

19 CENTREPOINTE DR

OTTAWA, ON

RLA PROJECT #: 1910

SPC UPDATE

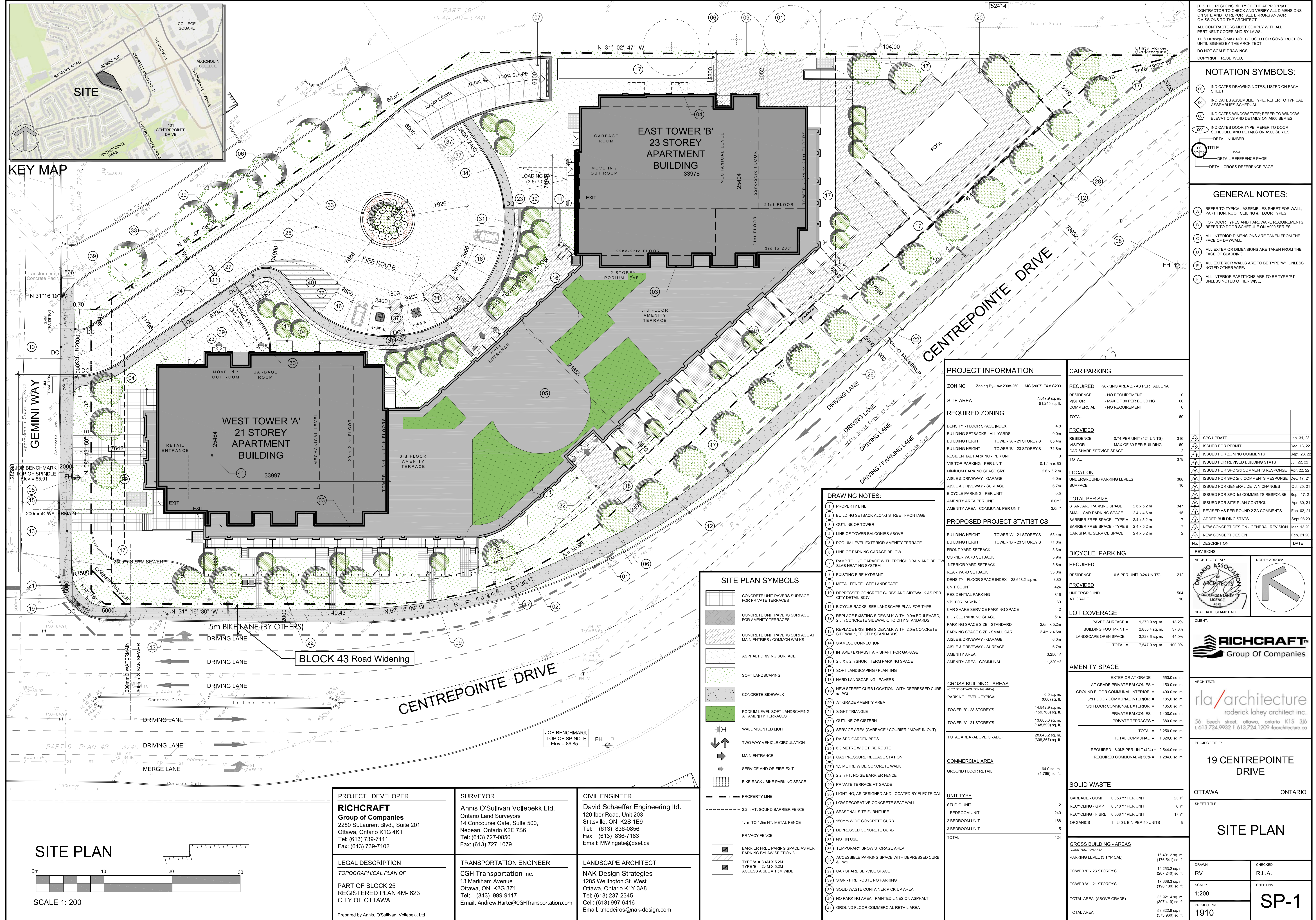
31 JAN 2023

19 CENTREPOINTE DR.



19 CENTREPOINTE DR.





IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED.

NOTATION SYMBOLS:

- Ⓢ INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- Ⓛ INDICATES ASSEMBLY TYPE: REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- Ⓜ INDICATES WINDOW TYPE: REFER TO WINDOW ELEVATIONS AND DETAILS ON A100 SERIES.
- Ⓝ INDICATES DOOR TYPE: REFER TO DOOR SCHEDULE AND DETAILS ON A100 SERIES.
- Ⓞ DETAIL NUMBER
- Ⓟ TITLE
- Ⓠ DETAIL REFERENCE PAGE
- Ⓡ DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- A REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- B FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A100 SERIES.
- C ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- D ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- E ALL EXTERIOR WALLS ARE TO BE TYPE 'W' UNLESS NOTED OTHERWISE.
- F ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

PROJECT INFORMATION		CAR PARKING	
ZONING	Zoning By-Law 2008-250 MC (2007) F4.8 S299	REQUIRED	PARKING AREA Z - AS PER TABLE 1A
SITE AREA	7,547.9 sq. m. 81,245 sq. ft.	RESIDENCE	- NO REQUIREMENT 0
REQUIRED ZONING		VISITOR	- MAX OF 30 PER BUILDING 60
DENSITY - FLOOR SPACE INDEX	4.8	COMMERCIAL	- NO REQUIREMENT 0
BUILDING SETBACKS - ALL YARDS	0.0m	TOTAL	60
BUILDING HEIGHT TOWER 'A' - 21 STOREYS	65.4m	PROVIDED	
BUILDING HEIGHT TOWER 'B' - 23 STOREYS	71.8m	RESIDENCE	- 0.74 PER UNIT (424 UNITS) 316
RESIDENTIAL PARKING - PER UNIT	0	VISITOR	- MAX OF 30 PER BUILDING 60
VISITOR PARKING - PER UNIT	0.1 / max 60	CAR SHARE SERVICE SPACE	2
MINIMUM PARKING SPACE SIZE	2.6 x 5.2 m	TOTAL	378
ASIS & DRIVEWAY - GARAGE	6.0m	LOCATION	
ASIS & DRIVEWAY - SURFACE	6.7m	UNDERGROUND PARKING LEVELS	368
BICYCLE PARKING - PER UNIT	0.5	SURFACE	10
AMENITY AREA PER UNIT	6.0m ²	TOTAL PER SIZE	
AMENITY AREA - COMMUNAL PER UNIT	3.0m ²	STANDARD PARKING SPACE	2.6 x 5.2 m 347
		SMALL CAR PARKING SPACE	2.4 x 4.6 m 15
		BARRIER FREE SPACE - TYPE A	3.4 x 5.2 m 7
		BARRIER FREE SPACE - TYPE B	2.4 x 5.2 m 7
		CAR SHARE SERVICE SPACE	2.4 x 5.2 m 2

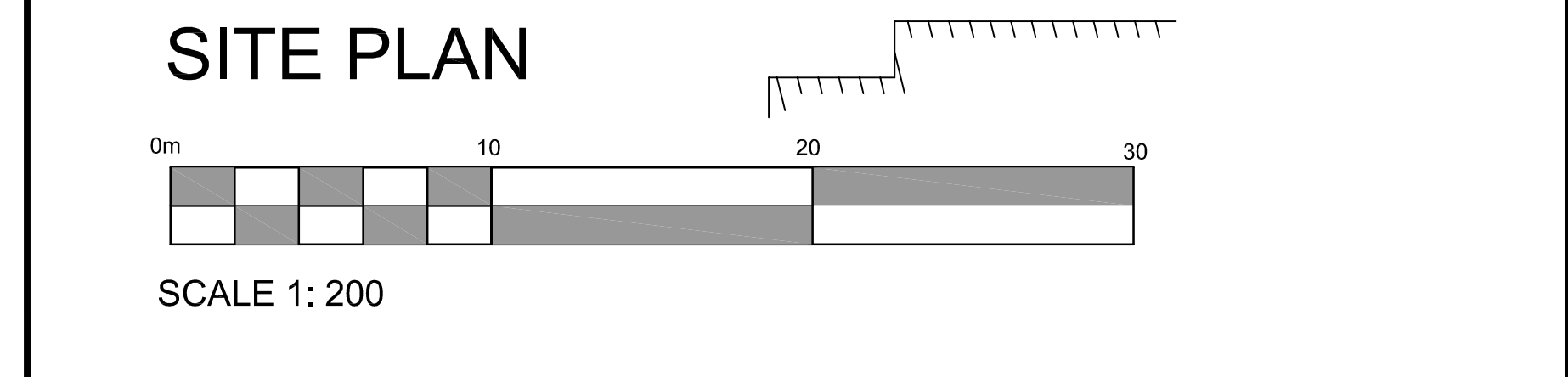
PROPOSED PROJECT STATISTICS		BICYCLE PARKING	
BUILDING HEIGHT TOWER 'A' - 21 STOREYS	65.4m	REQUIRED	
BUILDING HEIGHT TOWER 'B' - 23 STOREYS	71.8m	RESIDENCE	- 0.5 PER UNIT (424 UNITS) 212
FRONT YARD SETBACK	5.3m	PROVIDED	
CORNER YARD SETBACK	3.9m	UNDERGROUND	504
INTERIOR YARD SETBACK	5.8m	AT GRADE	10
REAR YARD SETBACK	33.0m	LOT COVERAGE	
DENSITY - FLOOR SPACE INDEX = 26,848.2 sq. m.	3.80	PAVED SURFACE =	1,370.9 sq. m. 18.2%
UNIT COUNT	424	BUILDING FOOTPRINT =	2,853.4 sq. m. 37.8%
RESIDENTIAL PARKING	316	LANDSCAPE OPEN SPACE =	3,323.6 sq. m. 44.0%
VISITOR PARKING	60	TOTAL =	7,547.9 sq. m. 100.0%
CAR SHARE SERVICE PARKING SPACE	2	AMENITY SPACE	
BICYCLE PARKING SPACE	514	EXTERIOR AT GRADE =	550.0 sq. m.
PARKING SPACE SIZE - STANDARD	2.6m x 5.2m	AT GRADE PRIVATE BALCONIES =	150.0 sq. m.
PARKING SPACE SIZE - SMALL CAR	2.4m x 4.6m	GROUND FLOOR COMMUNAL INTERIOR =	400.0 sq. m.
ASIS & DRIVEWAY - GARAGE	6.0m	3rd FLOOR COMMUNAL INTERIOR =	185.0 sq. m.
ASIS & DRIVEWAY - SURFACE	6.7m	3rd FLOOR COMMUNAL EXTERIOR =	185.0 sq. m.
AMENITY AREA	3,250m ²	PRIVATE BALCONIES =	1,400.0 sq. m.
AMENITY AREA - COMMUNAL	1,320m ²	PRIVATE TERRACES =	380.0 sq. m.
		TOTAL =	3,250.0 sq. m.
		TOTAL COMMUNAL =	1,320.0 sq. m.
		REQUIRED - 6.0M ² PER UNIT (424) =	2,544.0 sq. m.
		REQUIRED COMMUNAL @ 50% =	1,284.0 sq. m.
		COMMERCIAL AREA	
		GROUND FLOOR RETAIL	164.0 sq. m. (1,765) sq. ft.
		UNIT TYPE	
		STUDIO UNIT	2
		1 BEDROOM UNIT	249
		2 BEDROOM UNIT	168
		3 BEDROOM UNIT	5
		TOTAL	424

- DRAWING NOTES:**
- PROPERTY LINE
 - BUILDING SETBACK ALONG STREET FRONTAGE
 - OUTLINE OF TOWER
 - LINE OF TOWER BALCONIES ABOVE
 - PODIUM LEVEL EXTERIOR AMENITY TERRACE
 - LINE OF PARKING GARAGE BELOW
 - RAMP TO LUG GARAGE WITH TRENCH DRAIN AND BELOW SLAB HEATING SYSTEM
 - EXISTING FIRE HYDRANT
 - METAL FENCE - SEE LANDSCAPE
 - DEPRESSED CONCRETE CURBS AND SIDEWALK AS PER CITY DETAIL S07.1
 - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
 - REPLACE EXISTING SIDEWALK WITH 0.9m BOULEVARD, 2.0m CONCRETE SIDEWALK TO CITY STANDARDS
 - REPLACE EXISTING SIDEWALK WITH 2.0m CONCRETE SIDEWALK TO CITY STANDARDS
 - SIAMENSE CONNECTION
 - INTAKE / EXHAUST AIR SHAFT FOR GARAGE
 - 2.6 X 5.2m SHORT TERM PARKING SPACE
 - SOFT LANDSCAPING / PLANTING
 - HARD LANDSCAPING - PAVERS
 - NEW STREET CURB LOCATION, WITH DEPRESSED CURB & TYSI
 - AT GRADE AMENITY AREA
 - SIGHT TRIANGLE
 - OUTLINE OF CISTERN
 - SERVICE AREA (GARBAGE / COURIER / MOVE IN-OUT)
 - RAISED GARDEN BEDS
 - 6.0 METRE WIDE FIRE ROUTE
 - GAS PRESSURE RELEASE STATION
 - 1.5 METRE WIDE CONCRETE WALK
 - 2.2m HT. NOISE BARRIER FENCE
 - PRIVATE TERRACE AT GRADE
 - NOT IN USE
 - TEMPORARY SNOW STORAGE AREA
 - ACCESSIBLE PARKING SPACE WITH DEPRESSED CURB & TYSI
 - CAR SHARE SERVICE SPACE
 - SIGN - FIRE ROUTE NO PARKING
 - SOLID WASTE CONTAINER PICK-UP AREA
 - NO PARKING AREA - PAINTED LINES ON ASPHALT
 - GROUND FLOOR COMMERCIAL RETAIL AREA

SITE PLAN SYMBOLS

[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR PRIVATE TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE FOR AMENITY TERRACES
[Symbol]	CONCRETE UNIT PAVERS SURFACE AT MAIN ENTRIES / COMMON WALKS
[Symbol]	ASPHALT DRIVING SURFACE
[Symbol]	SOFT LANDSCAPING
[Symbol]	CONCRETE SIDEWALK
[Symbol]	PODIUM LEVEL SOFT LANDSCAPING AT AMENITY TERRACES
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	TWO WAY VEHICLE CIRCULATION
[Symbol]	MAIN ENTRANCE
[Symbol]	SERVICE AND/OR FIRE EXIT
[Symbol]	BIKE RACK / BIKE PARKING SPACE
[Symbol]	PROPERTY LINE
[Symbol]	2.2m HT. SOUND BARRIER FENCE
[Symbol]	1.1m TO 1.5m HT. METAL FENCE
[Symbol]	PRIVACY FENCE
[Symbol]	BARRIER FREE PARKING SPACE AS PER PARKING BY-LAW SECTION 3.1
[Symbol]	TYPE 'A' = 3.4M X 5.2M
[Symbol]	TYPE 'B' = 2.4M X 5.2M
[Symbol]	ACCESS AISLE = 1.5M WIDE

