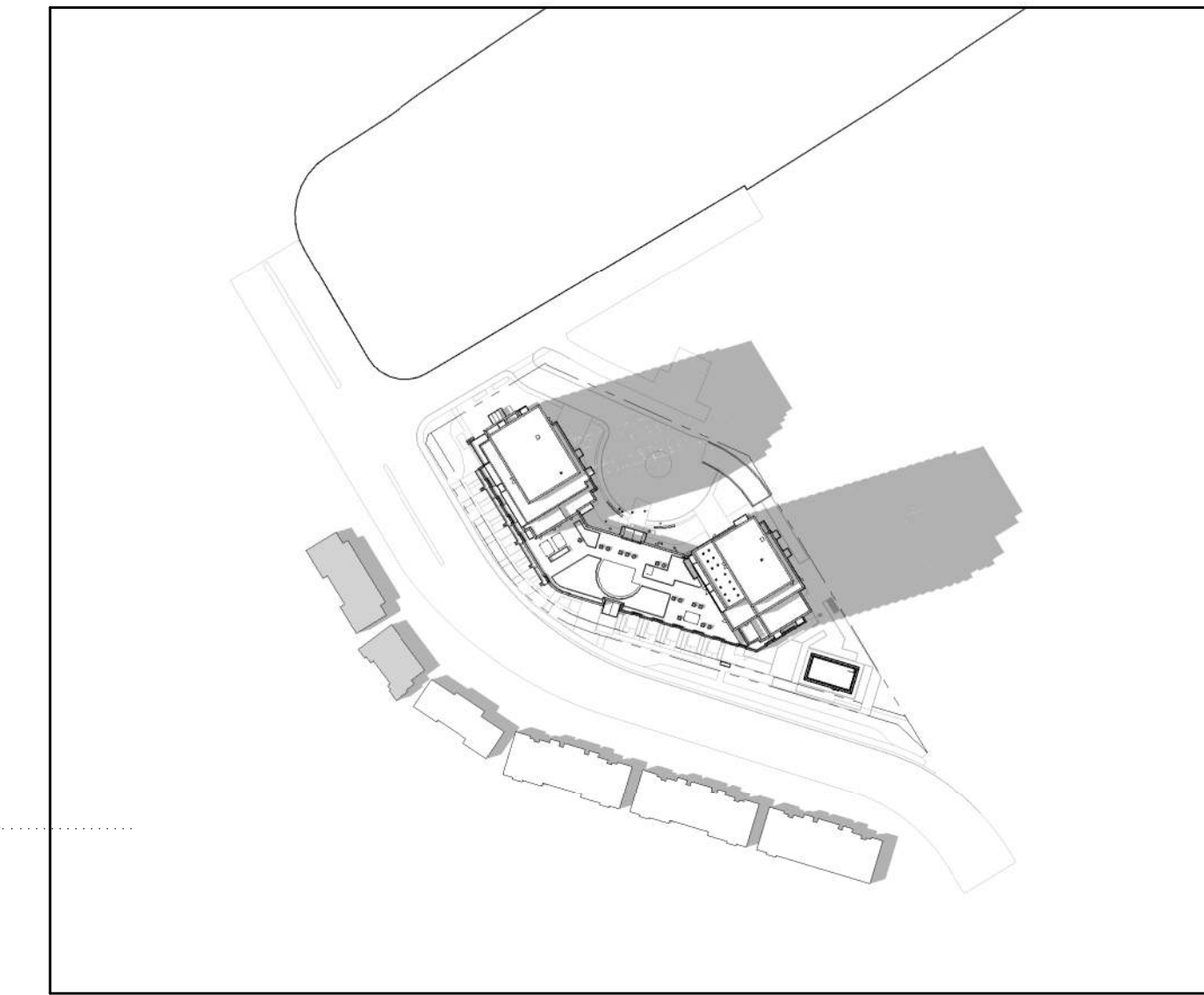
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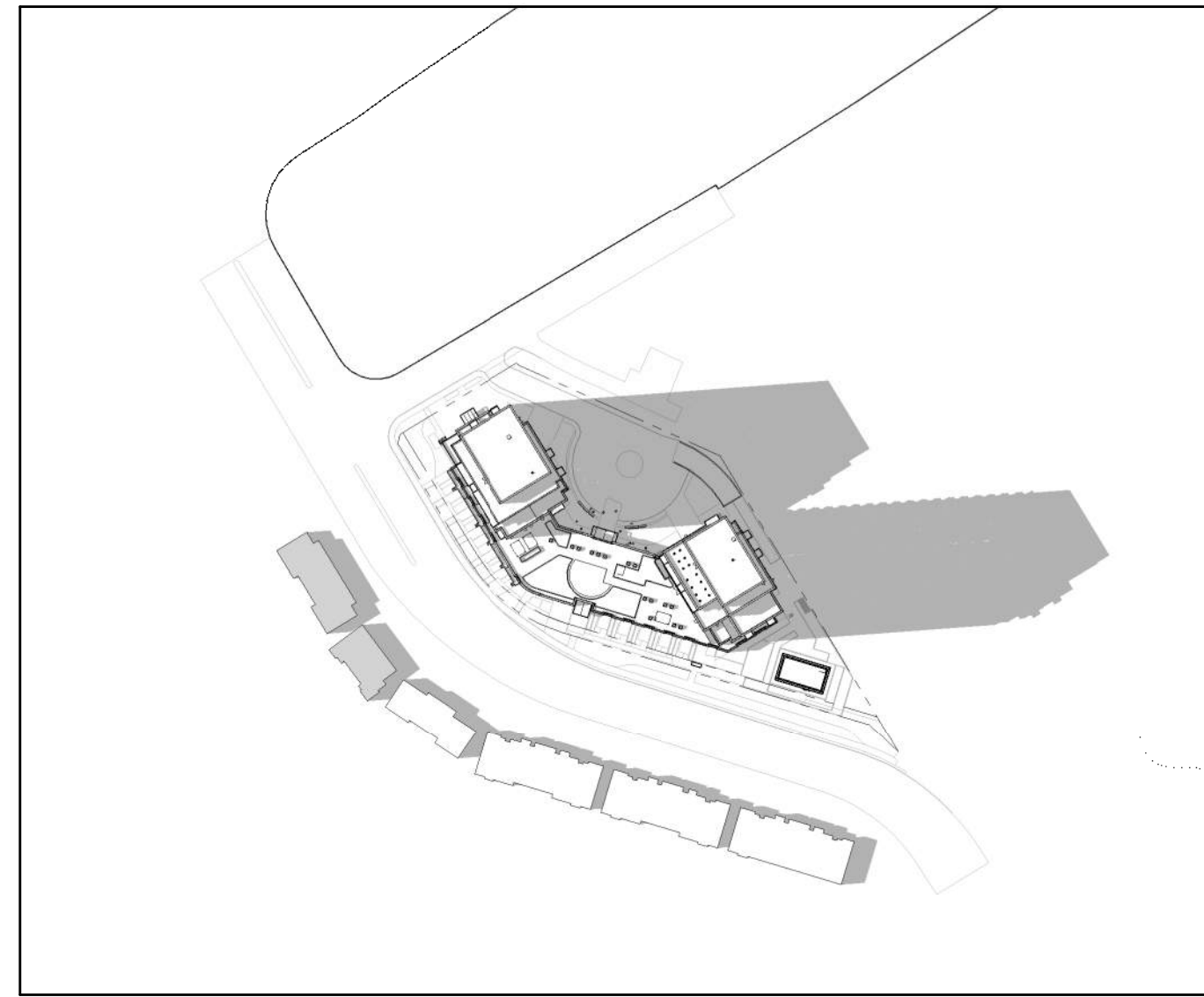
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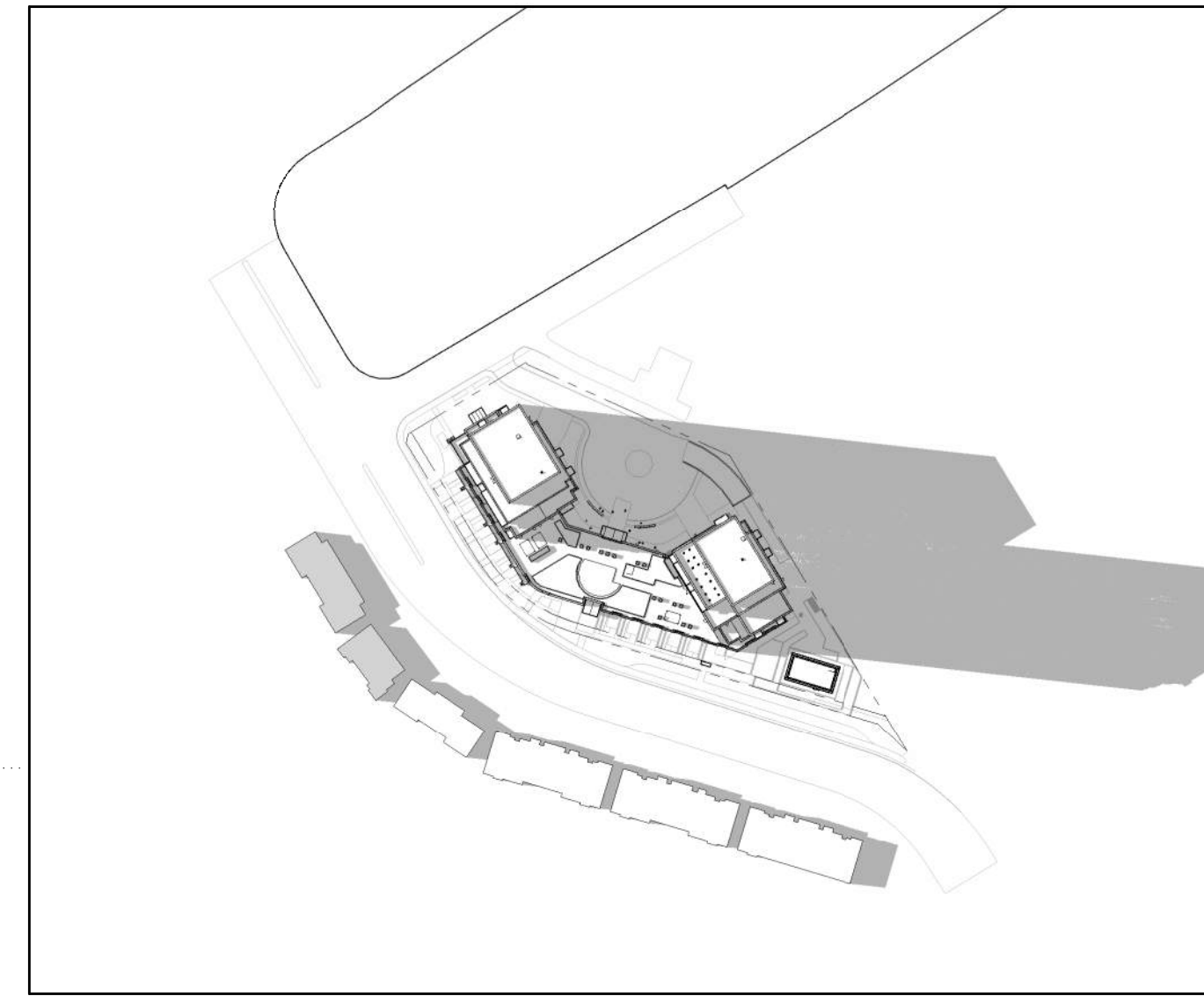
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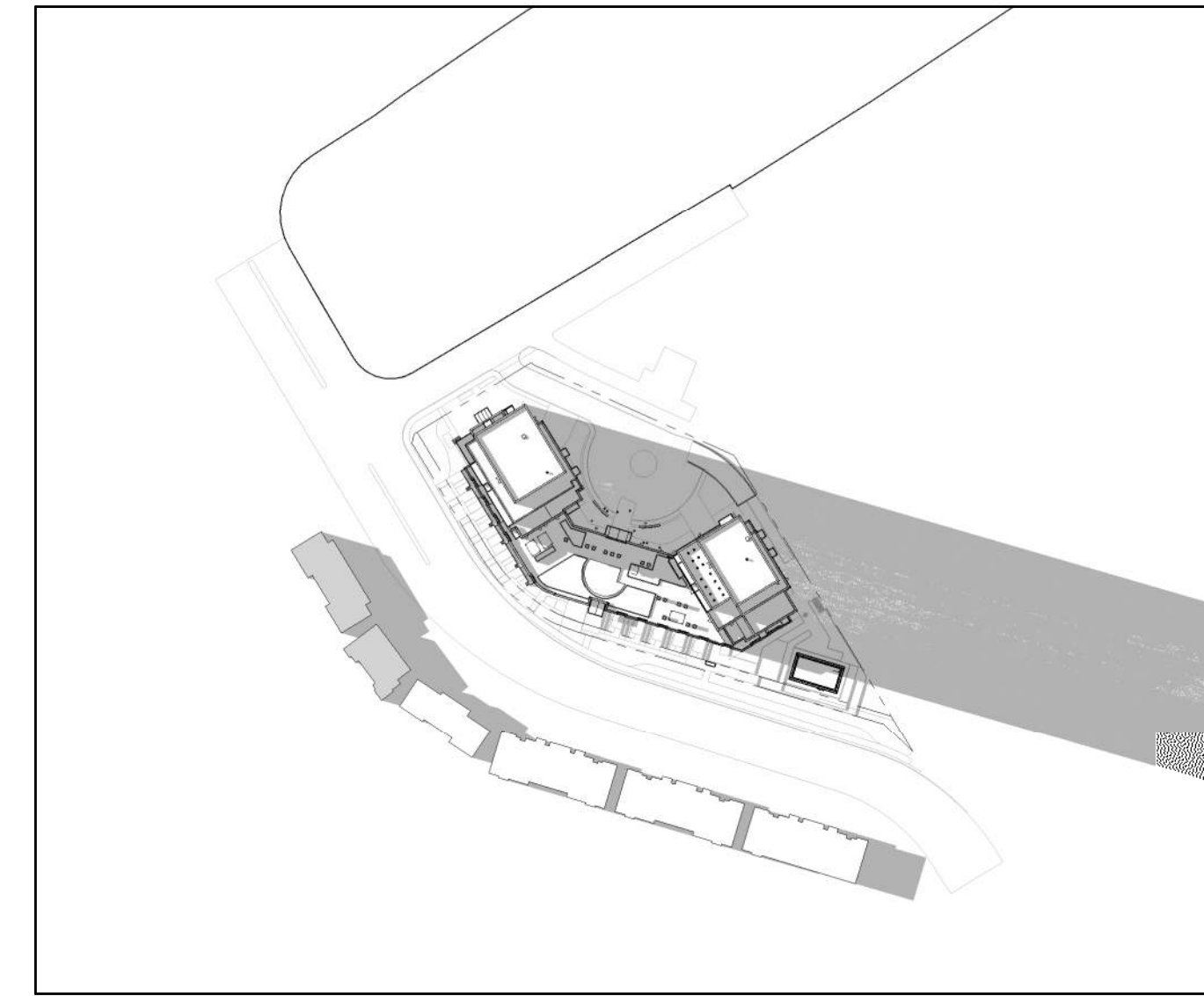