PROJECT DEVELOPER RICHCRAFT Group of Companies 2280 St. Laurent Blvd., Suite 201 Ottawa, Ontario K1G 4K1 Tel: (613) 739-7111 Fax: (613) 739-7102	SURVEYOR Annis O'Sullivan Vollebek Ltd. Ontario Land Surveyors 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 727-0850 Fax: (613) 727-1079	CIVIL ENGINEER David Schaeffer Engineering Ltd. 120 Iber Road, Unit 203 Stittsville, ON K2S 1E9 Tel: (613) 836-0856 Fax: (613) 836-7183 Email: MWingate@dsel.ca
LEGAL DESCRIPTION TOPOGRAPHICAL PLAN OF PART OF BLOCK 25 REGISTERED PLAN 4M- 623 CITY OF OTTAWA Prepared by Annis, O'Sullivan, Vollebek Ltd.	TRANSPORTATION ENGINEER CGH Transportation Inc. 13 Markham Avenue Ottawa, ON K2G 3Z1 Tel: (343) 999-9117 Email: Andrew.Harte@CGHTransportation.com	LANDSCAPE ARCHITECT NAK Design Strategies 1285 Wellington St. West Ottawa, Ontario K1Y 3A8 Tel: (613) 237-2345 Cell: (613) 997-6416 Email: tmedeiros@nak-design.com



ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
RICHCRAFT ARCHITECTURE
LICENSE # 4375

ARCHITECT: **rla/architecture**
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
1.613.724.9932 | 1.613.724.1209 | rlaarchitecture.ca

19 CENTREPOINTE DRIVE

PROJECT TITLE: **1910**

OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN**

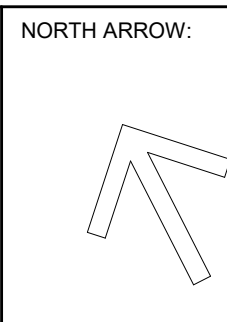
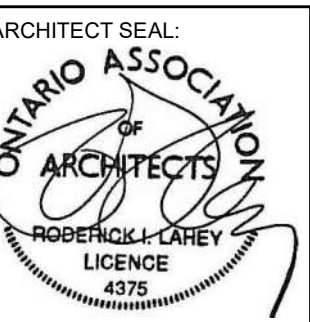
DRAWN: RV CHECKED: R.L.A.
SCALE: 1:200 SHEET No. **SP-1**

PROJECT No. **1910**



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023



CLIENT:
RICHCRAFT
 Group Of Companies

ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON


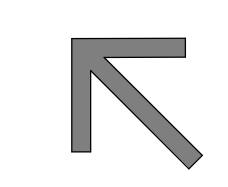
SHEET TITLE:
SITE PLAN

DRAWN: S.S.	CHECKED: R.V.
SCALE: 1 : 250	SHEET No: 1
PROJECT No: 1910	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



13	SPC UPDATE	31 JAN 2023
No.	DESCRIPTION	DD.MM.YY

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT: **RICHCRAFT** Group Of Companies

ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

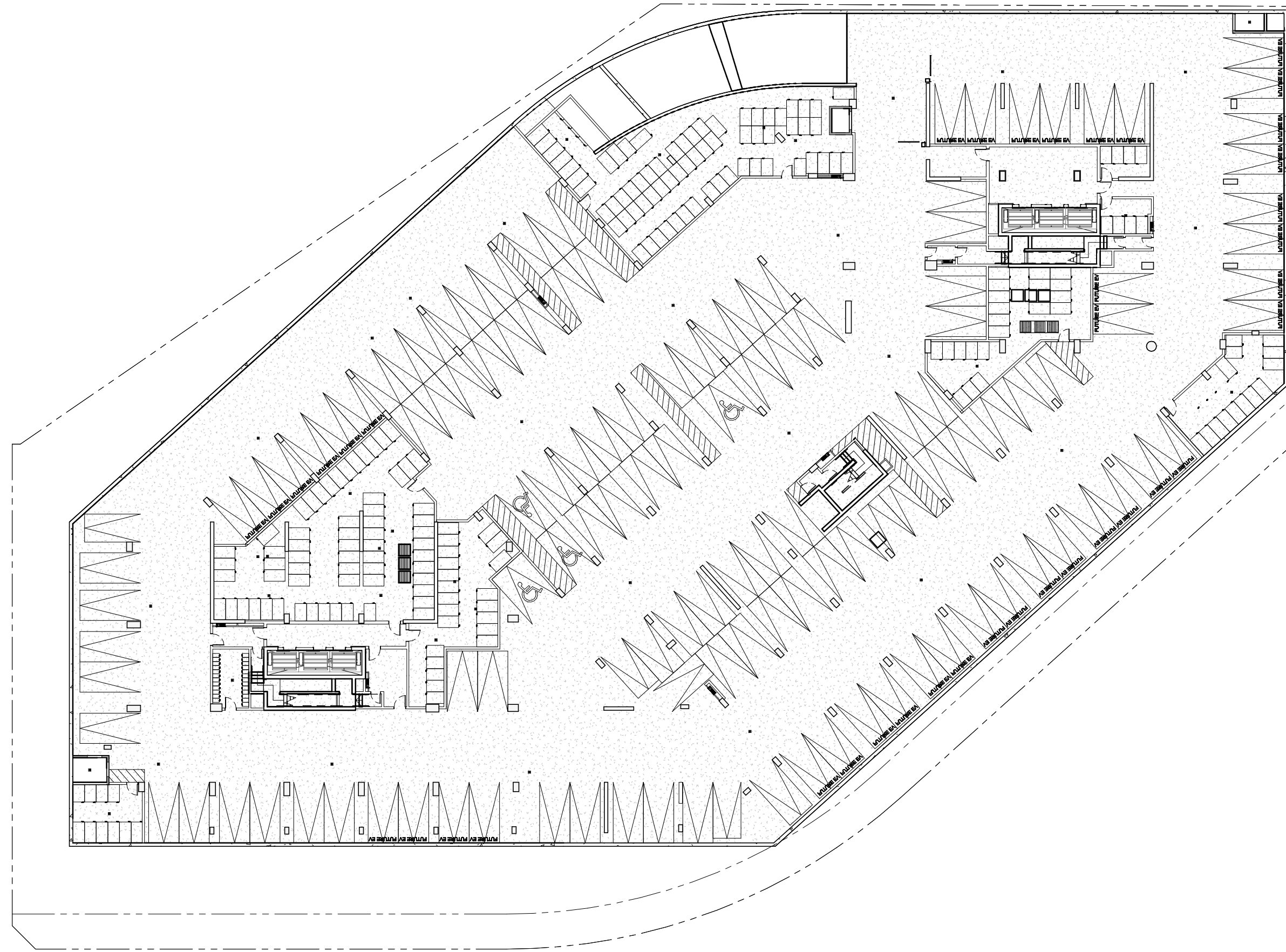
PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
GROUND FLOOR PLAN

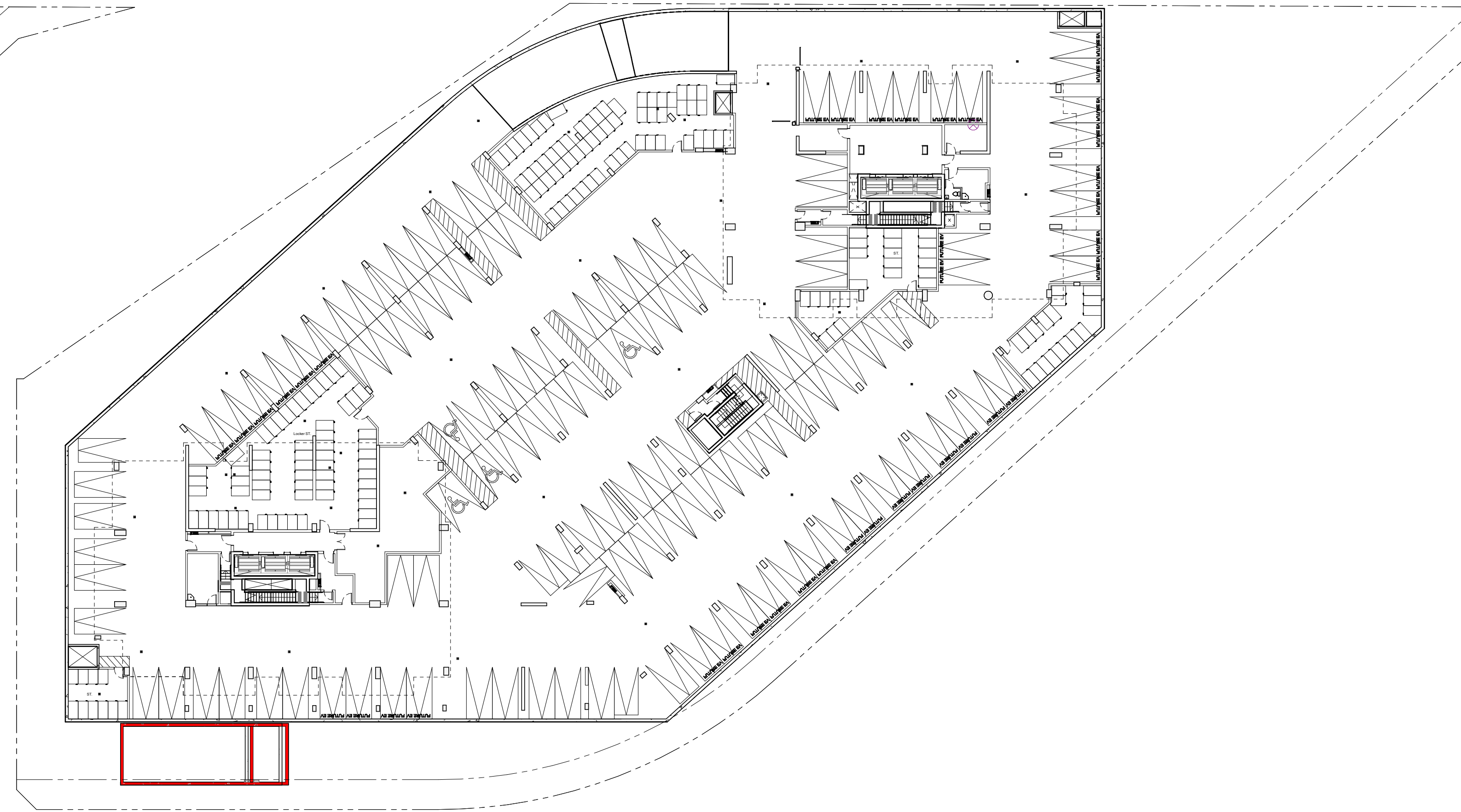
DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 250	SHEET No: 2
PROJECT No: 1910	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) | URLA-FP01_rla.local\FR\cmckerchen\My Documents\1910 19 CENTREPOINTE R22_cmckerchen.rvt | PLOT SCALE: 1:1 | D07-12-21-0071

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



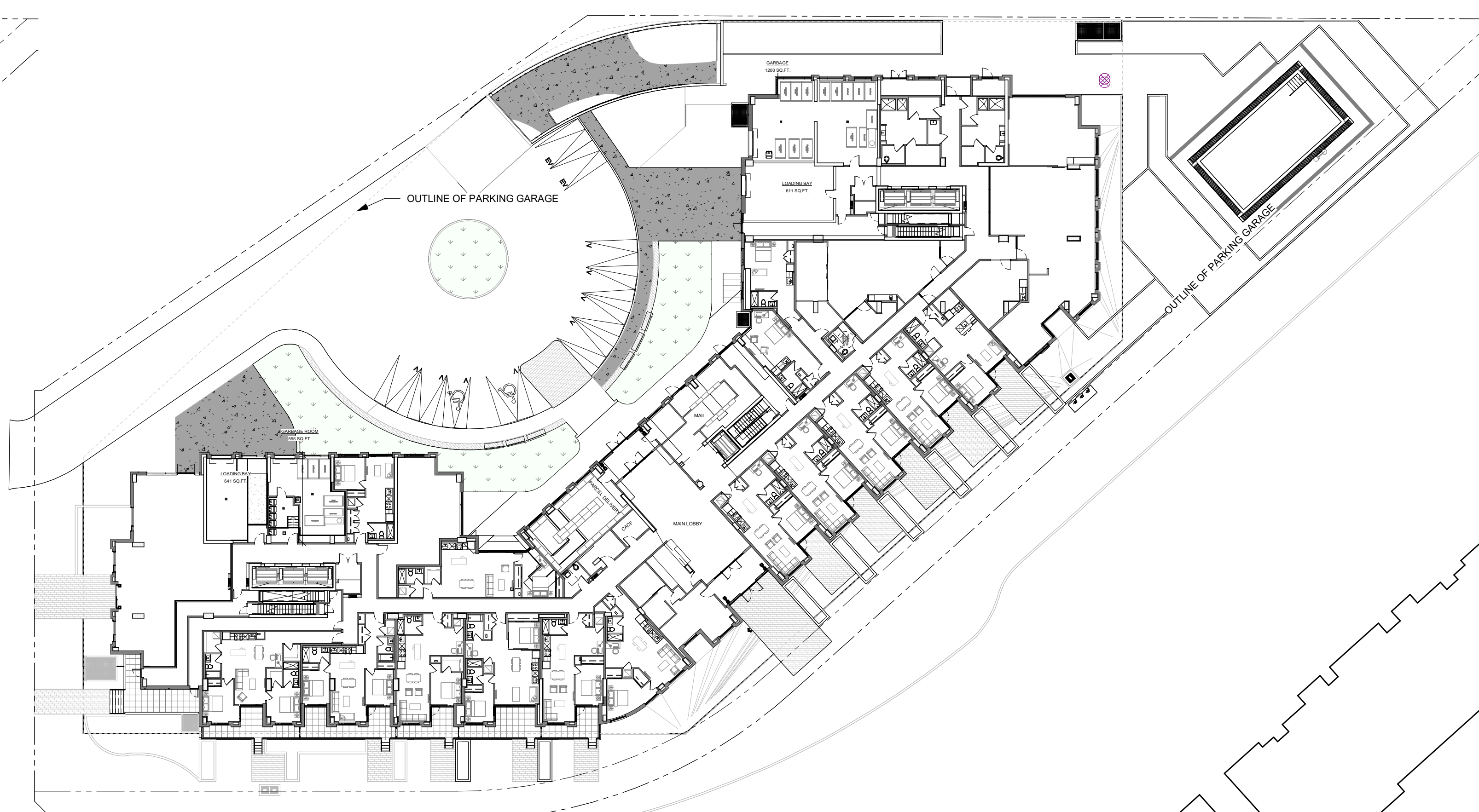
P3 FLOOR PLAN



P2 FLOOR PLAN


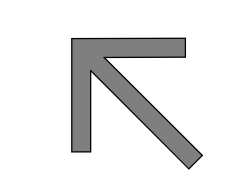


P1 FLOOR PLAN



GROUND FLOOR PLAN

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT: **RICHCRAFT** Group of Companies

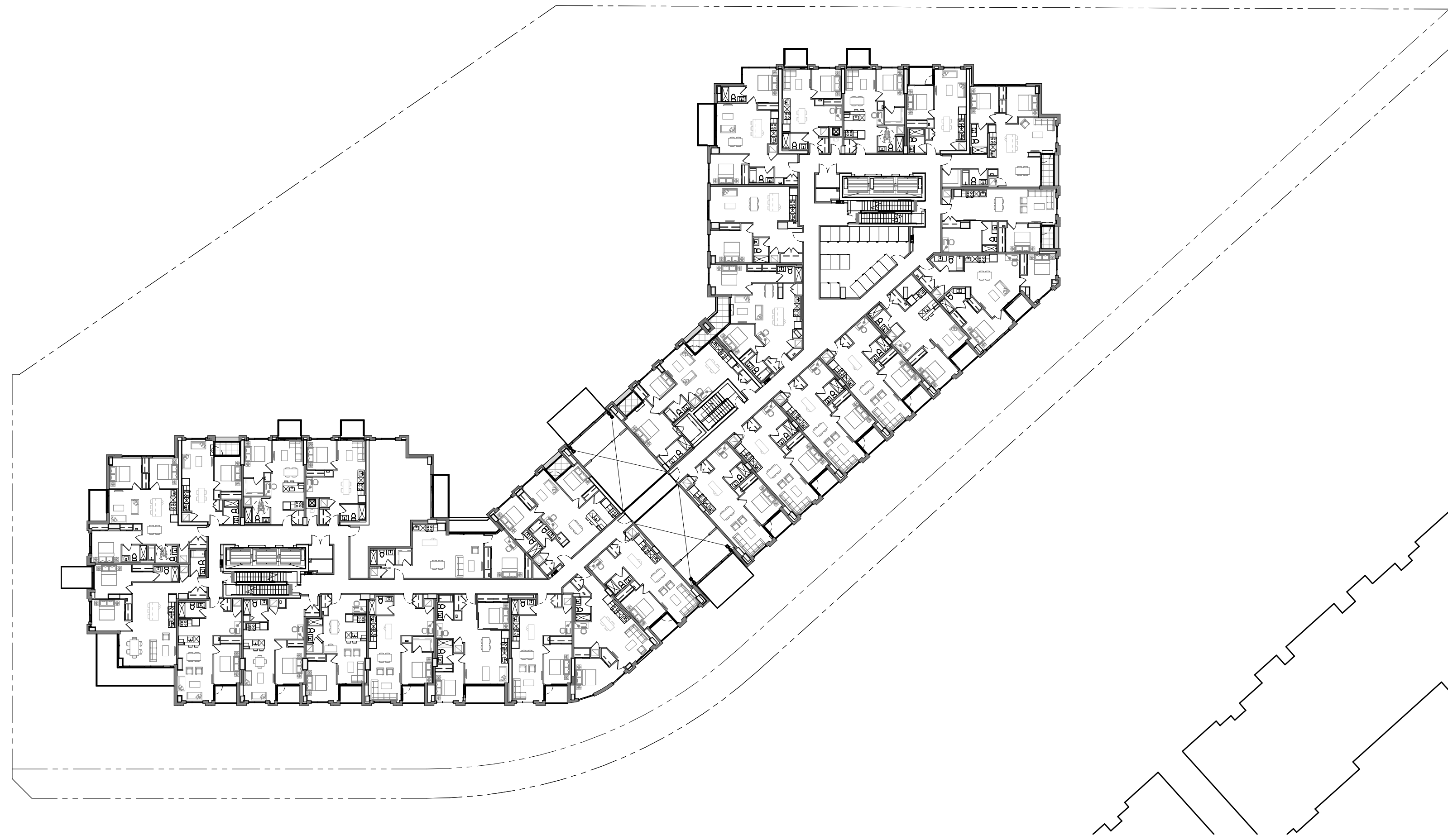
ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklacey.ca

PROJECT TITLE: **19 CENTREPOINTE DR**

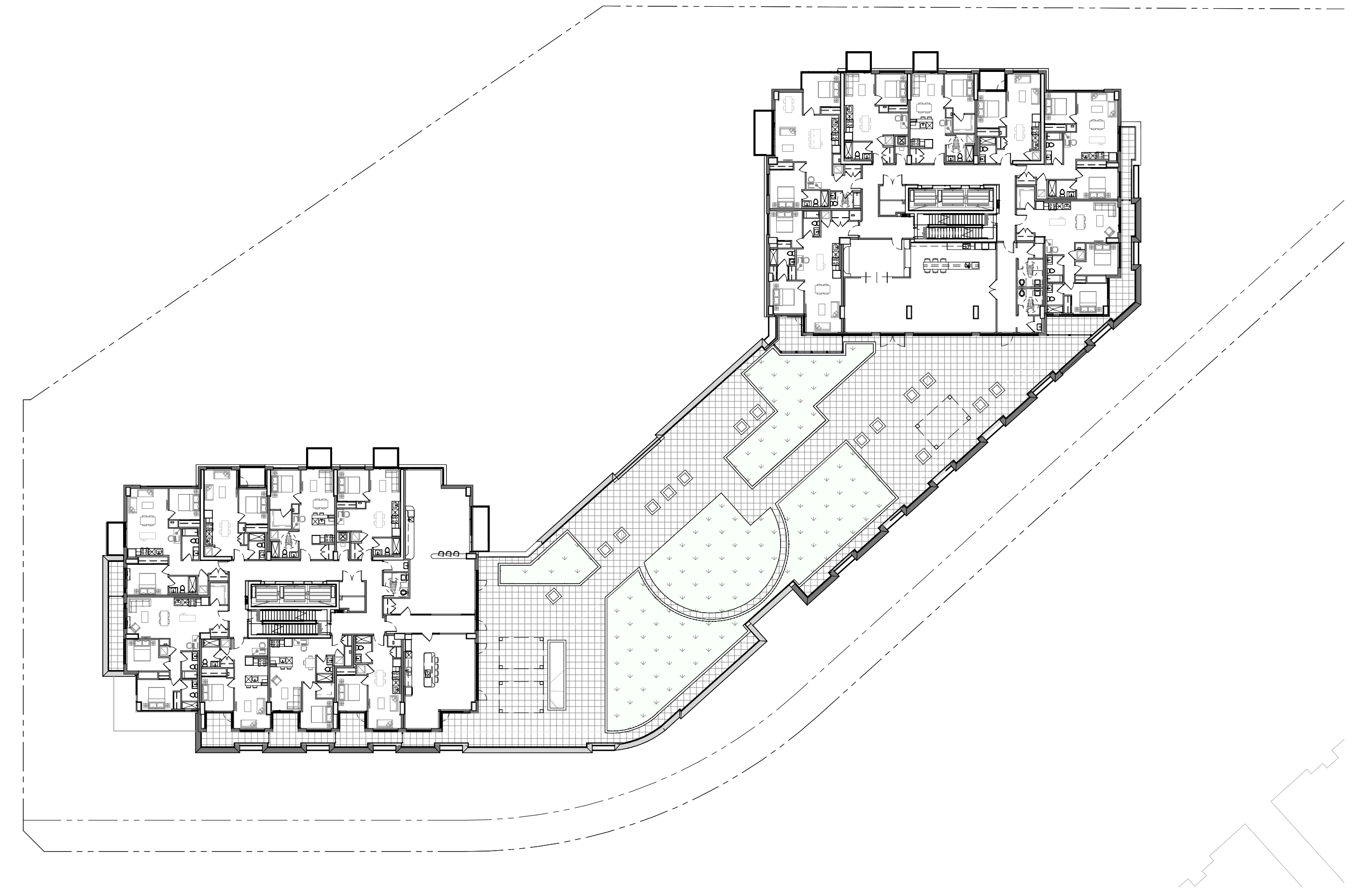
OTTAWA, ON

SHEET TITLE: **FLOOR PLANS**

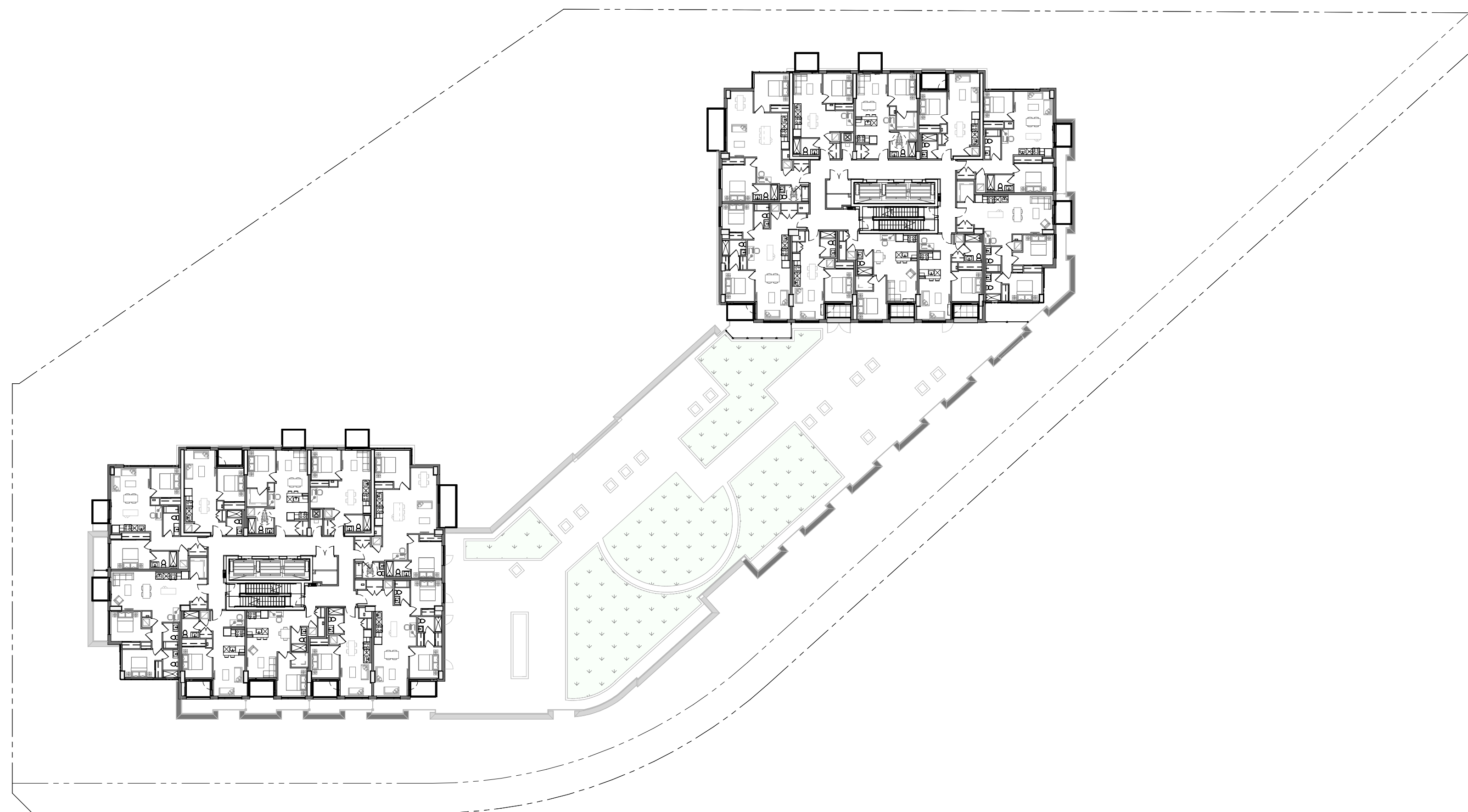
DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 350	SHEET No: 3
PROJECT No: 1910	