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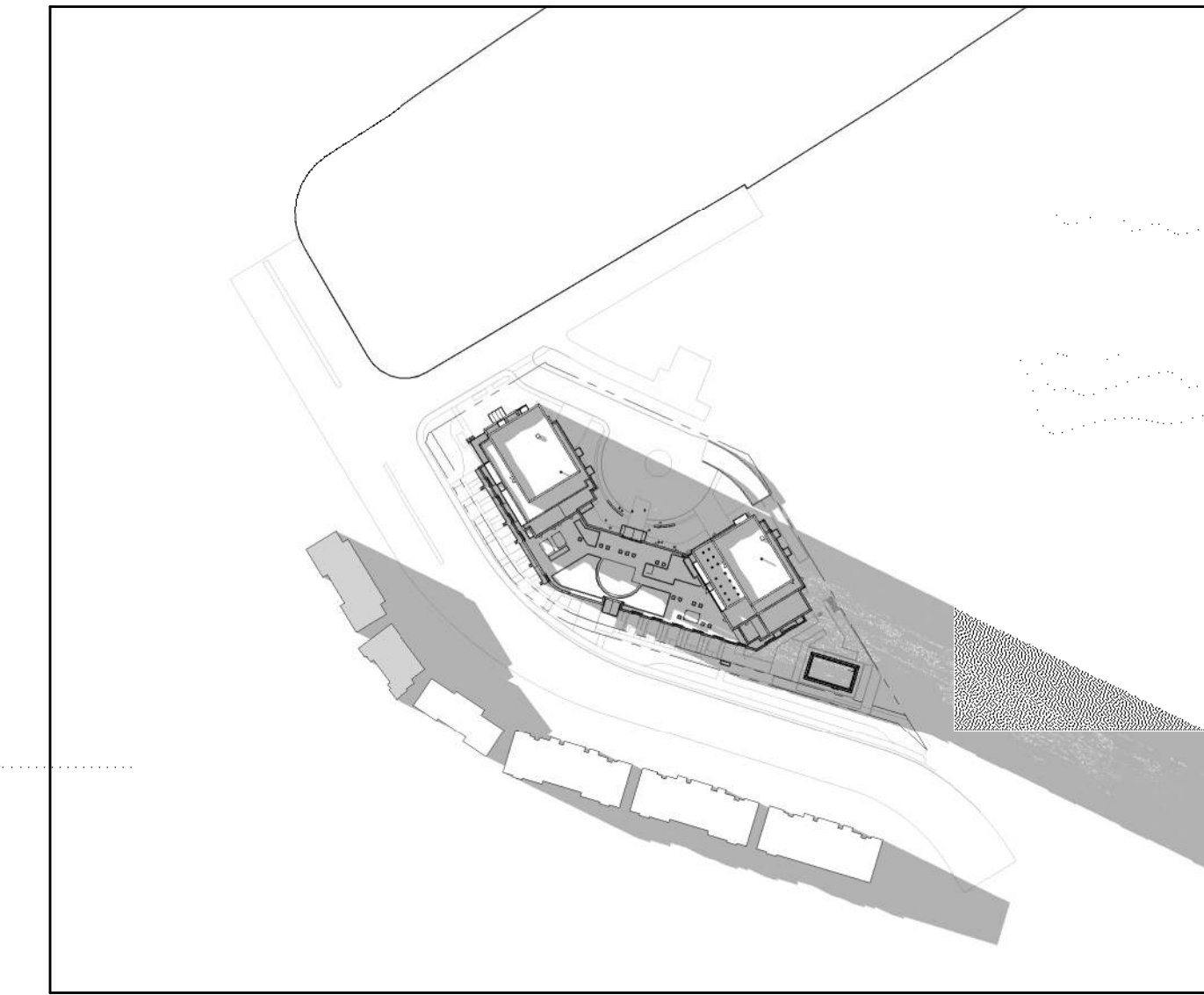
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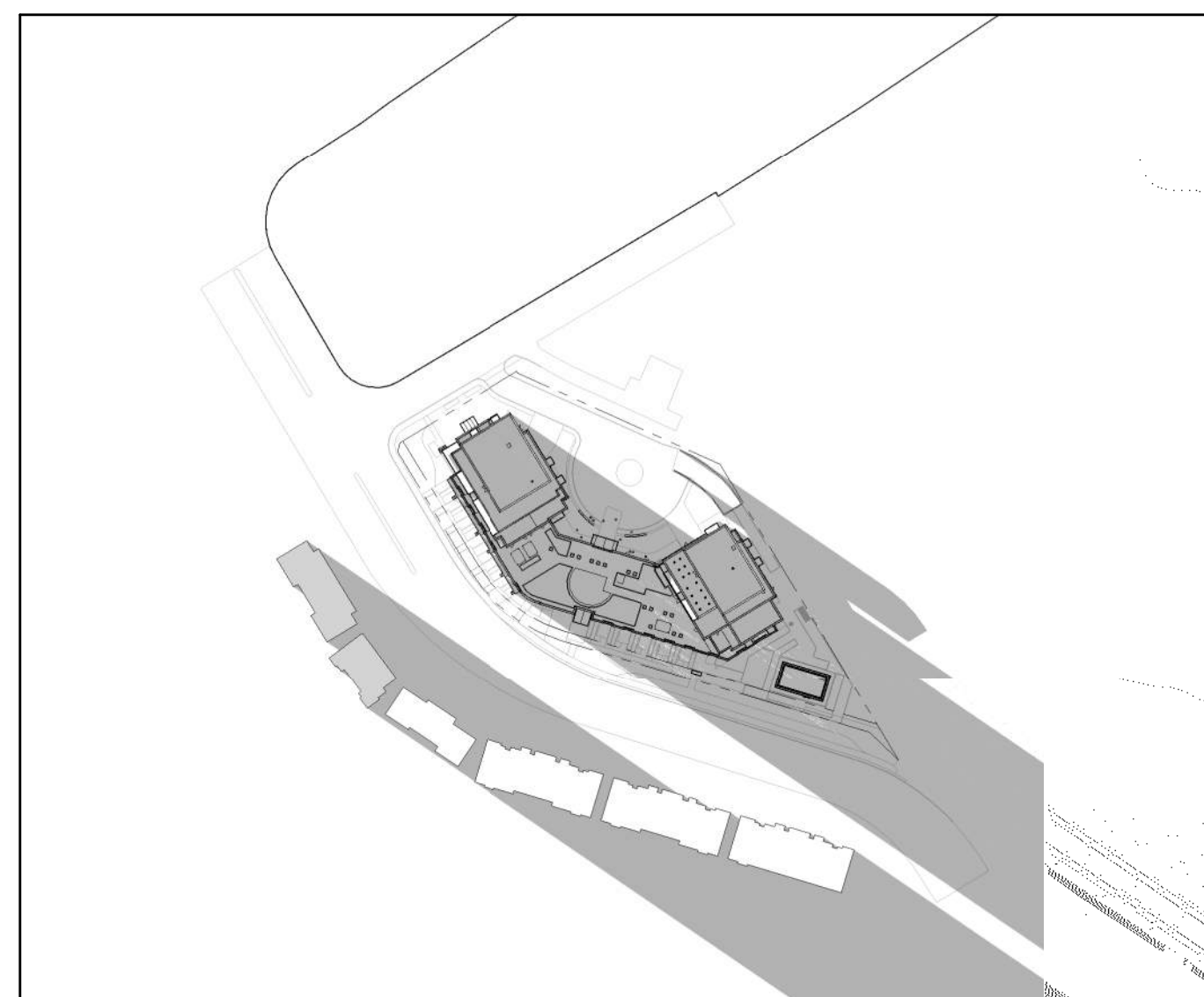
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6:00 PM