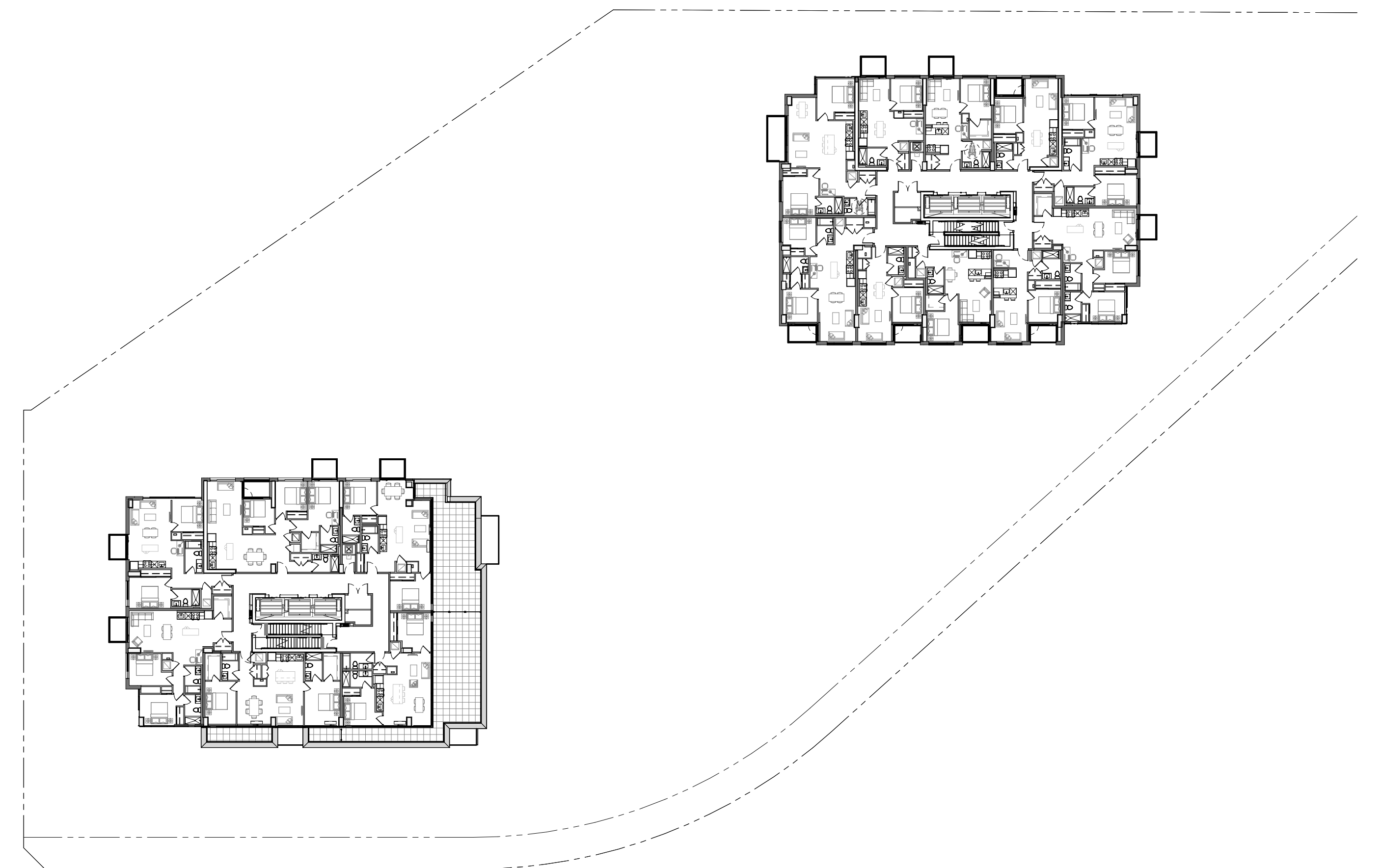
LEVEL 2 FLOOR PLAN



LEVEL 3 FLOOR PLAN




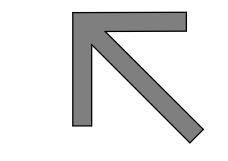
LEVEL 4-19 FLOOR PLAN



LEVEL 20-21 FLOOR PLAN

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT: 

ARCHITECT: 
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodricklaney.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
FLOOR PLANS

DRAWN: S.S	CHECKED: R.V.
SCALE: 1 : 350	SHEET No: 4
PROJECT No: 1910	



WEST ELEVATION



EAST ELEVATION




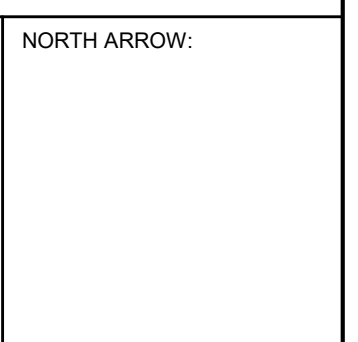
NORTH ELEVATION



SOUTH ELEVATION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.

No.	DESCRIPTION	DD.MM.YY
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:


ARCHITECT:

 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 400	SHEET No: 6
PROJECT No: 1910	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



13 SPC UPDATE	31 JAN 2023
No. DESCRIPTION	DD.MM.YY

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

ARCHITECT:

56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:

WEST ELEVATION-ENLARGED


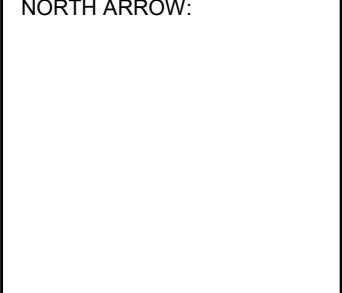
DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: 61
PROJECT No: 1910	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



13 SPC UPDATE	31 JAN 2023
No. DESCRIPTION	DD.MM.YY

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:


ARCHITECT:

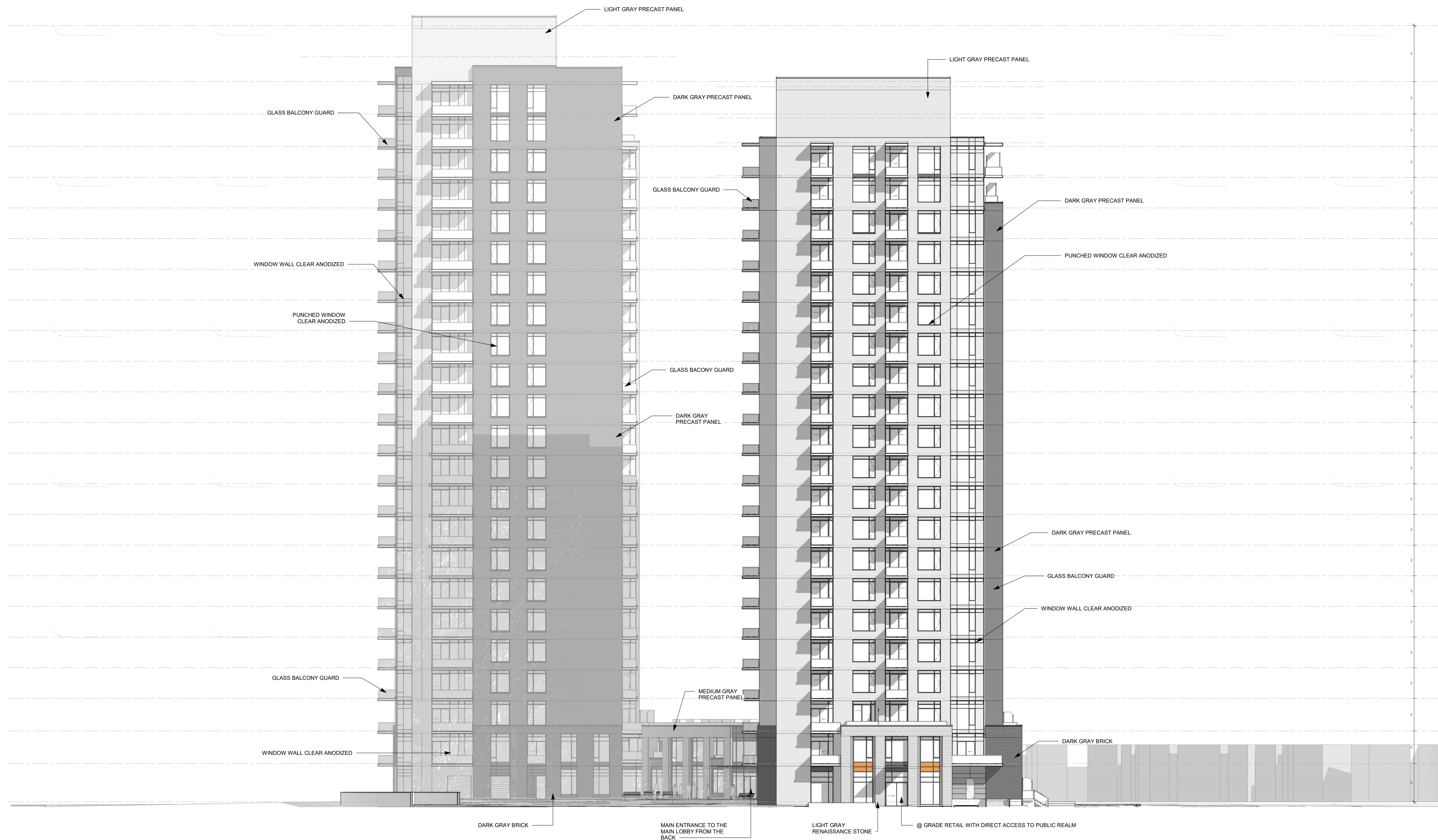
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
EAST ELEVATION-ENLARGED

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: 62
PROJECT No: 1910	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023



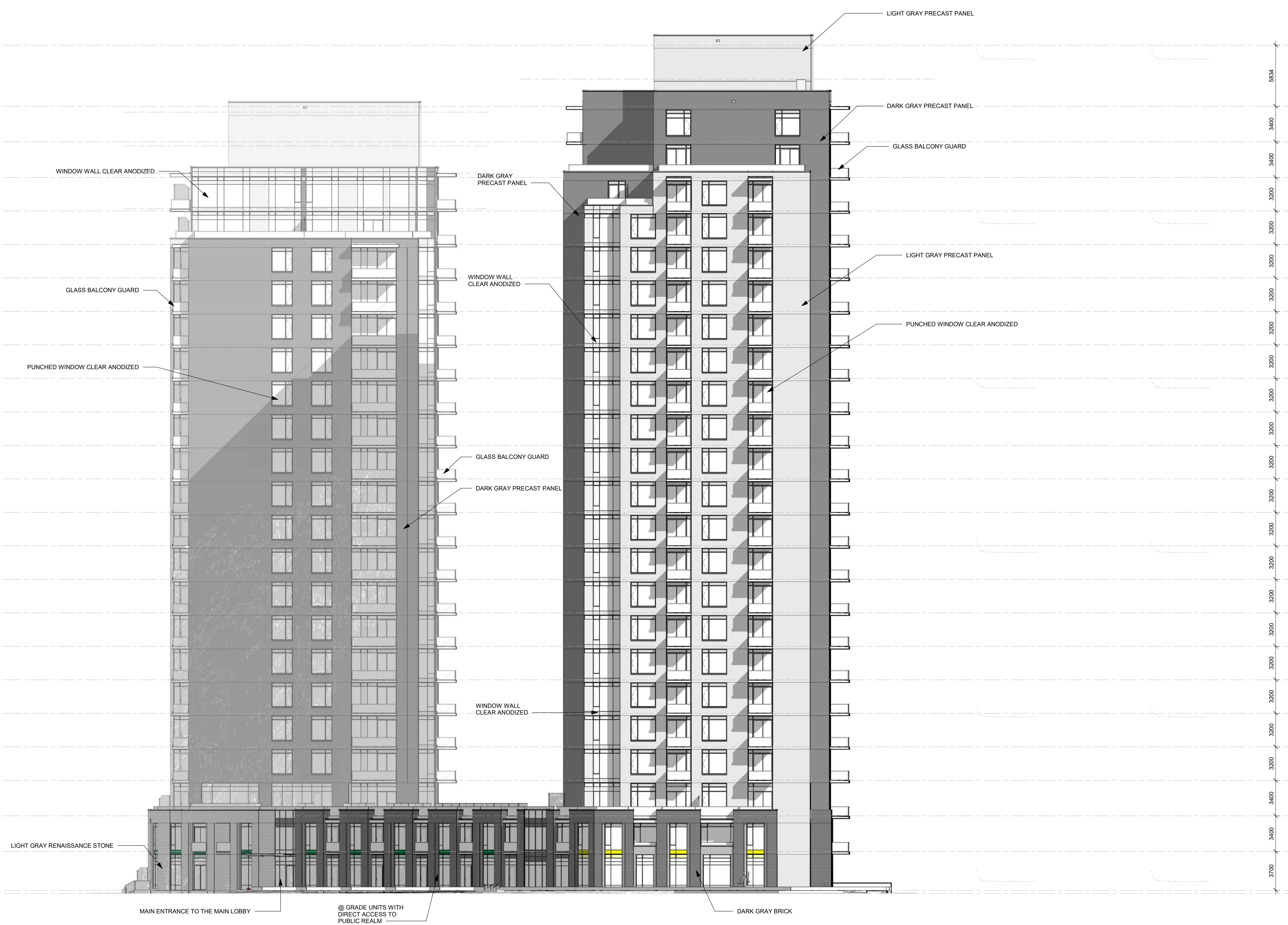
NORTH ARROW:
 CLIENT:
RICHCRAFT
 Group Of Companies

ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON
 SHEET TITLE:
NORTH ELEVATION-ENLARGED

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: 63
PROJECT No: 1910	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023



NORTH ARROW:
 CLIENT:
RICHCRAFT
 Group Of Companies

ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodrickandcarey.ca

PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON
 SHEET TITLE:
SOUTH ELEVATION-ENLARGED

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: 64
PROJECT No: 1910	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.



13	SPC UPDATE	31 JAN 2023
No.	DESCRIPTION	DD.MM.YY

REVISIONS:

ARCHITECT SEAL: 	NORTH ARROW:
---------------------	--------------

CLIENT:

ARCHITECT:

 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE:
19 CENTREPOINTE DR
 OTTAWA, ON

SHEET TITLE:
AERIAL VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 7
PROJECT No: 1910	

1- 3D VIEW LOOKING NORTH EAST



2- 3D VIEW LOOKING EAST



3- 3D VIEW LOOKING NORTH



4- 3D VIEW LOOKING SOUTH-WEST



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:


ARCHITECT:

56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodricklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 8
PROJECT No: 1910	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.



1- 3D VIEW LOOKING FROM CENTREPOINTE- GEMINI WAY INTERSECTION



2- 3D VIEW LOOKING FROM EAST



No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

ARCHITECT:

56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE:
19 CENTREPOINTE DR
OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S.	CHECKED: R.V.
SCALE:	SHEET No: 9
PROJECT No: 1910	

1- 3D VIEW LOOKING TOWARD MAIN ENTRANCE FROM CENTREPOINTE DR



2- 3D VIEW LOOKING NORTH-EAST



3- 3D VIEW LOOKING NORTH-EAST FROM CENTREPOINTE DR



4- 3D VIEW LOOKING NORTH

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

13	SPC UPDATE	31 JAN 2023
No.	DESCRIPTION	DD.MM.YY

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

ARCHITECT:

 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
3D VIEWS

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 10
PROJECT No: 1910	

1- 3D VIEW LOOKING TOWARD ENTRANCE FROM CENTREPOINTE DR



2- 3D VIEW LOOKING TOWARD ENTRANCE FROM CENTREPOINTE DR



3- 3D VIEW LOOKING NORTH TOWARD TOWN HOUSES



4- 3D VIEW LOOKING SOUTH-WEST TOWARD ENTRANCE

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL: NORTH ARROW:

CLIENT:

ARCHITECT:
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
ENLARGED 3D VIEWS

DRAWN: S.S. CHECKED: R.V.

SCALE: SHEET No: **11**

PROJECT No: 1910



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.

13	SPC UPDATE	31 JAN 2023
No.	DESCRIPTION	DD.MM.YY

REVISIONS:

	NORTH ARROW:
---	--------------

CLIENT:



ARCHITECT:

rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:

3D VIEW LOOKING TOWARD
 ENTRANCE AND TOWN
 HOUSES

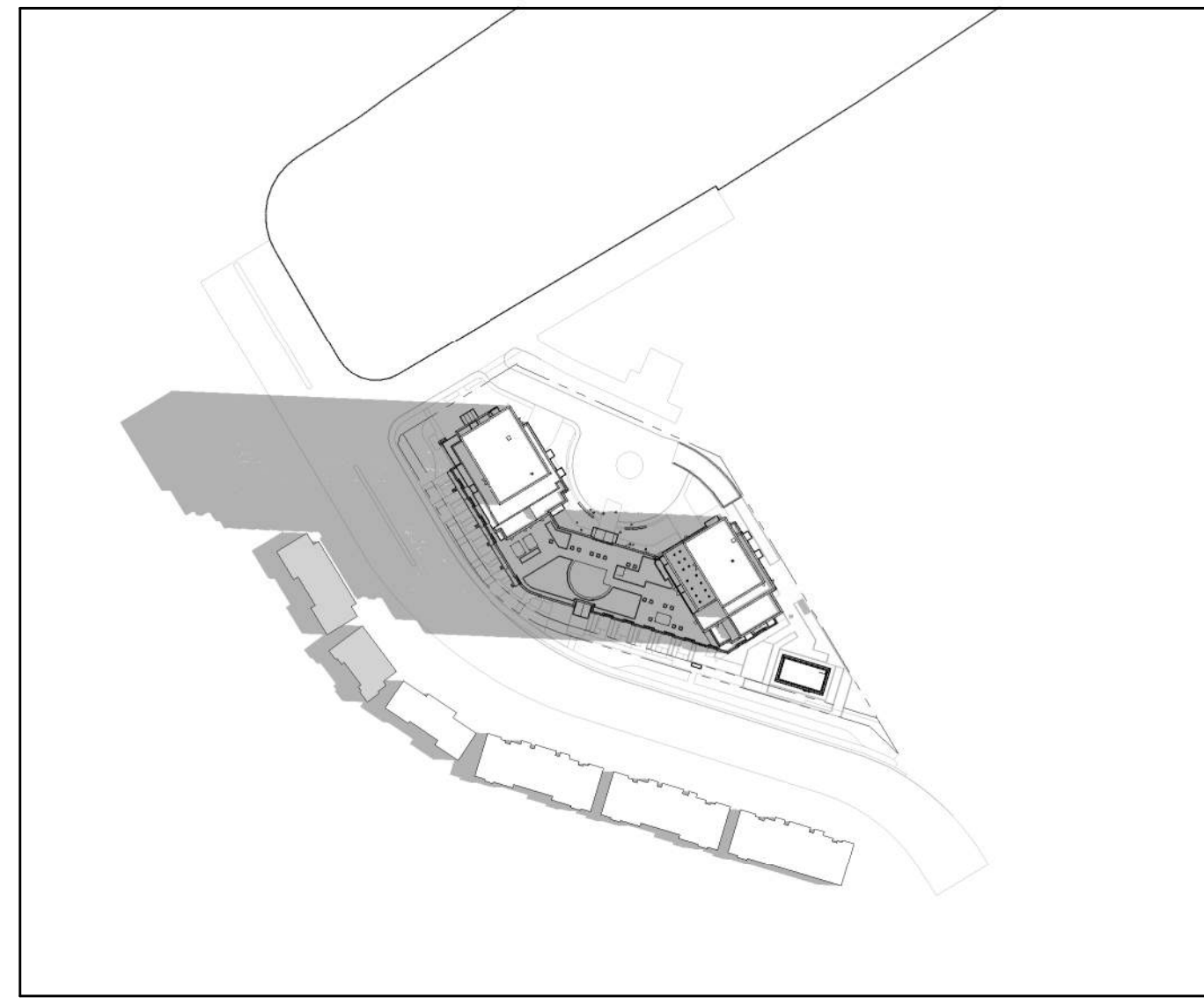
DRAWN: Author	CHECKED: Checker
------------------	---------------------

SCALE:	SHEET No:
--------	-----------

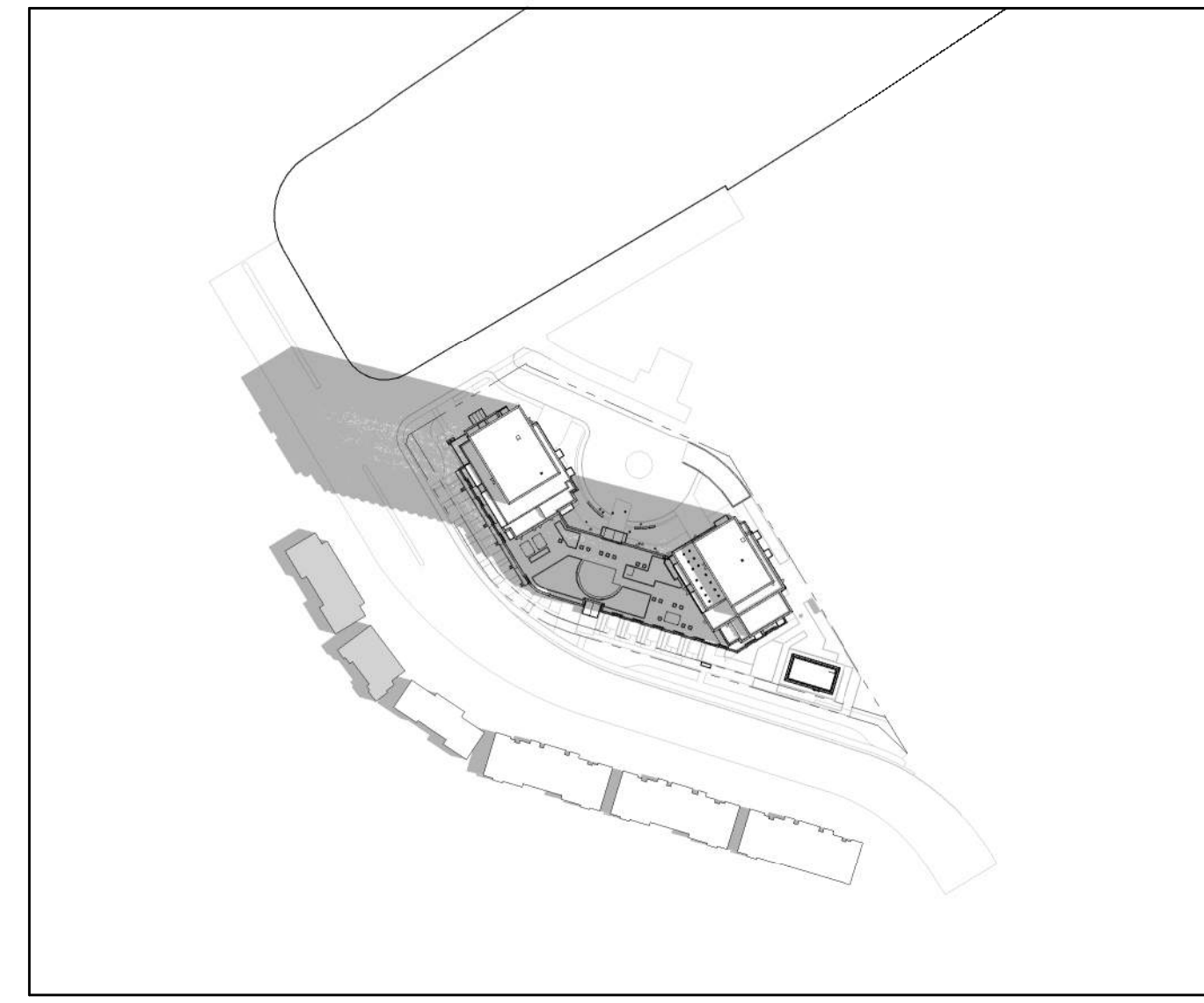
12

PROJECT No: 1910

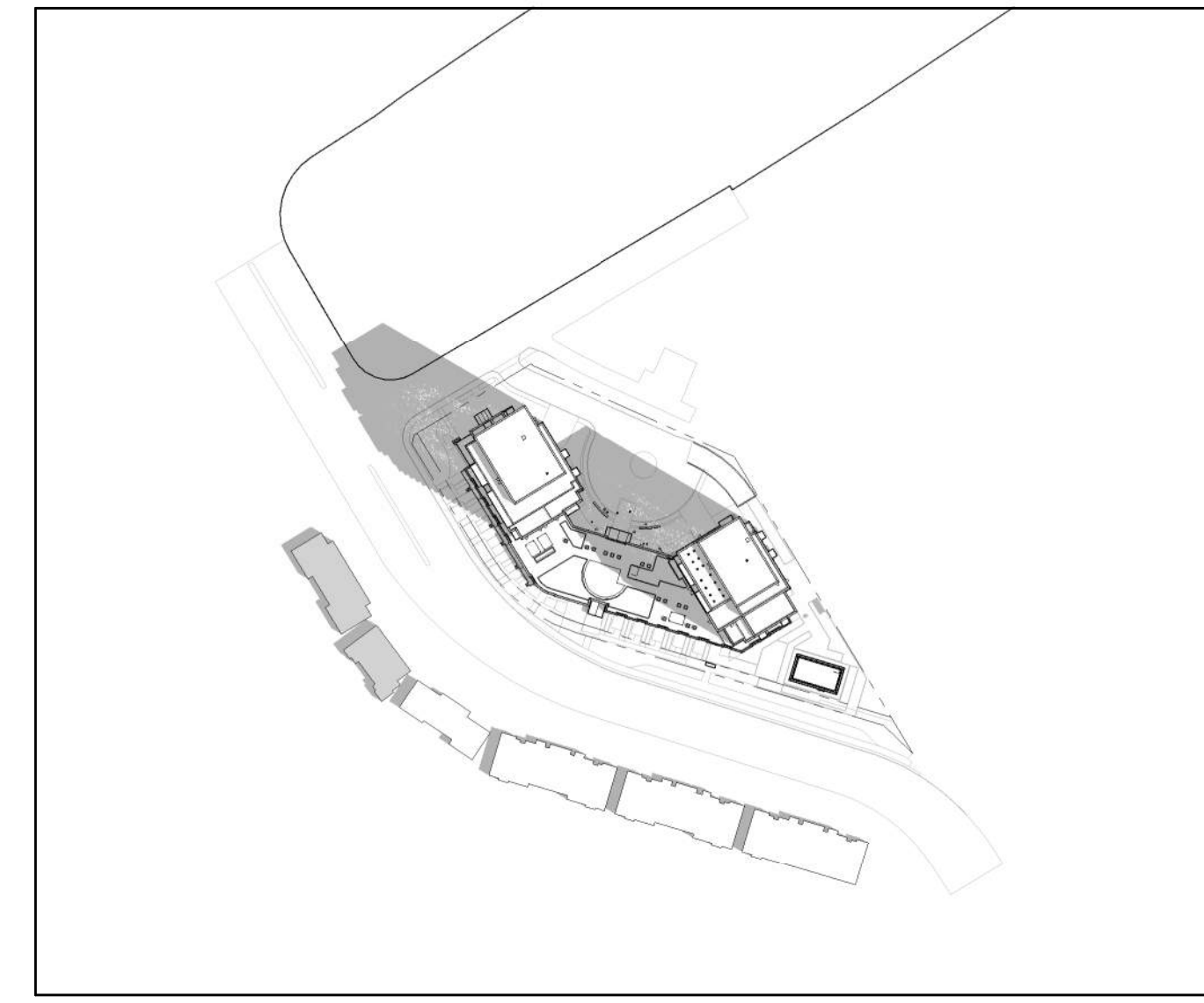
JUNE 21 (DST)