7:00 PM

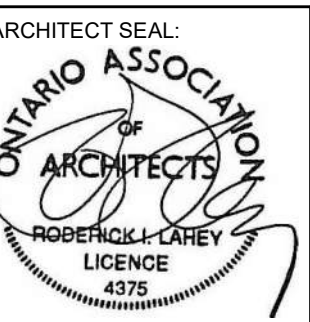


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SUN SHADE STUDY UPDATED TO CURRENT CITY REQUIREMENTS

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No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023



CLIENT:
RICHCRAFT
Group Of Companies

ARCHITECT:
rla/architecture
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahay.ca

PROJECT TITLE:
19 CENTREPOINTE DR

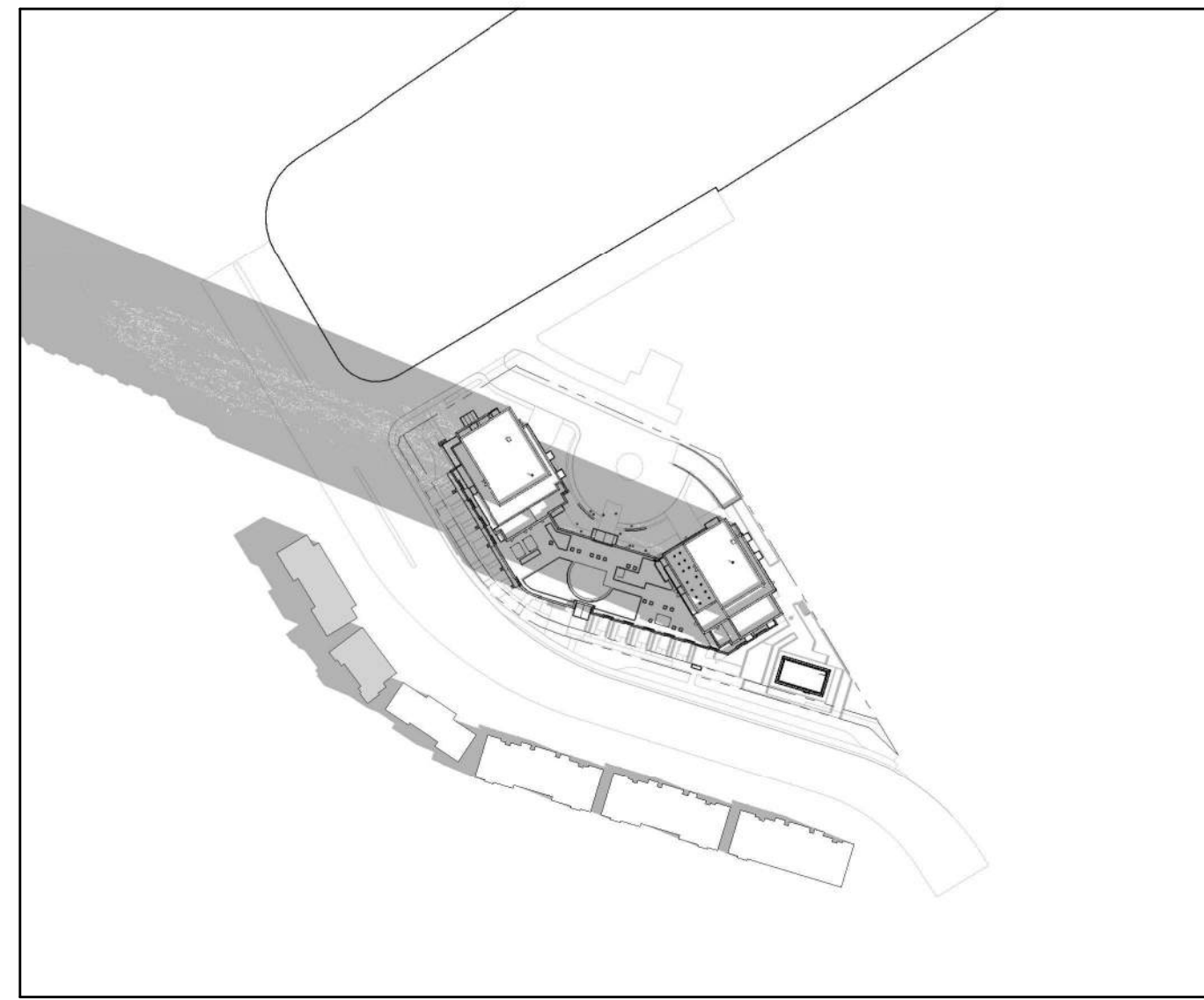
OTTAWA, ON

SHEET TITLE:
SUNSHADE ANALYSIS

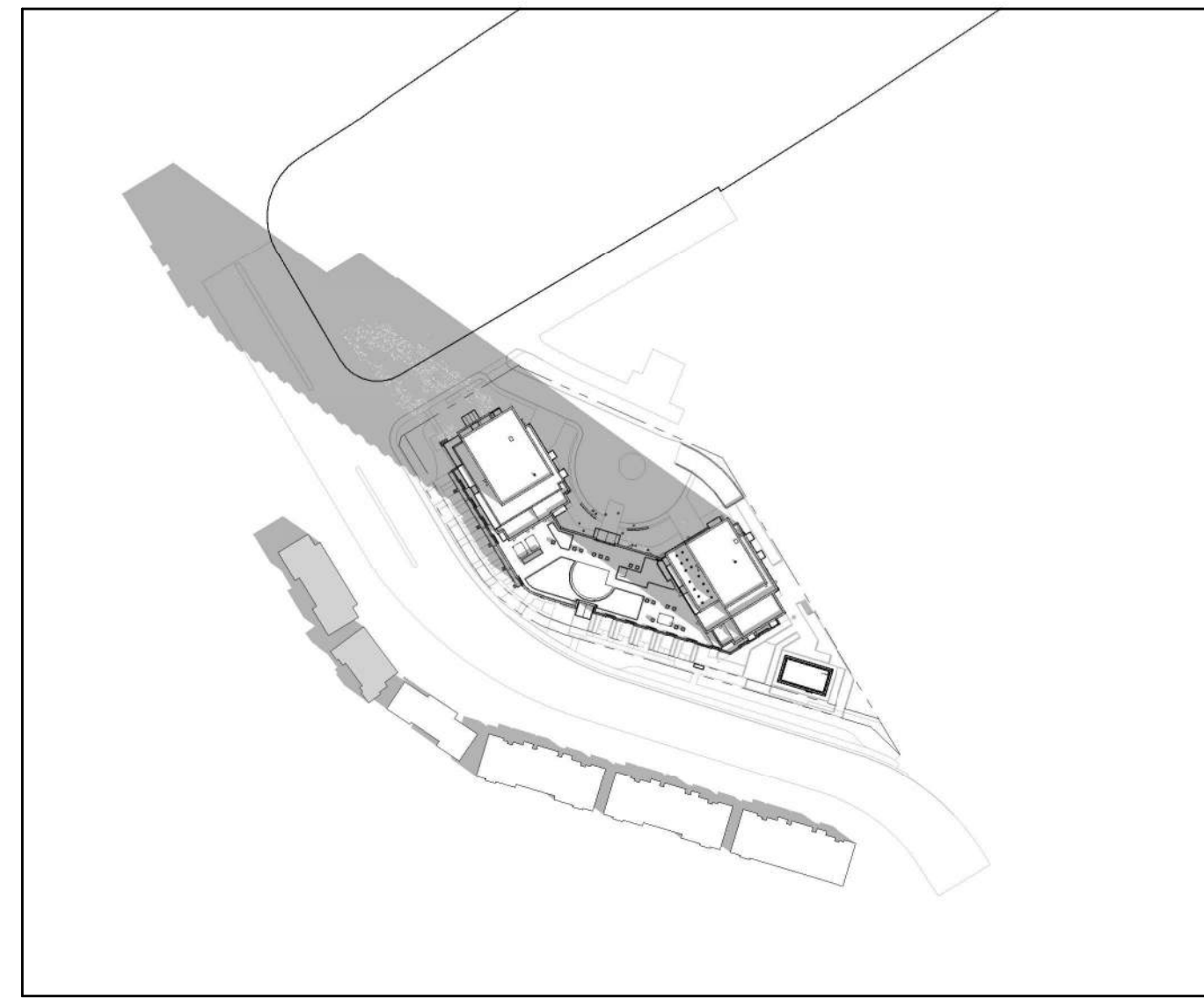
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SCALE: 1 : 2000	SHEET No: 13
PROJECT No: 1910	