8:00 AM



9:00 AM



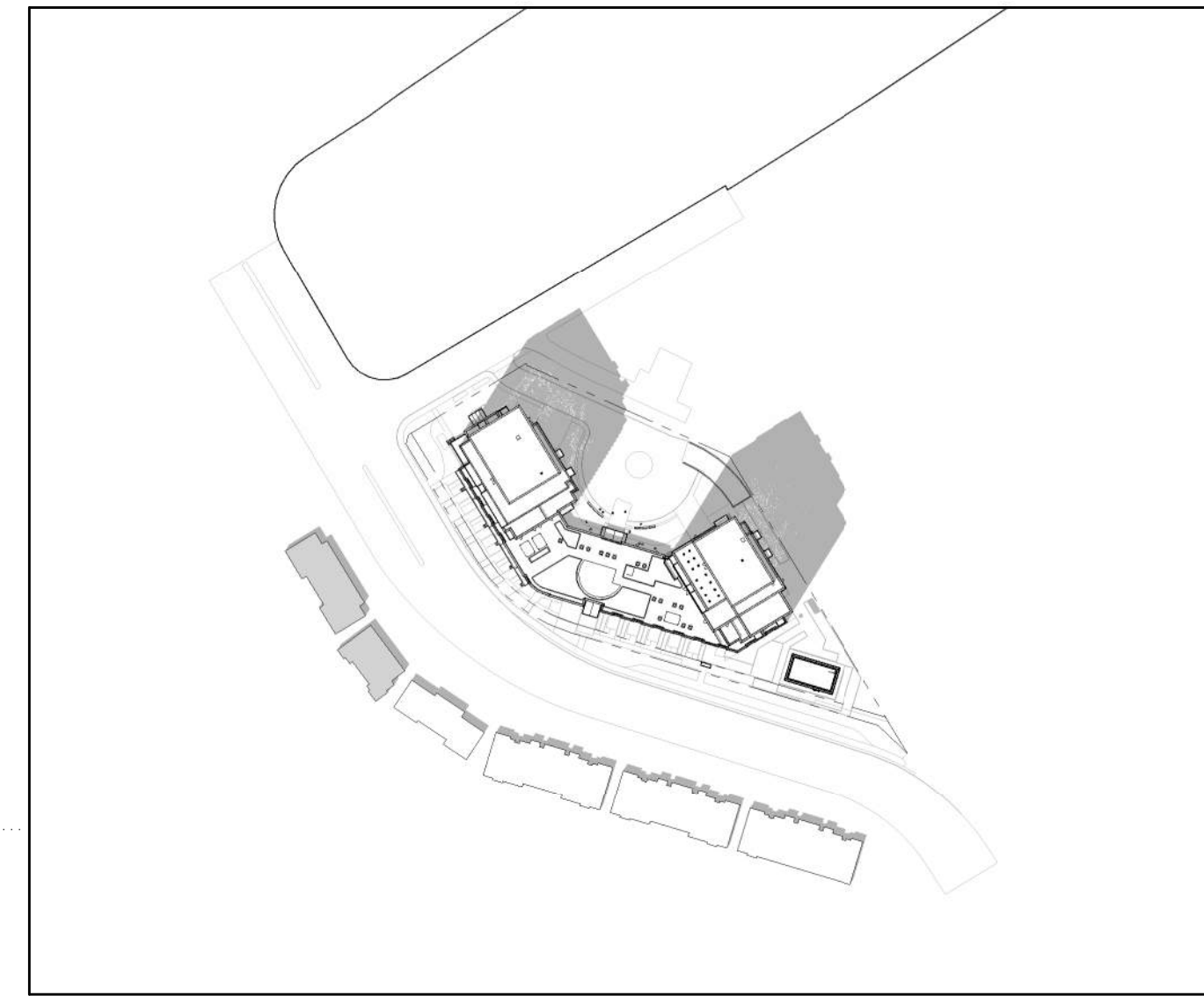
10:00 AM



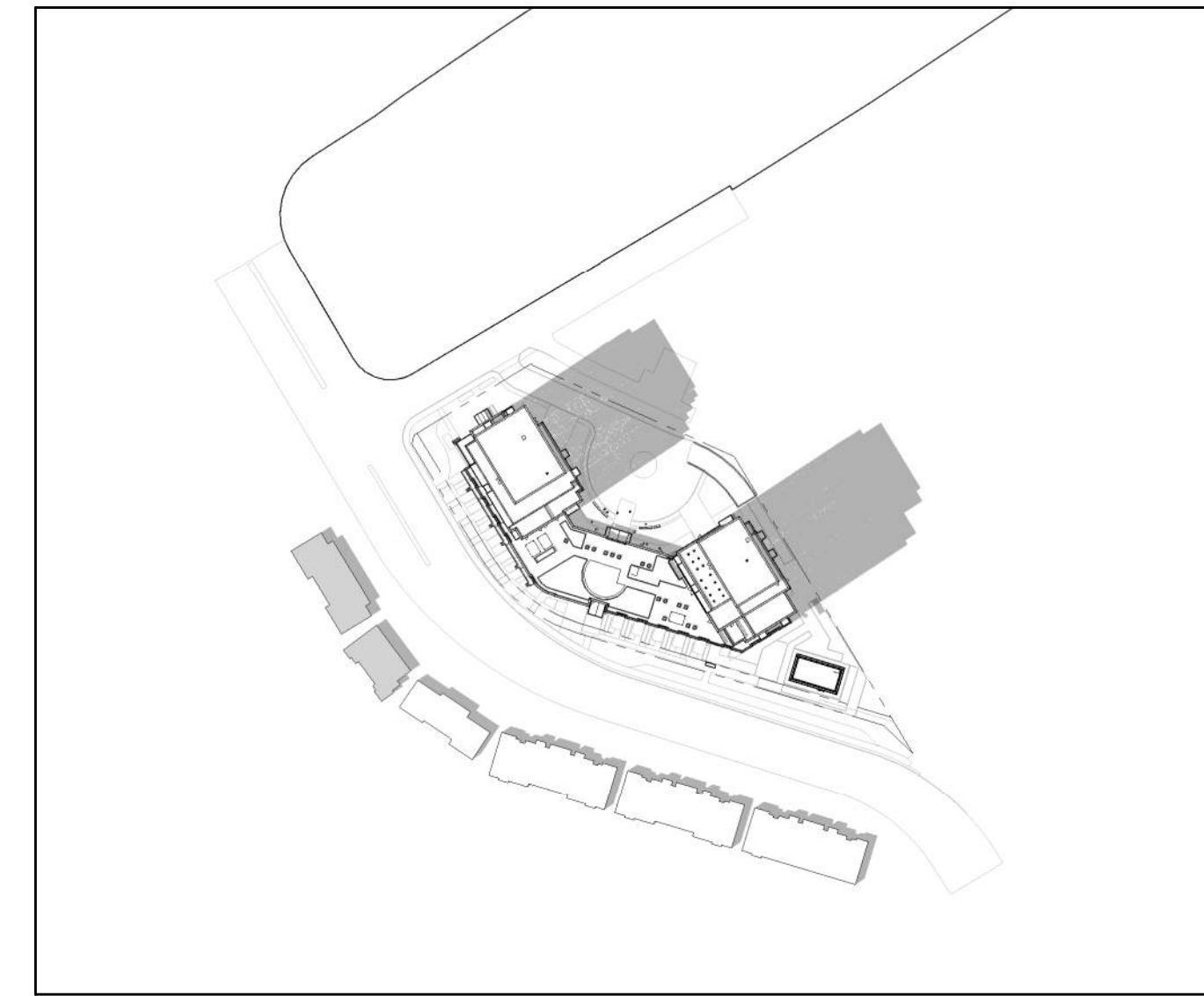
11:00 AM



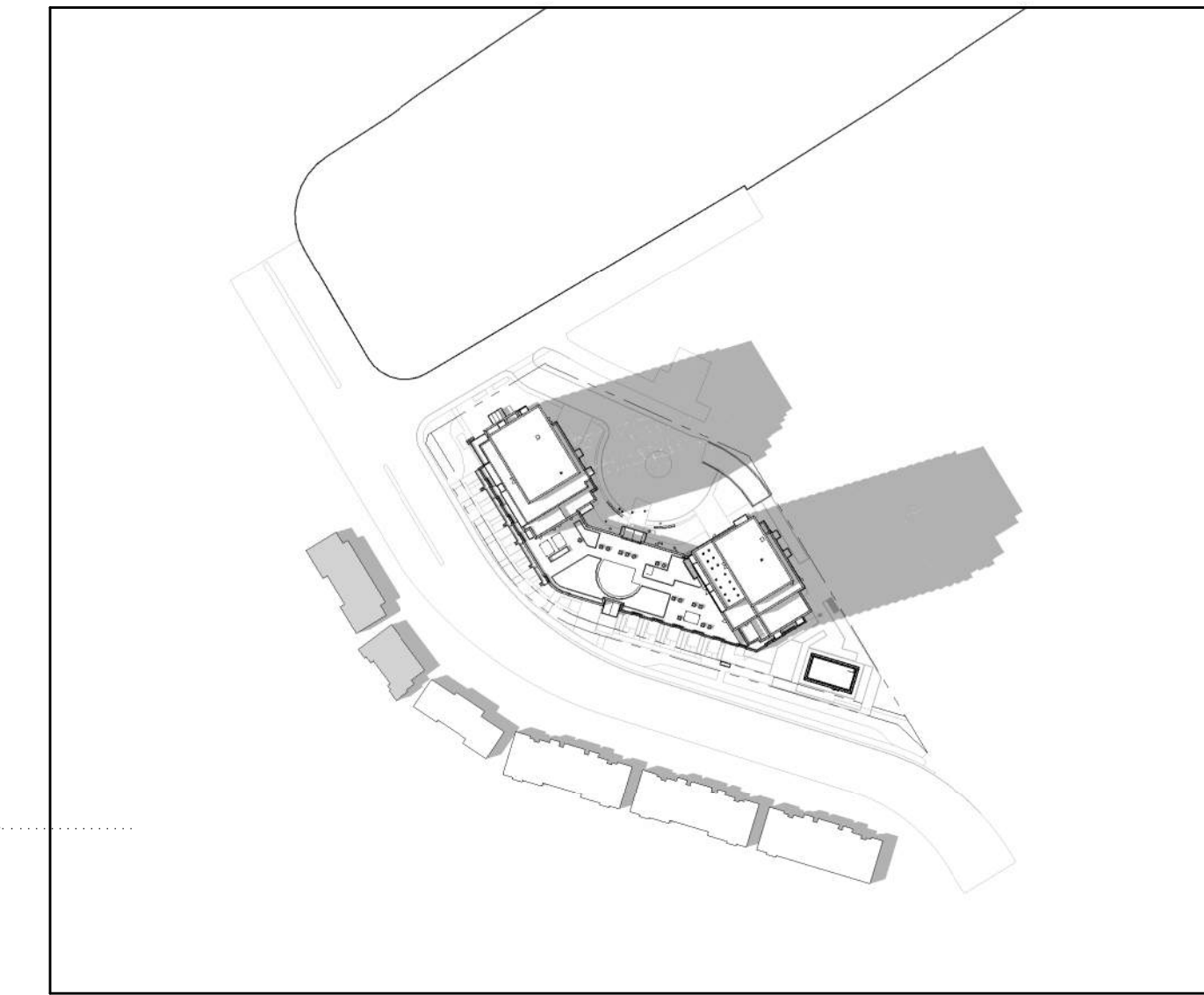
12:00 PM



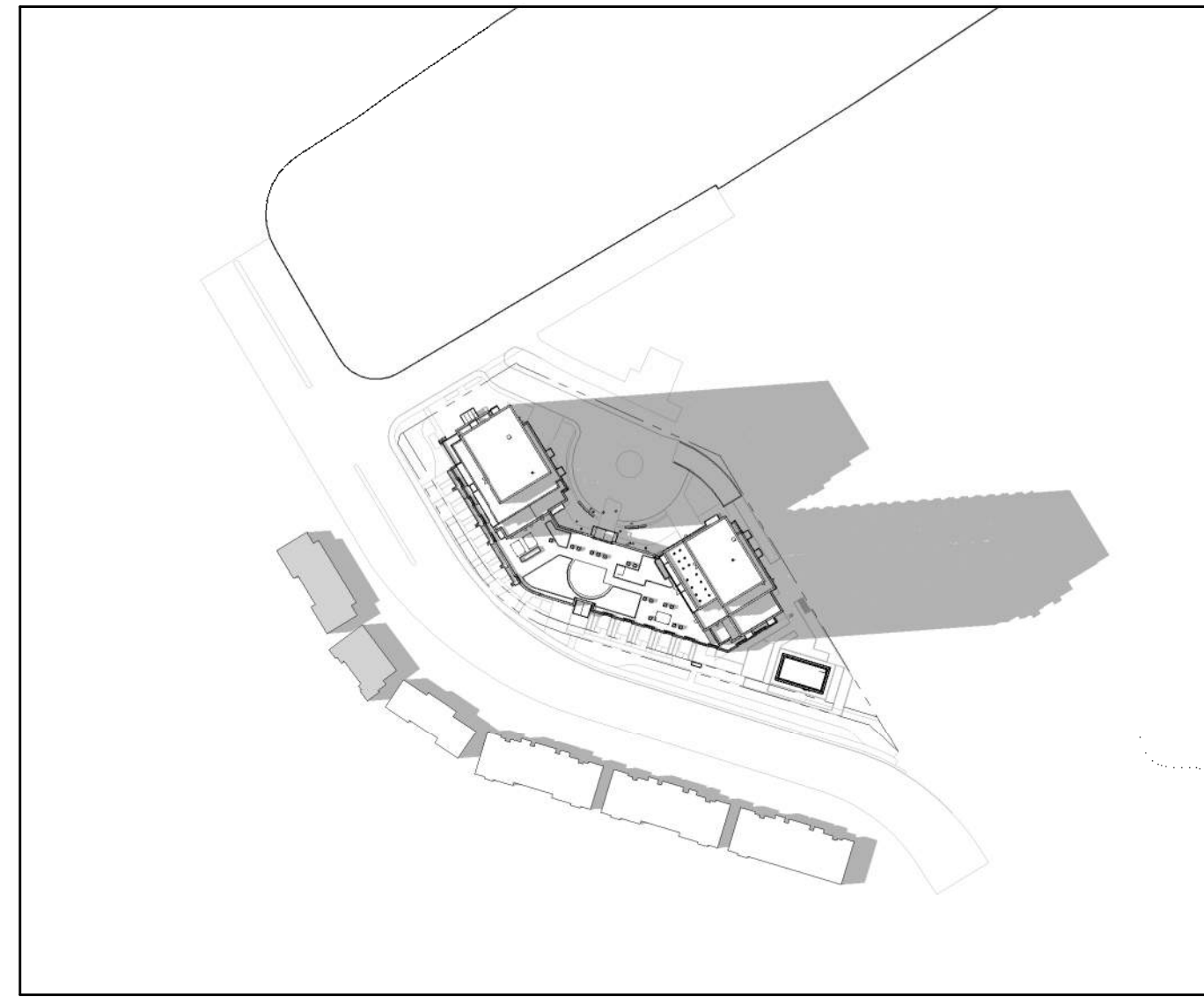
1:00 PM



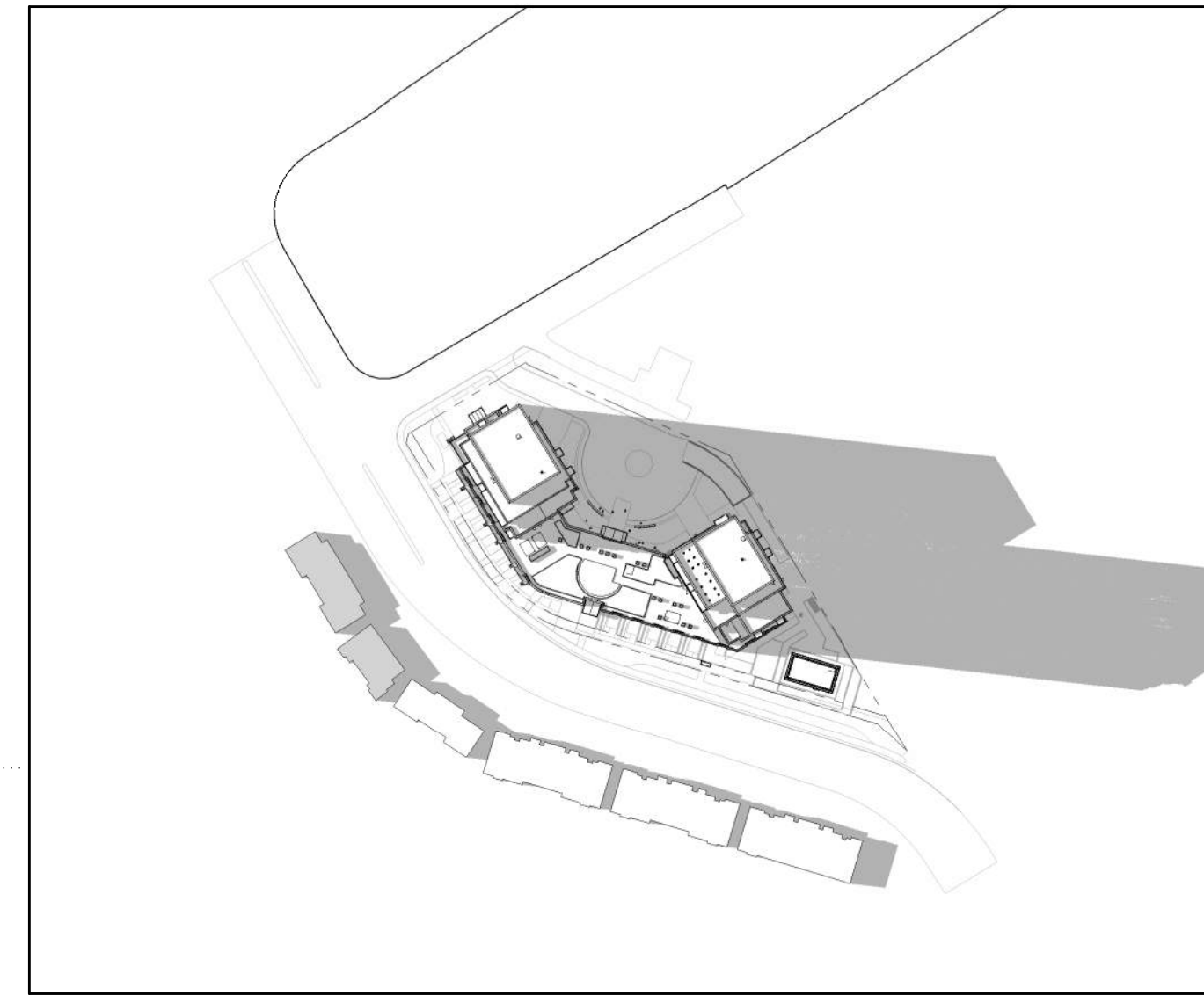
2:00 PM



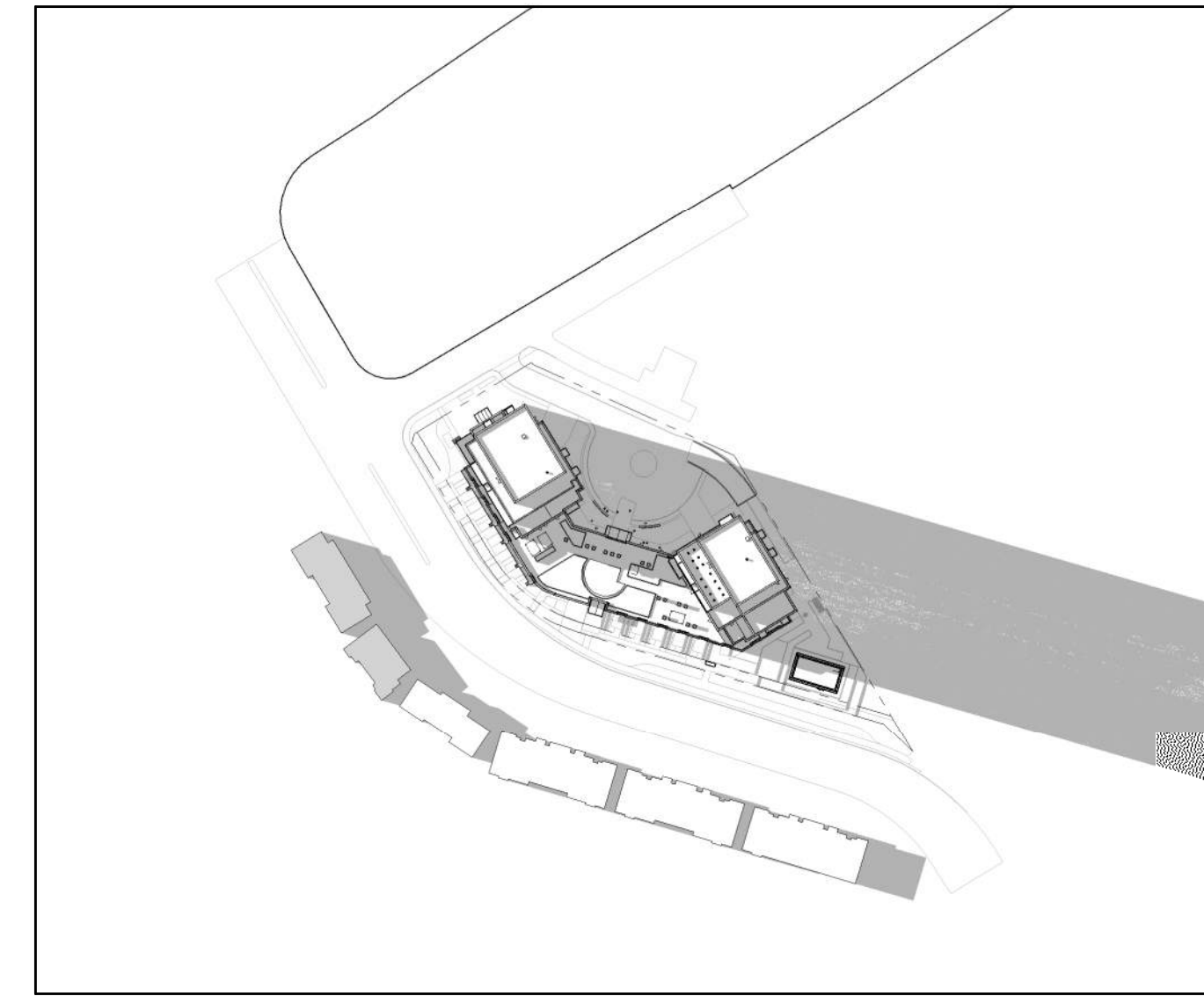
3:00 PM