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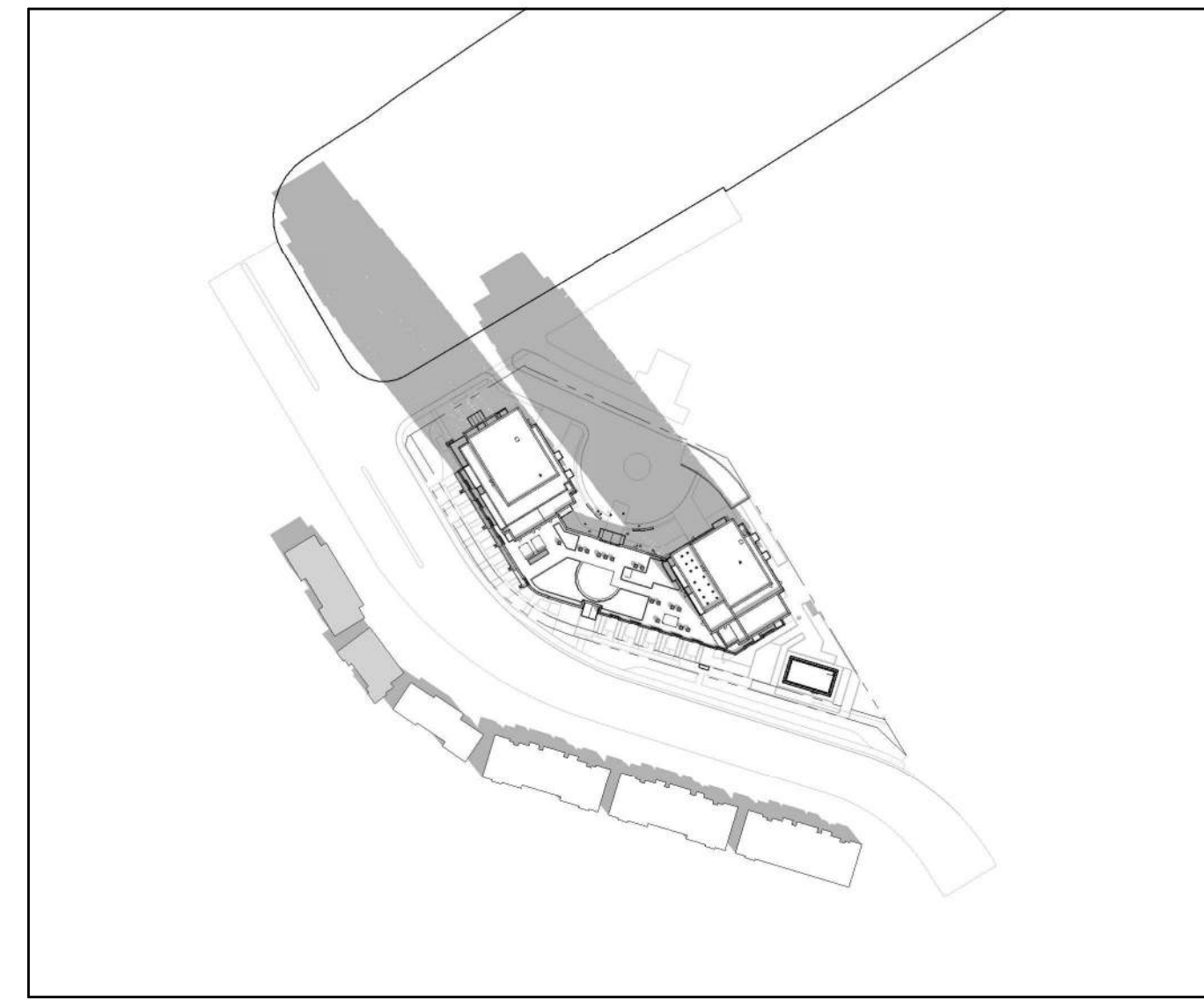
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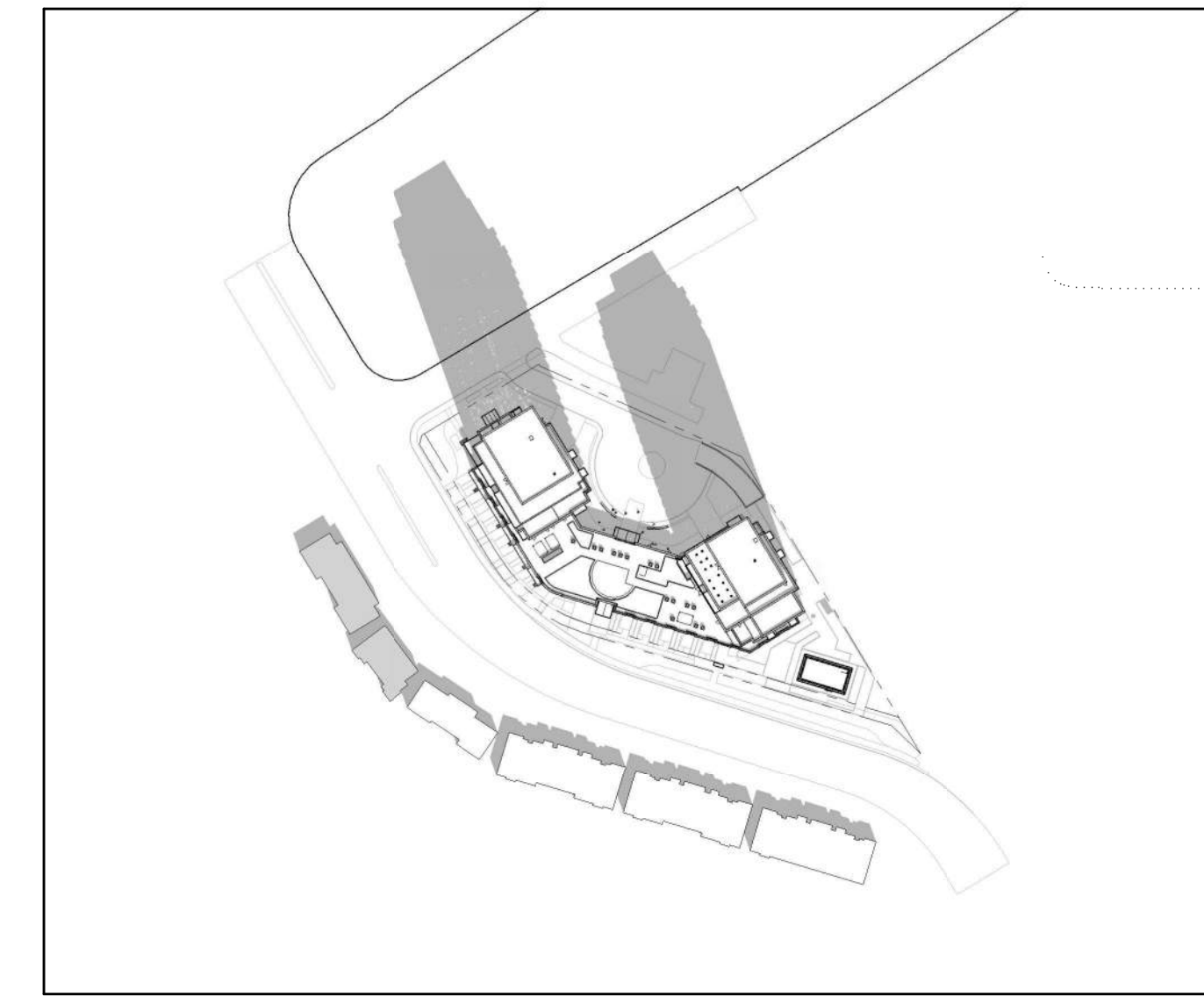
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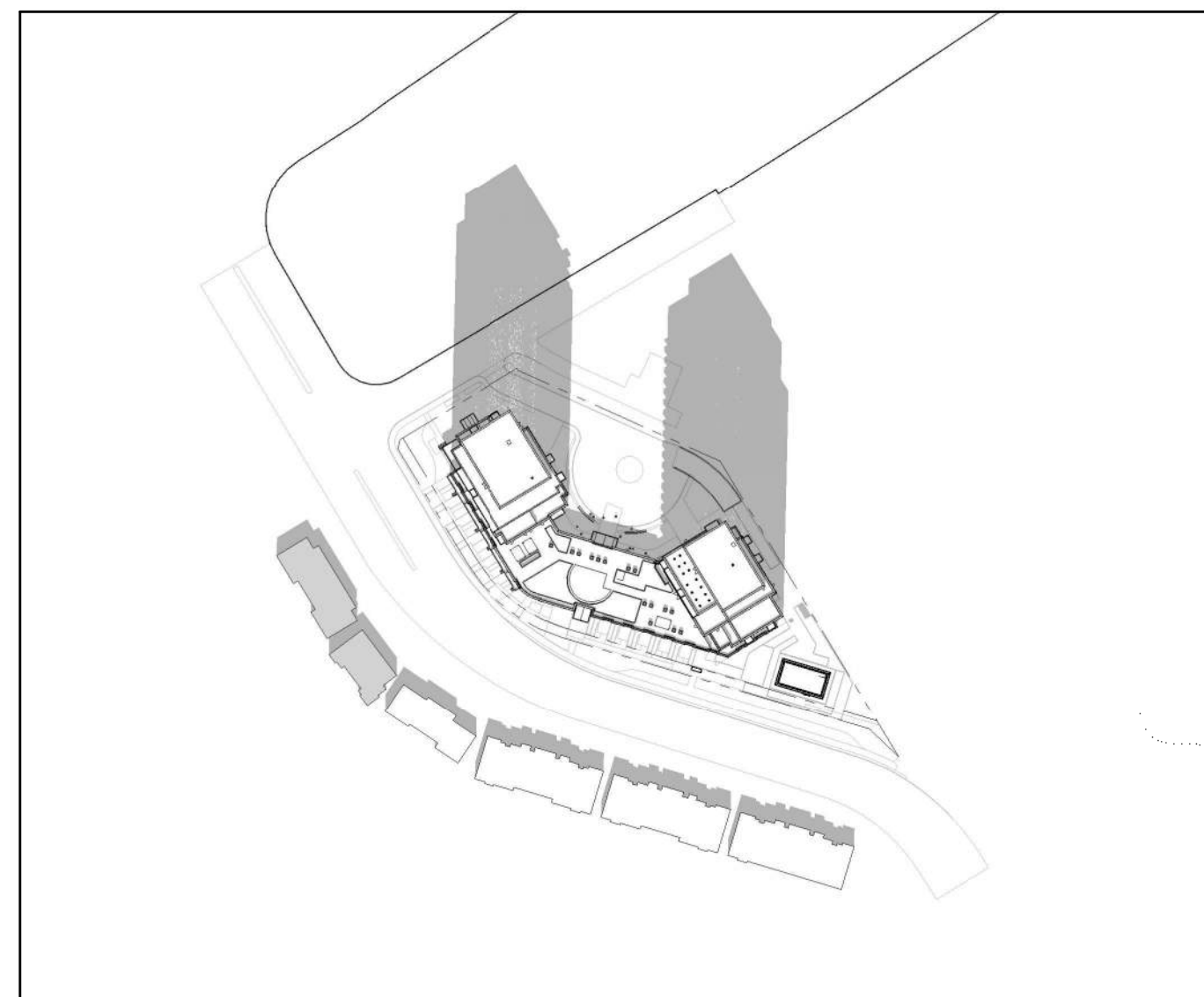
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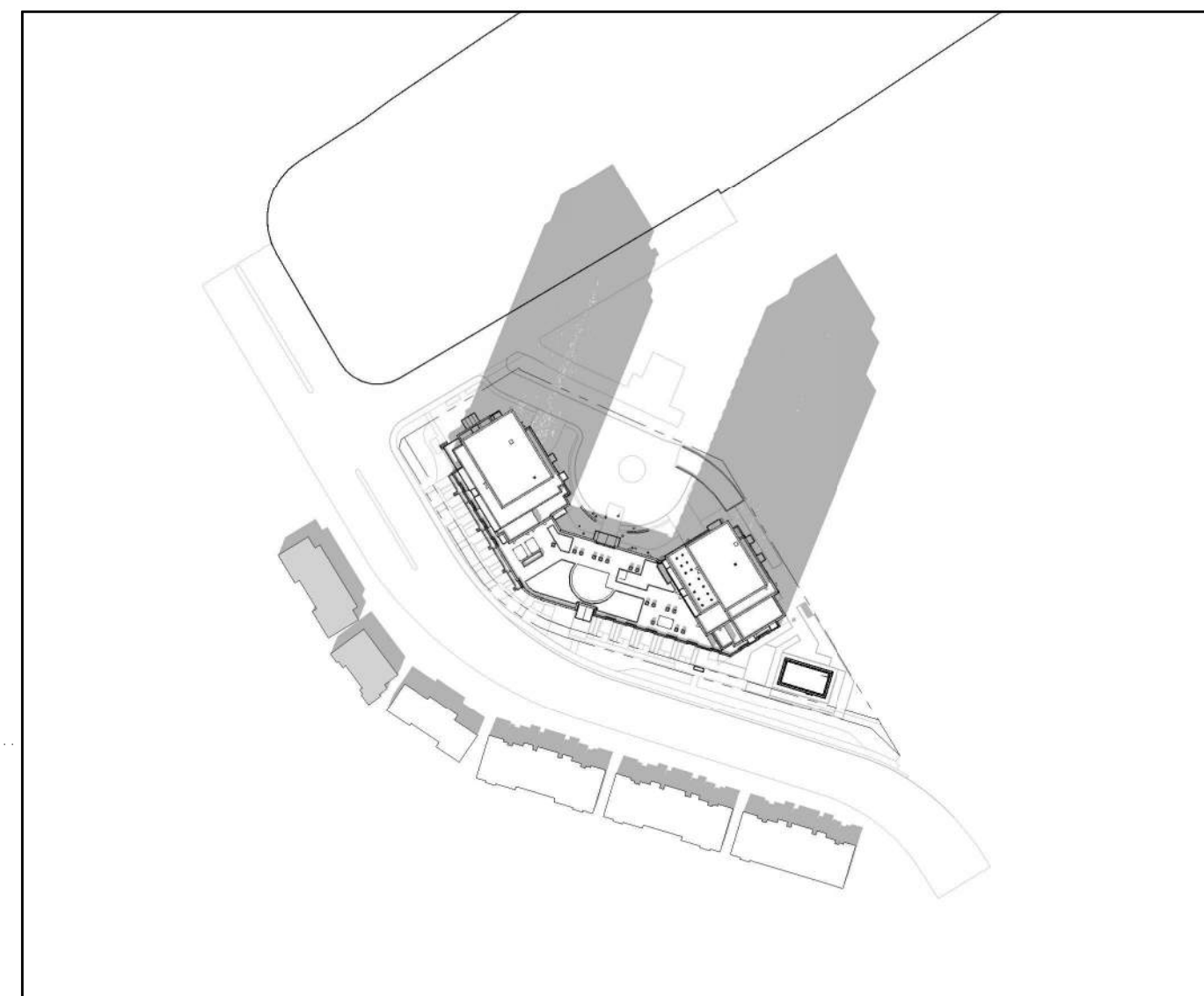
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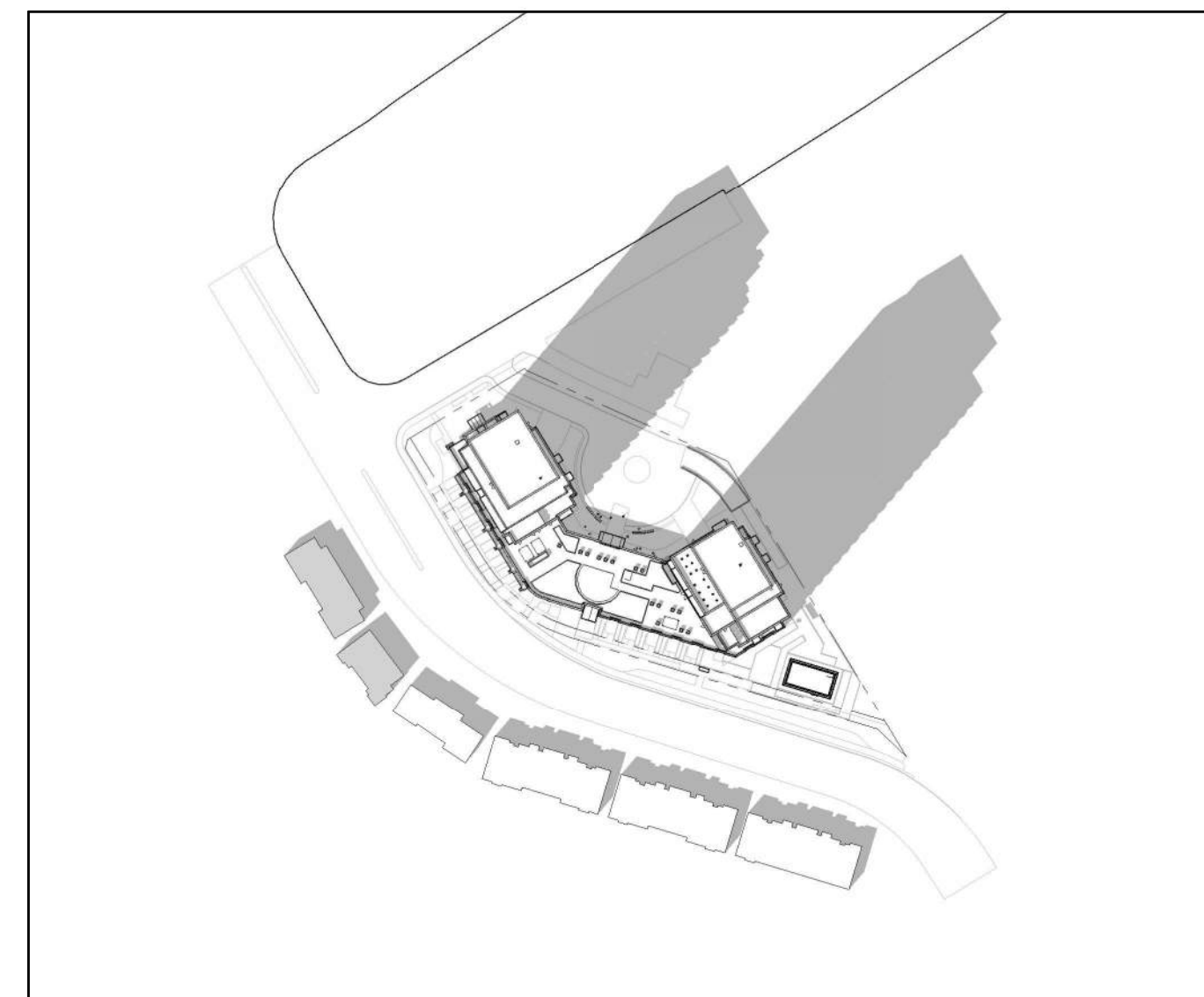
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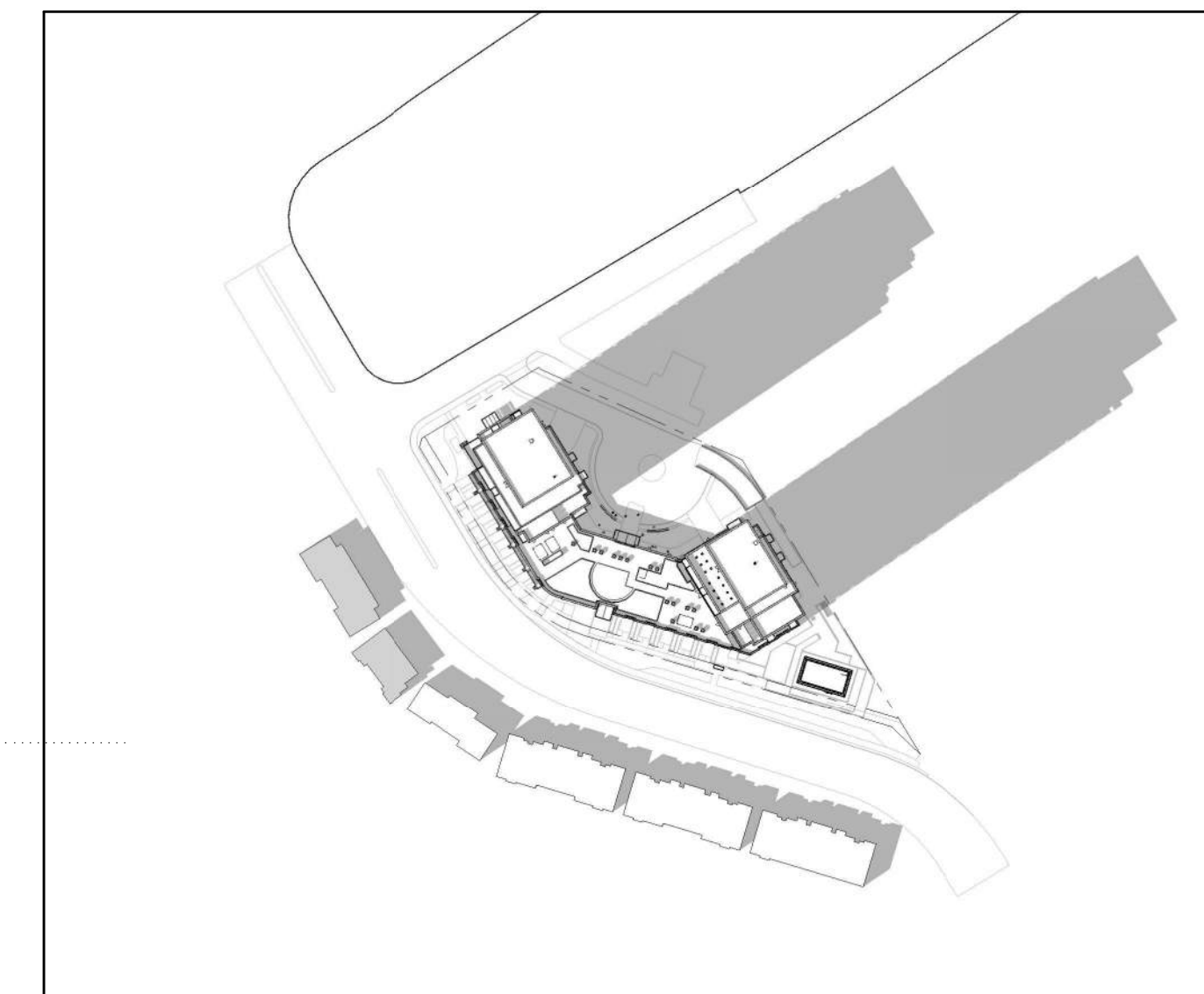
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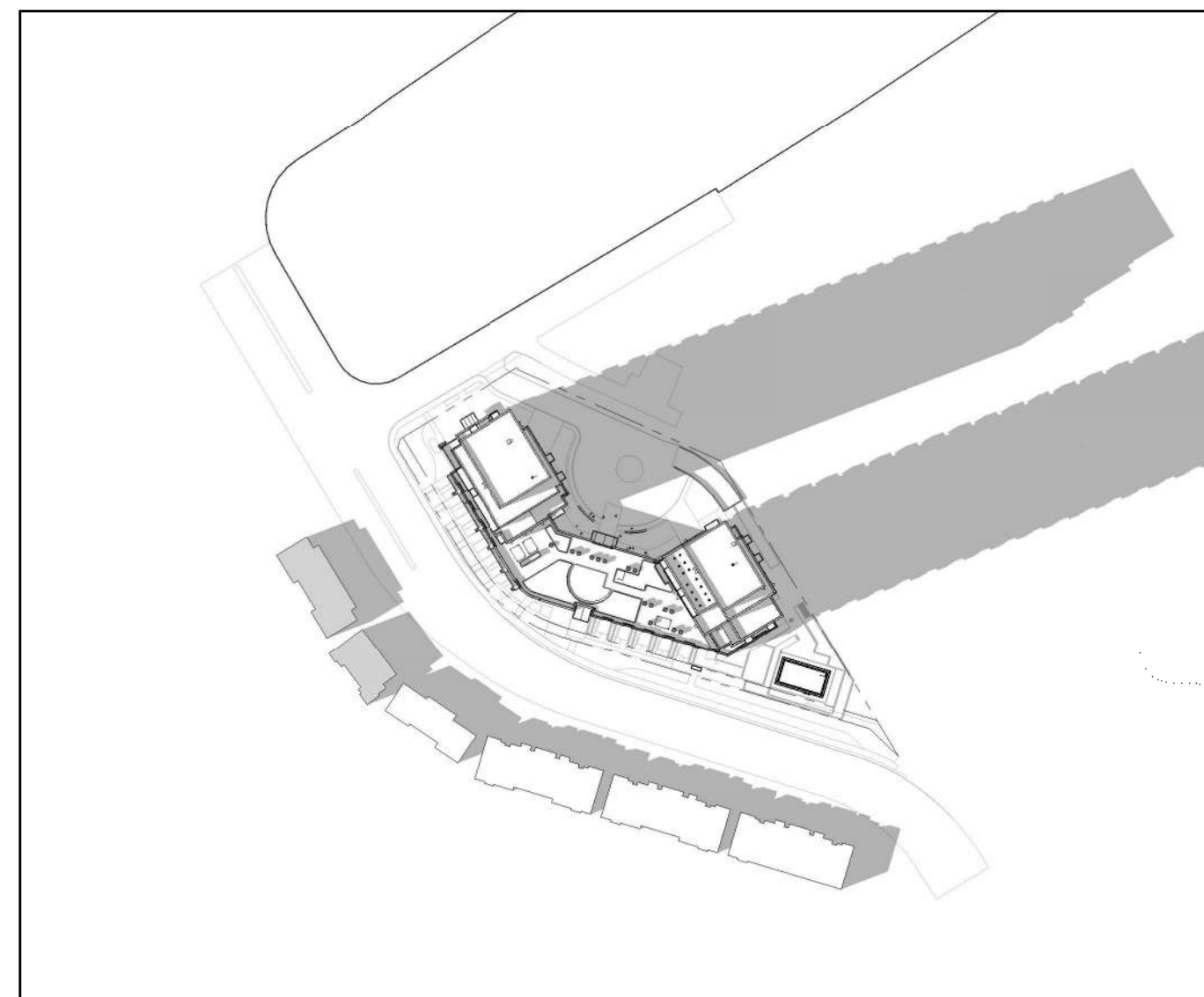
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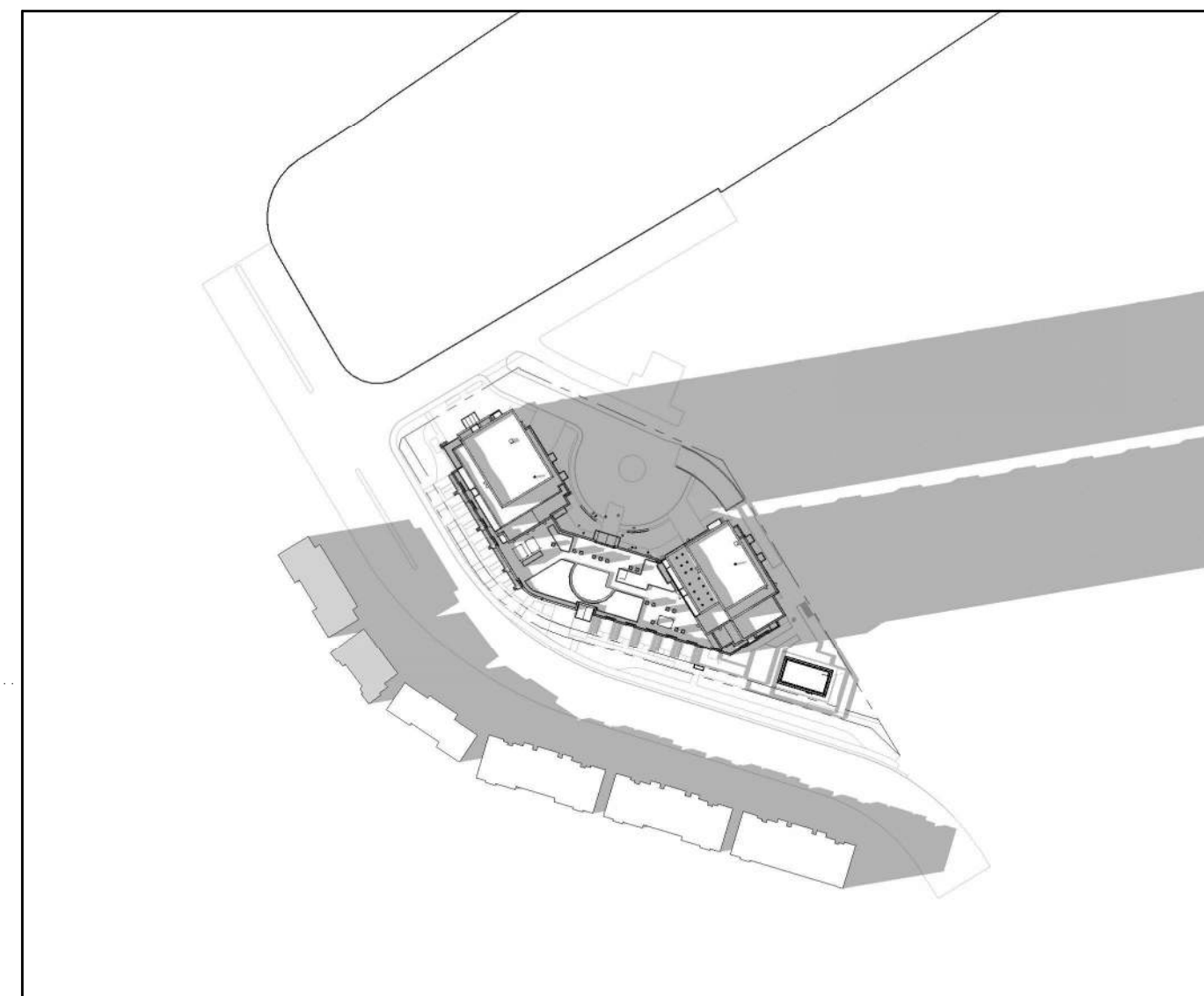
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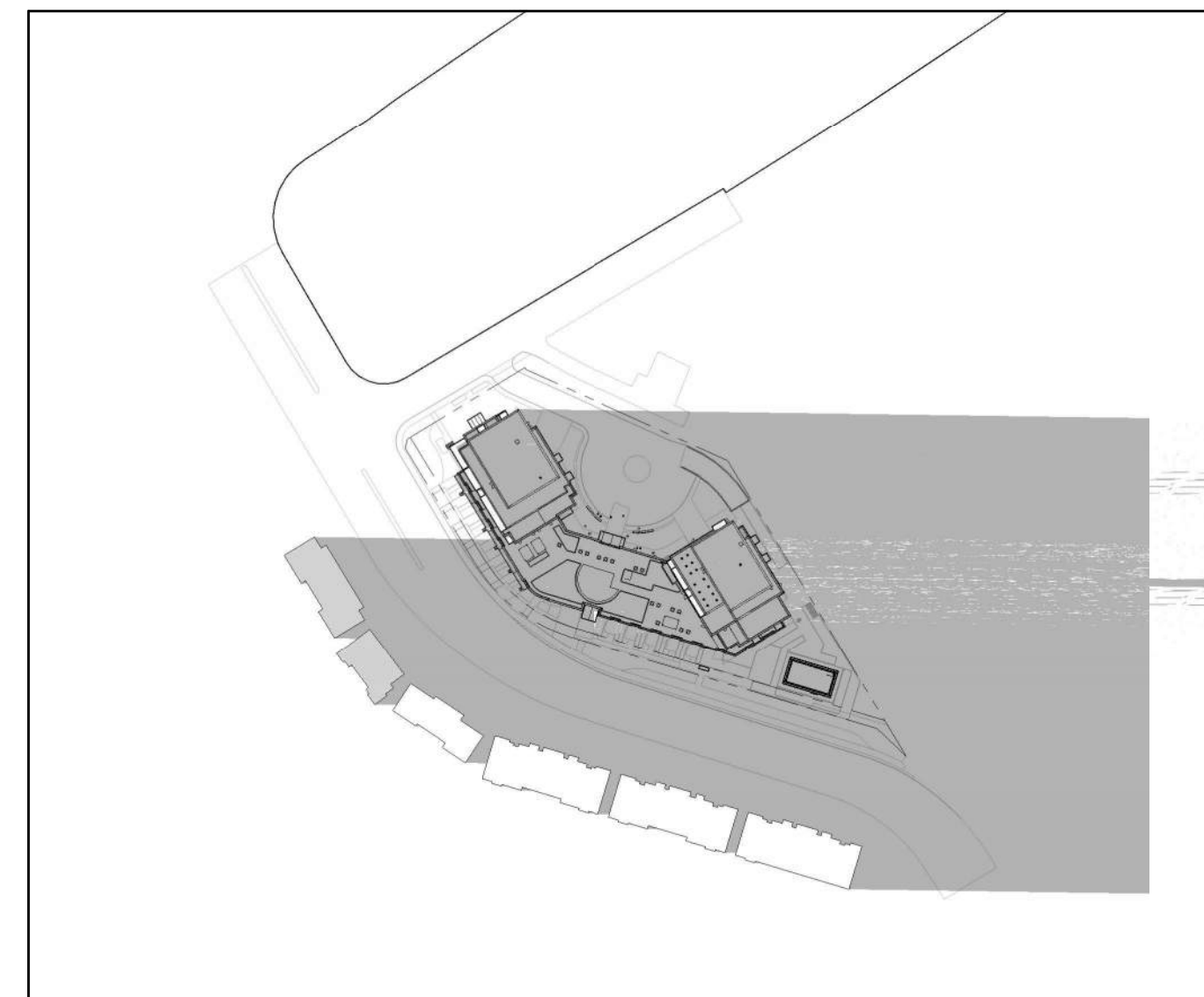
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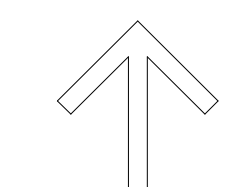
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No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: 