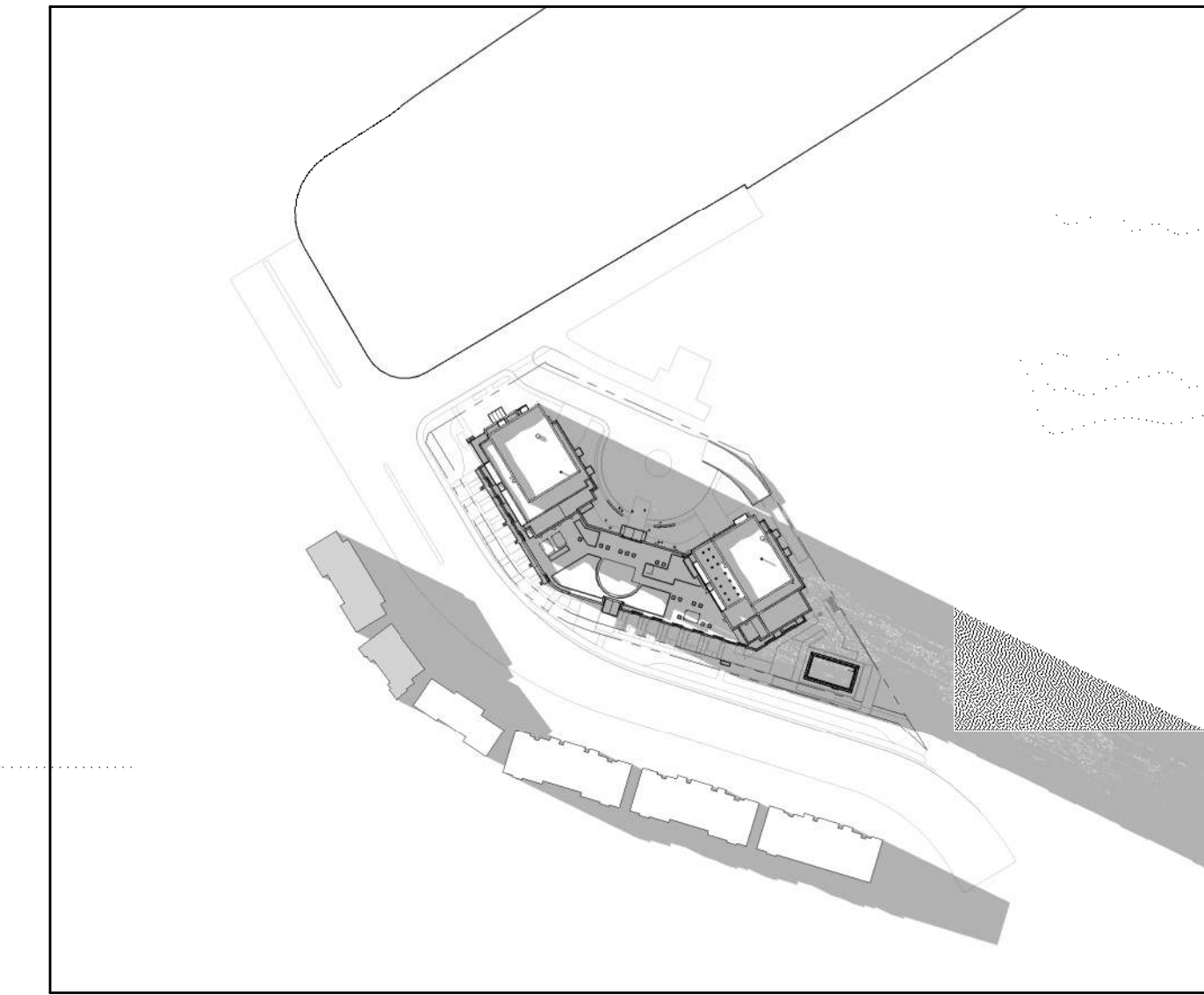
4:00 PM



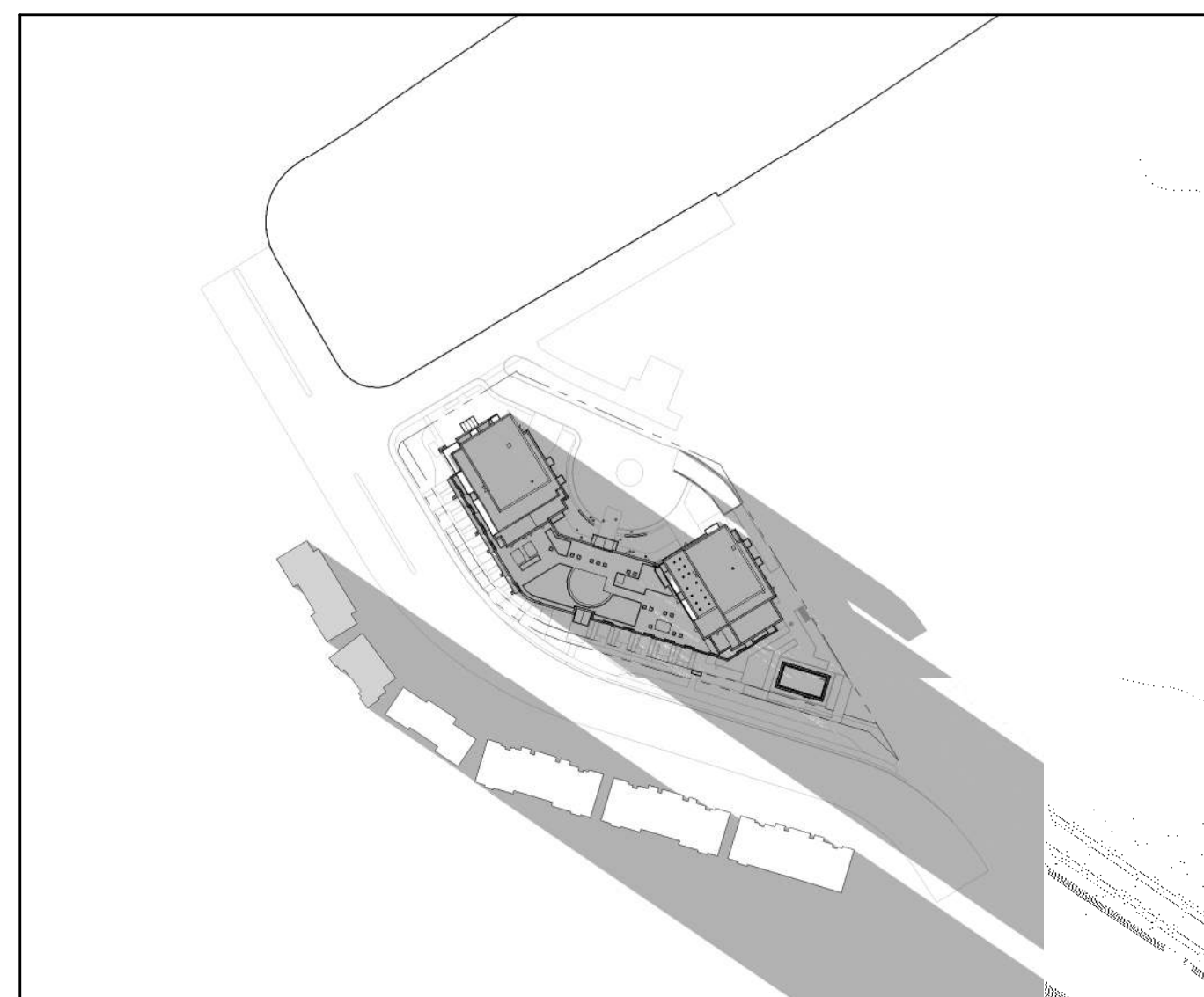
5:00 PM



6:00 PM




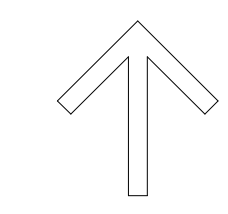
7:00 PM



8:00 PM

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **RICHCRAFT** Group Of Companies

ARCHITECT: **rla/architecture**
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahay.ca