ARCHITECT: 
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

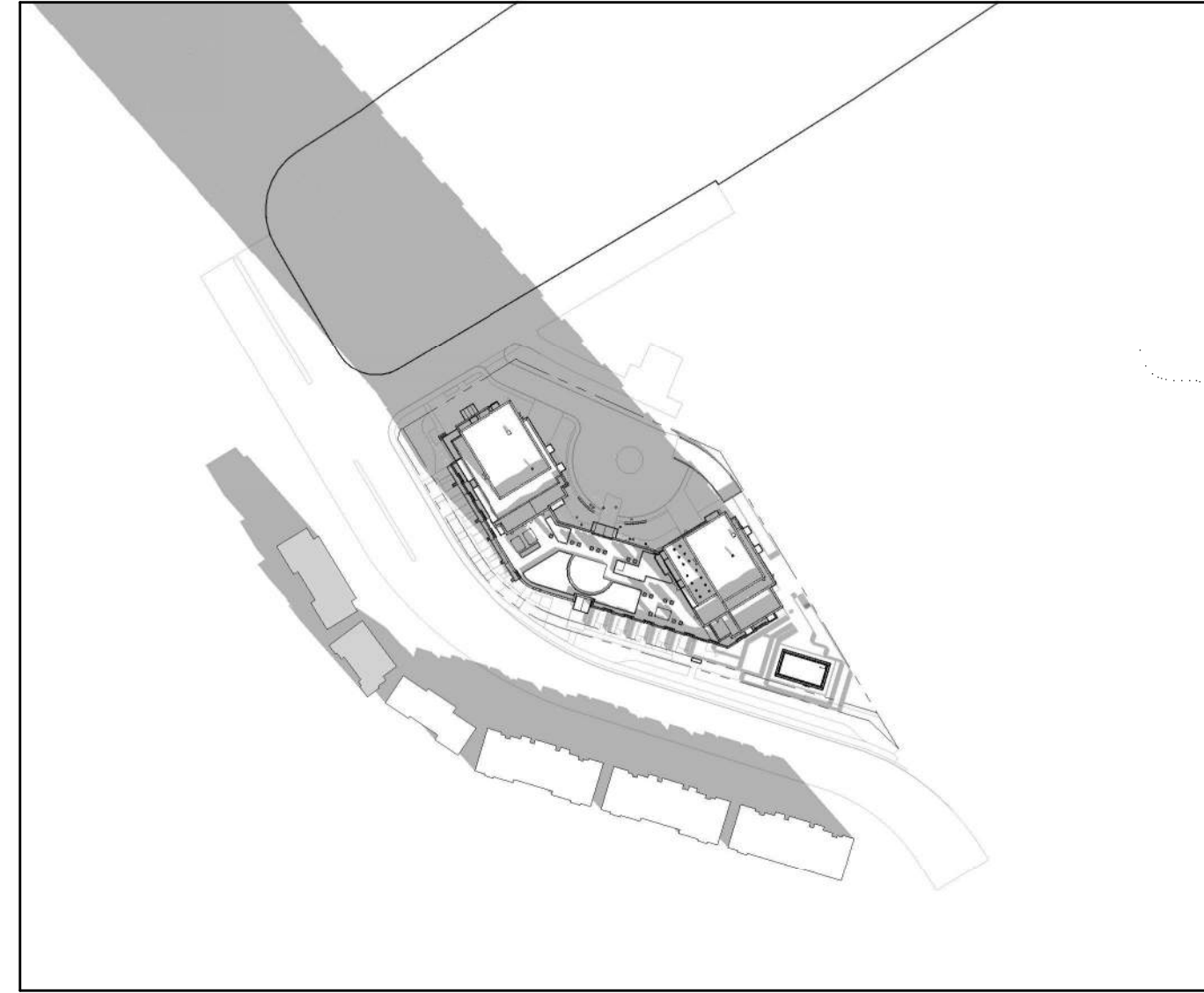
PROJECT TITLE:
19 CENTREPOINTE DR
OTTAWA, ON

SHEET TITLE:
SUNSHADE ANALYSIS

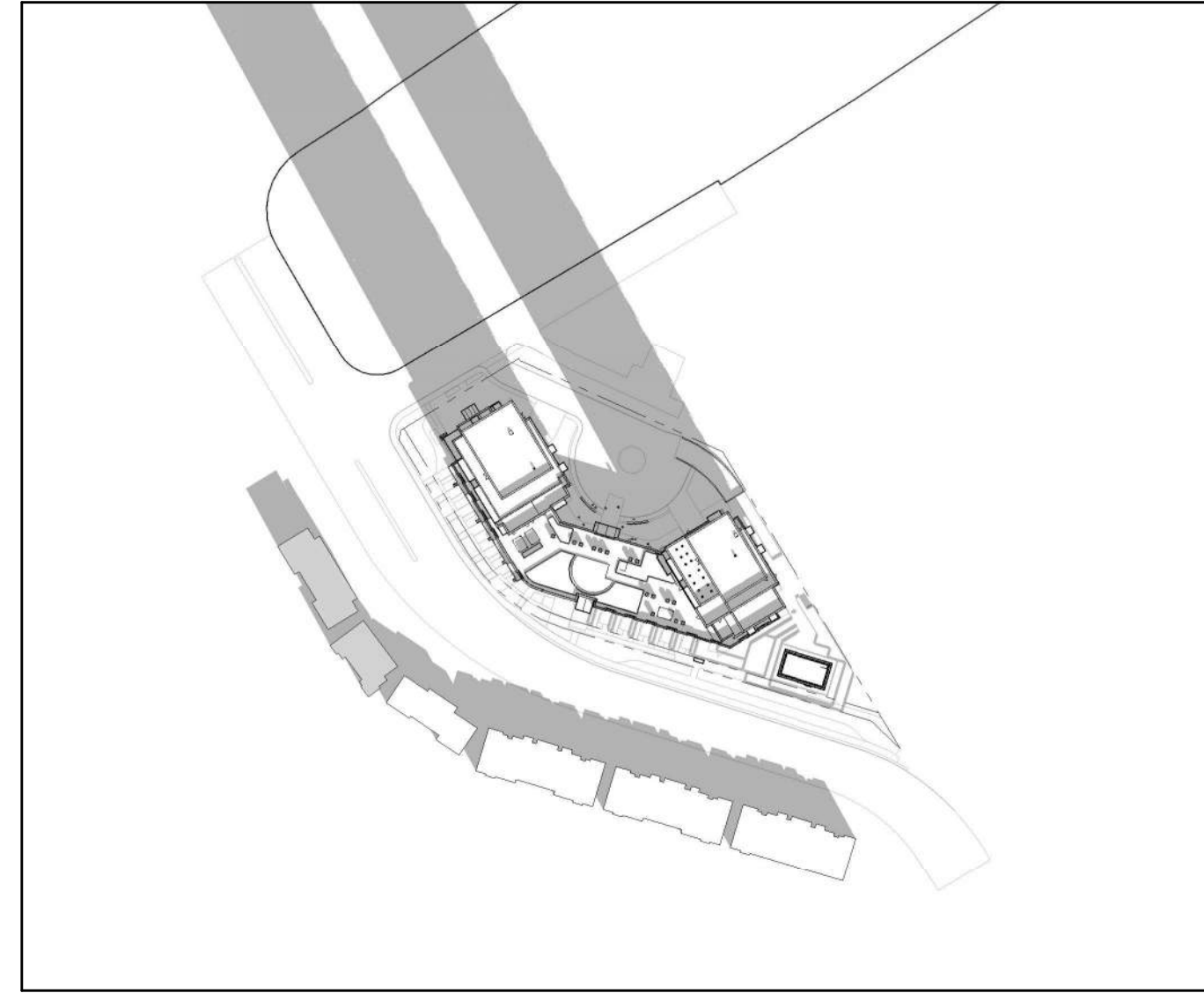
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PROJECT No: 1910	

CURRENT

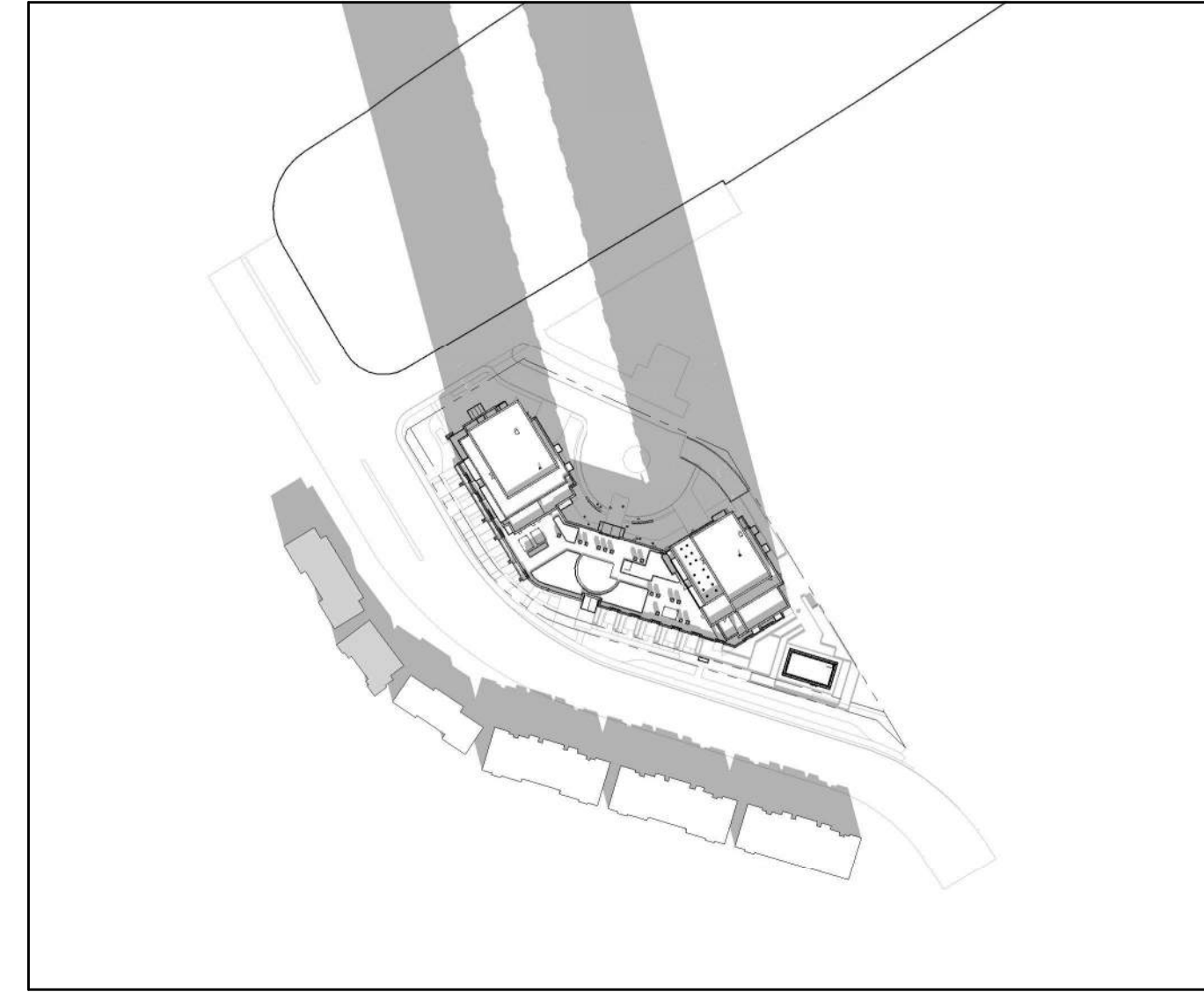
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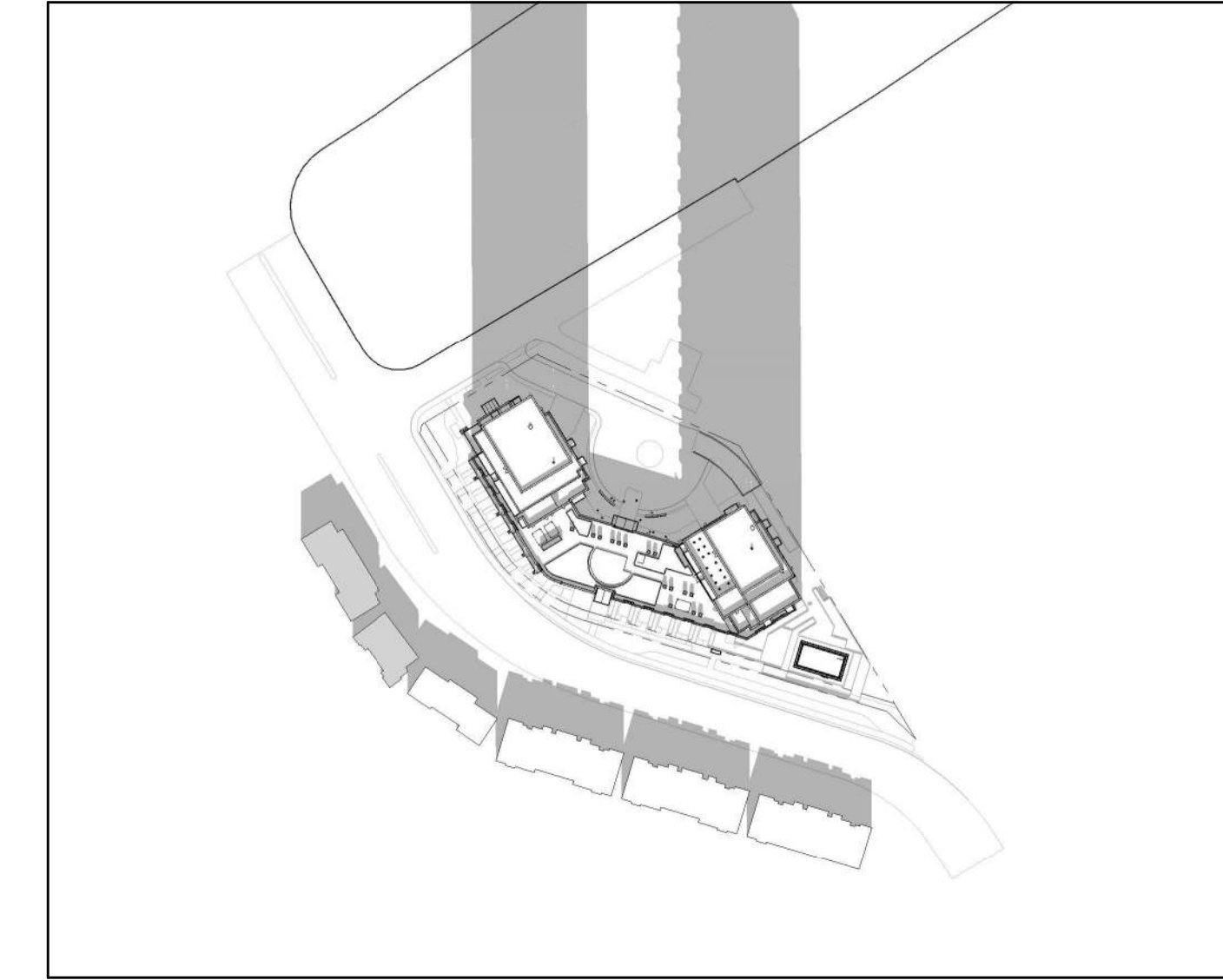
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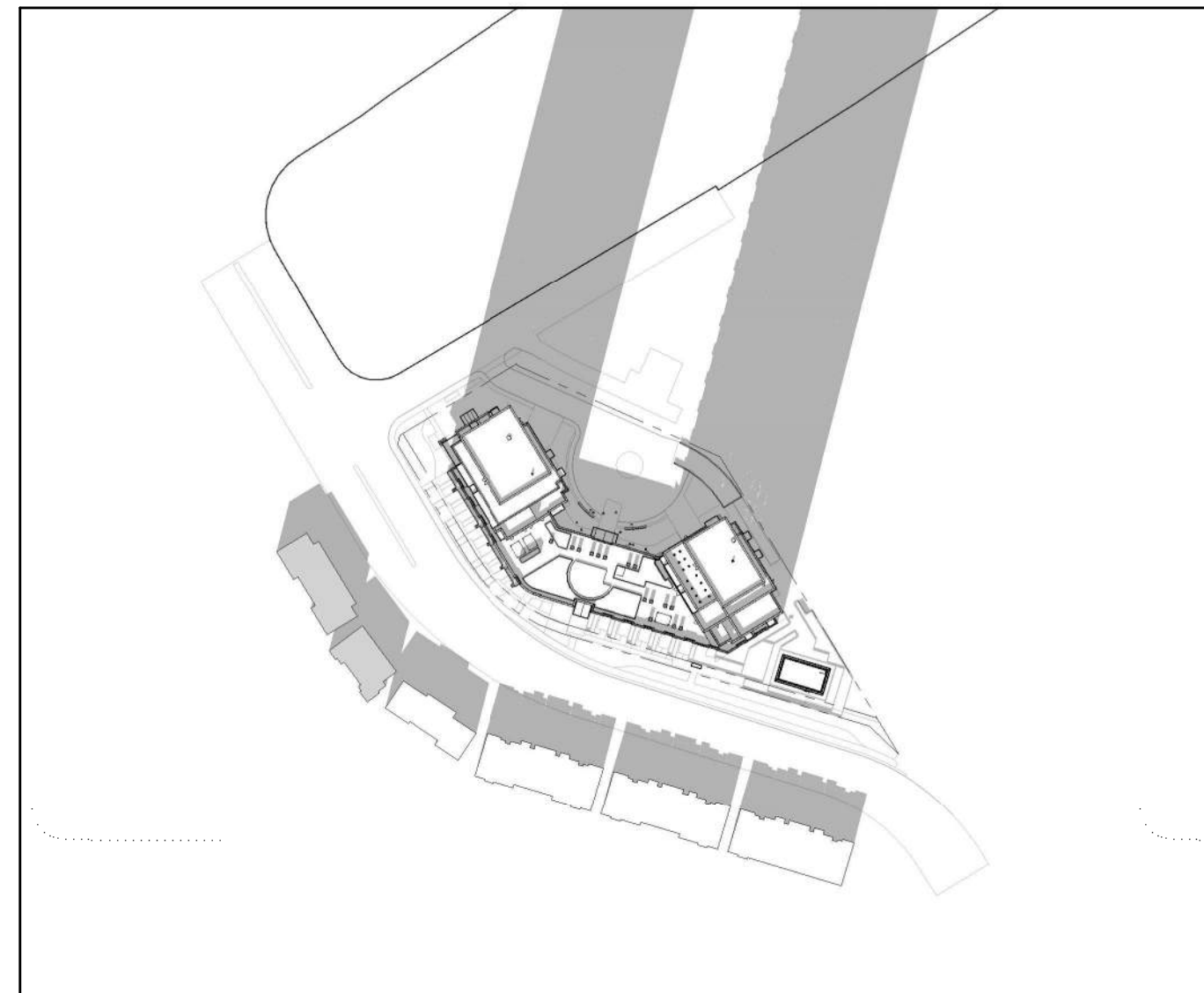
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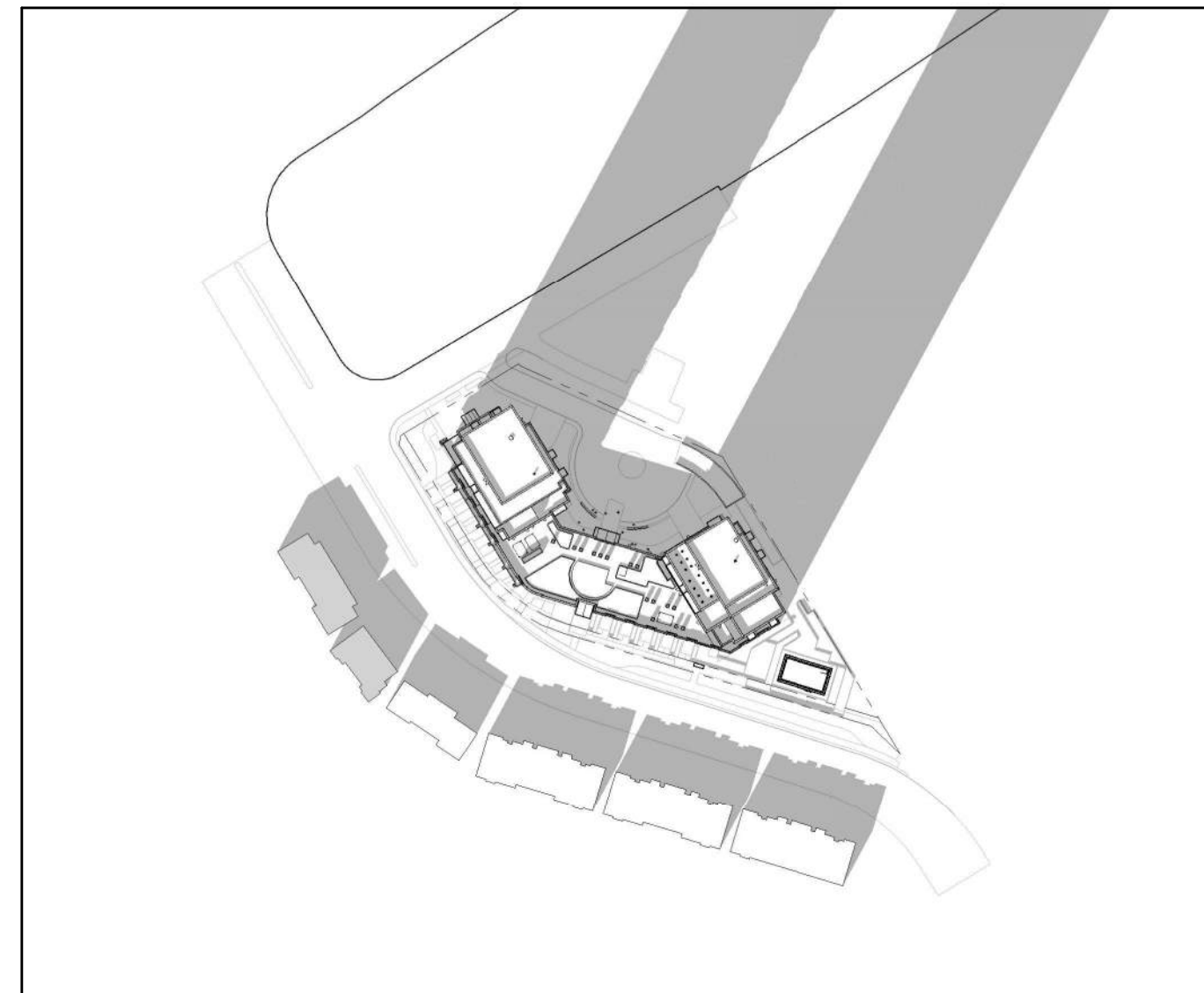
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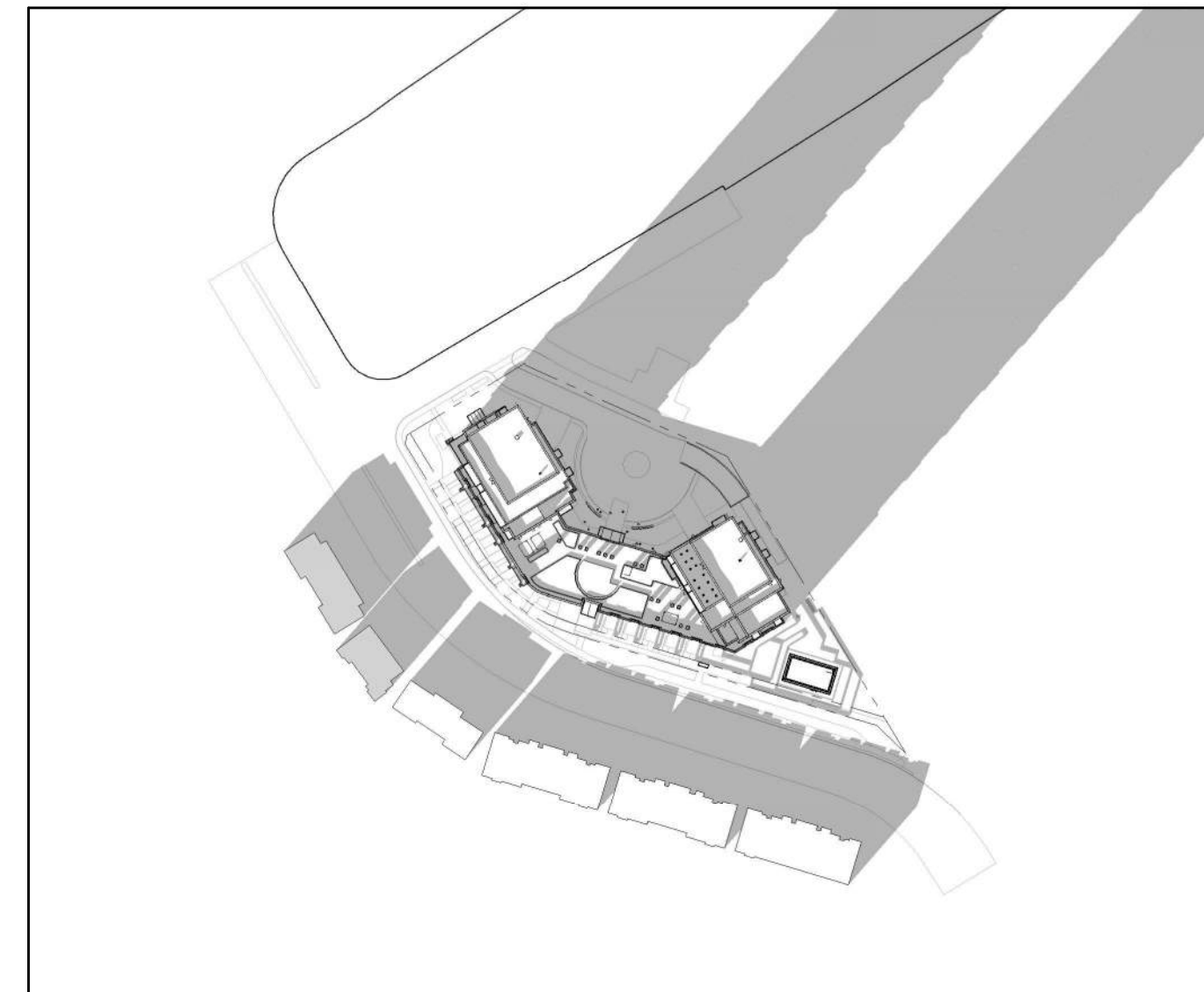
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3:00 PM

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13	SPC UPDATE	31 JAN 2023

REVISIONS:

ARCHITECT SEAL: 	NORTH ARROW:
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CLIENT:

ARCHITECT:

 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
SUNSHADE ANALYSIS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 2000	SHEET No: 15
PROJECT No: 1910	