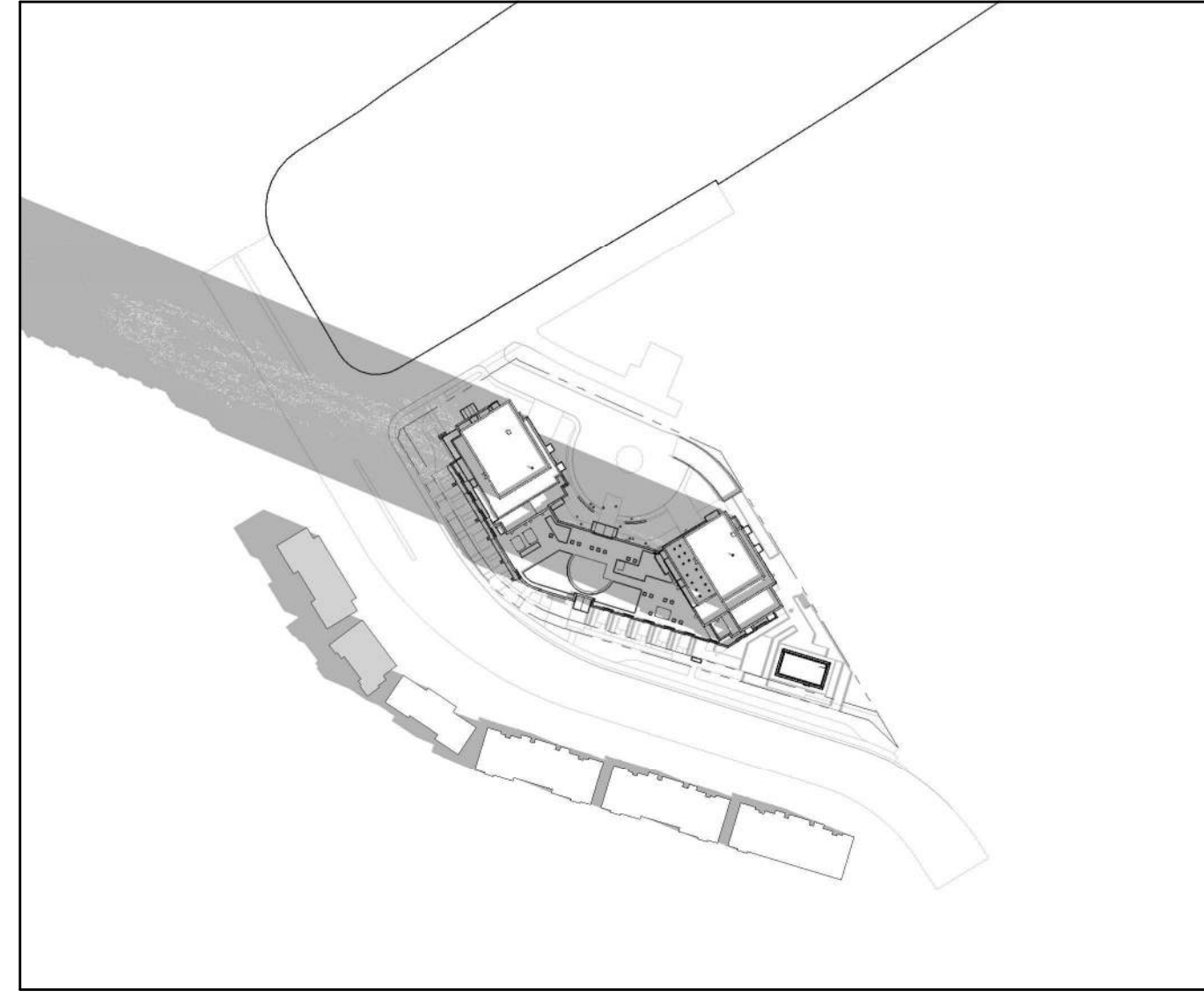
PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

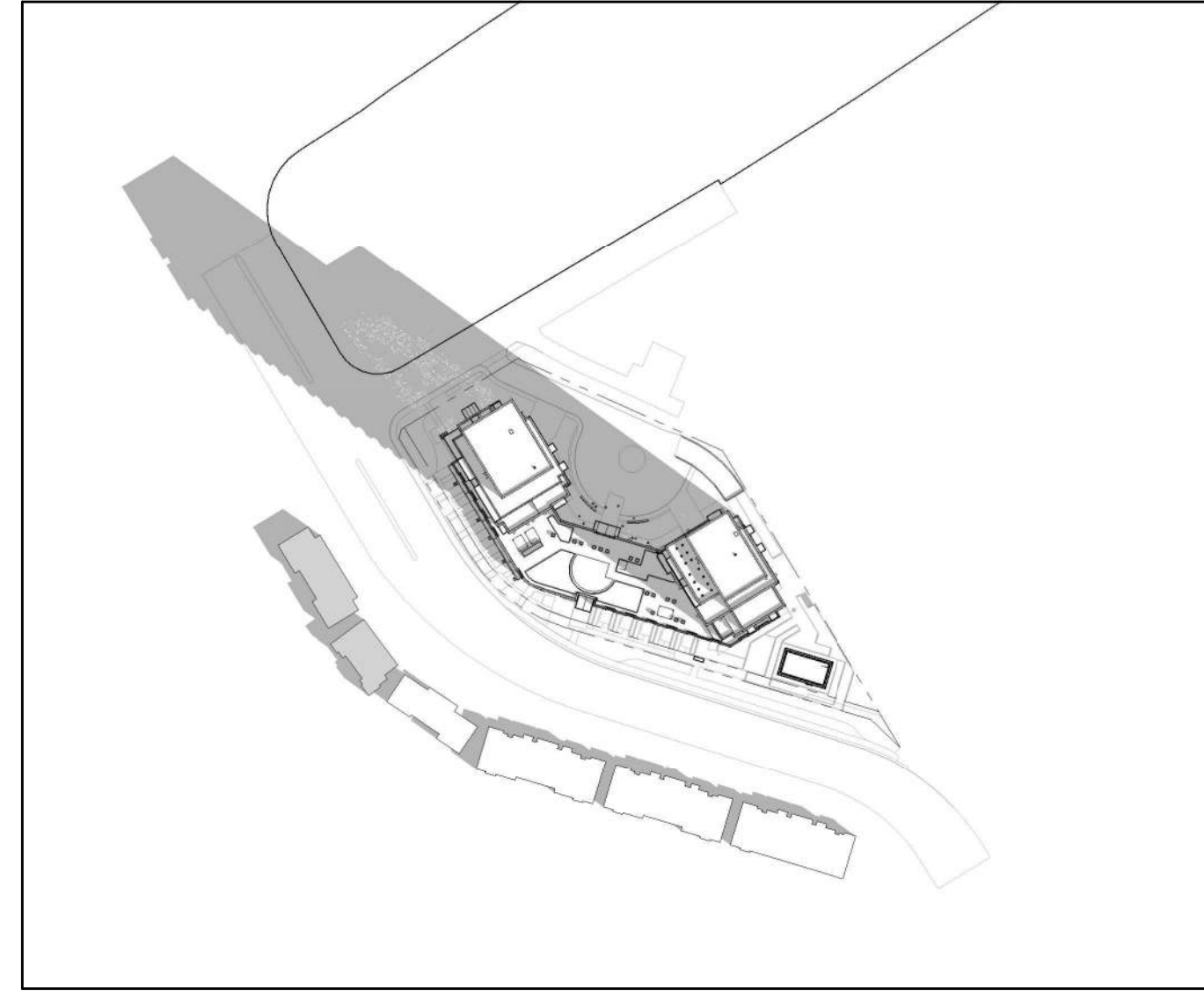
SHEET TITLE:
SUNSHADE ANALYSIS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 2000	SHEET No: 13
PROJECT No: 1910	

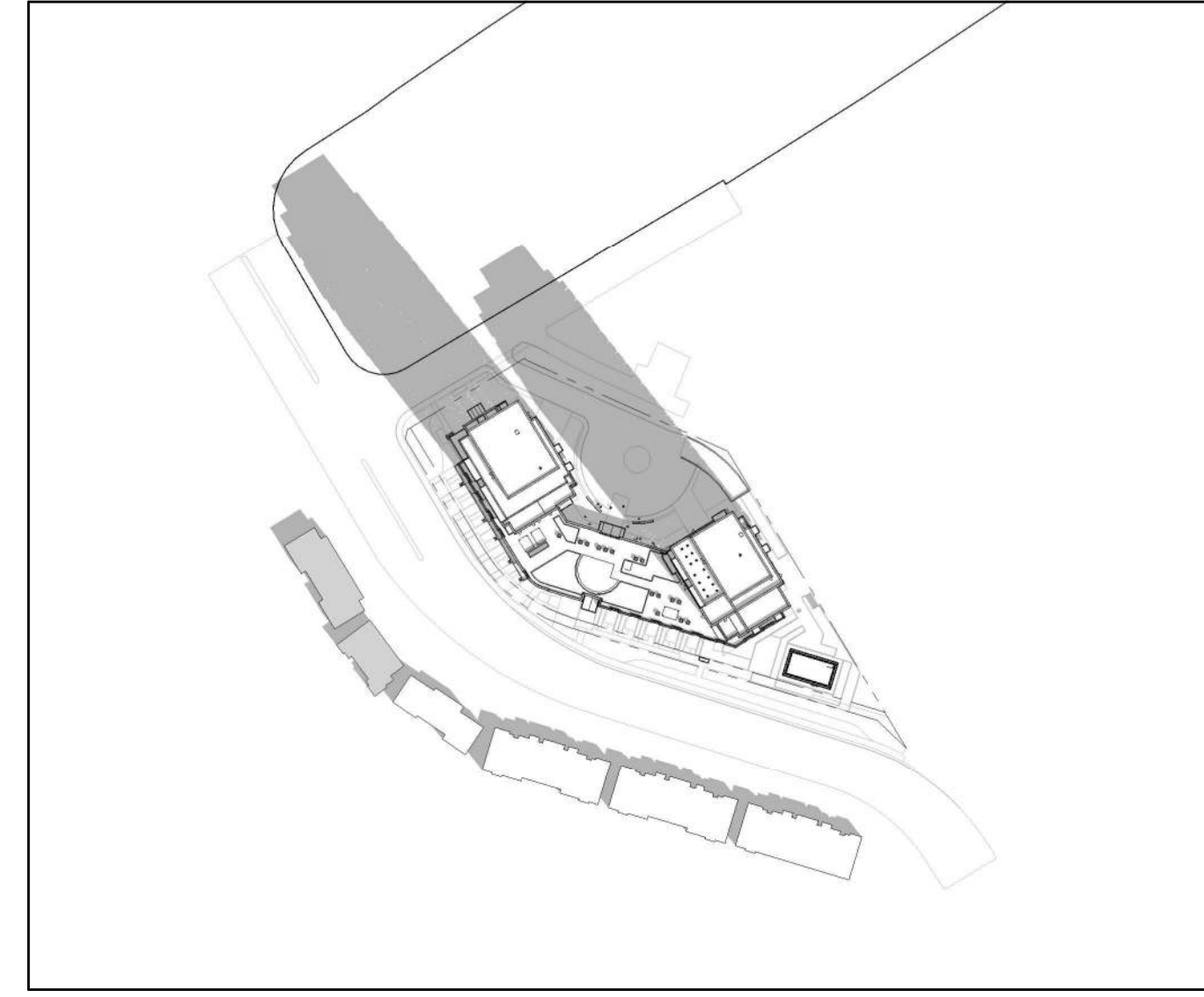
SEPTEMBER 21 (DST)



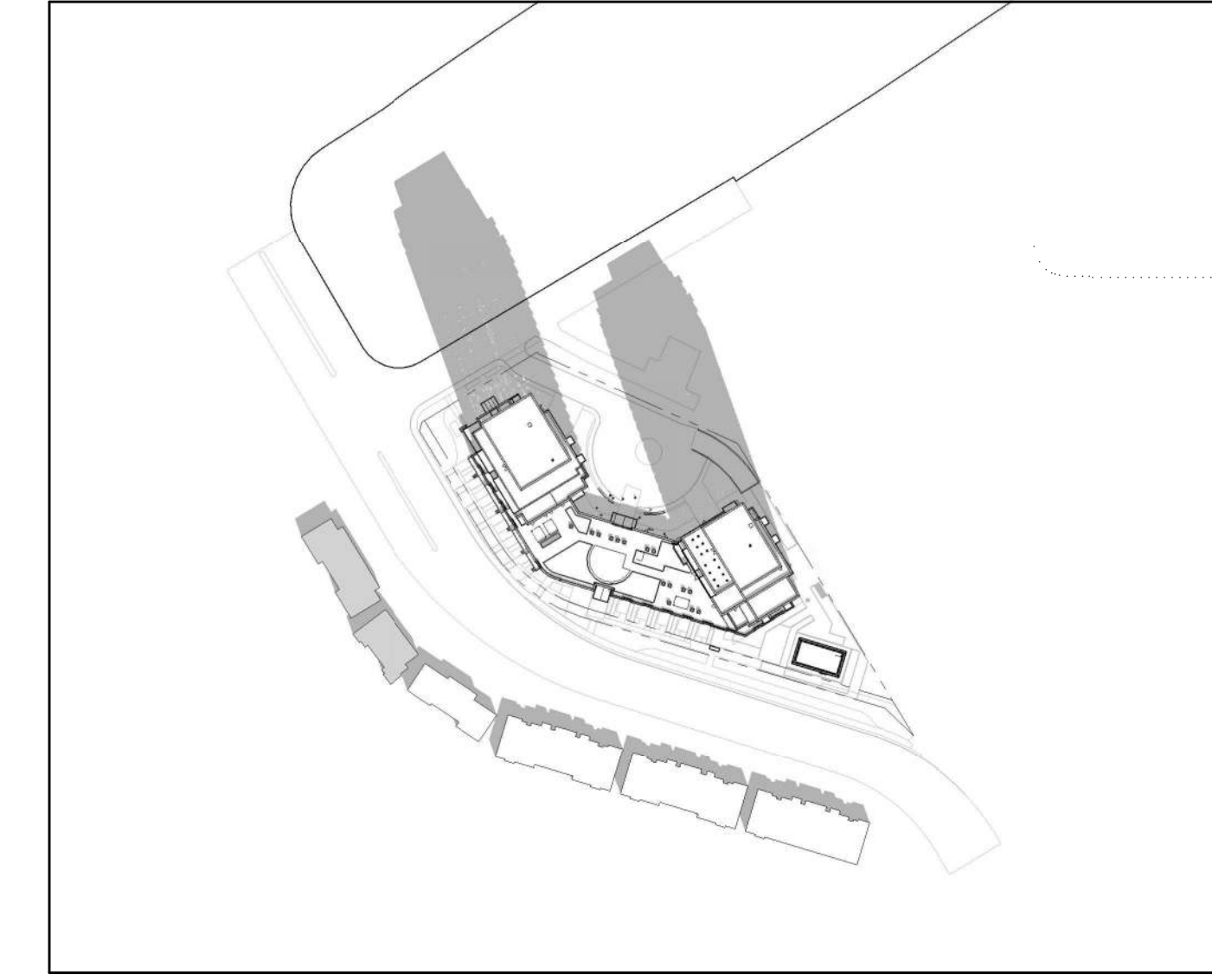
8:00 AM



9:00 AM



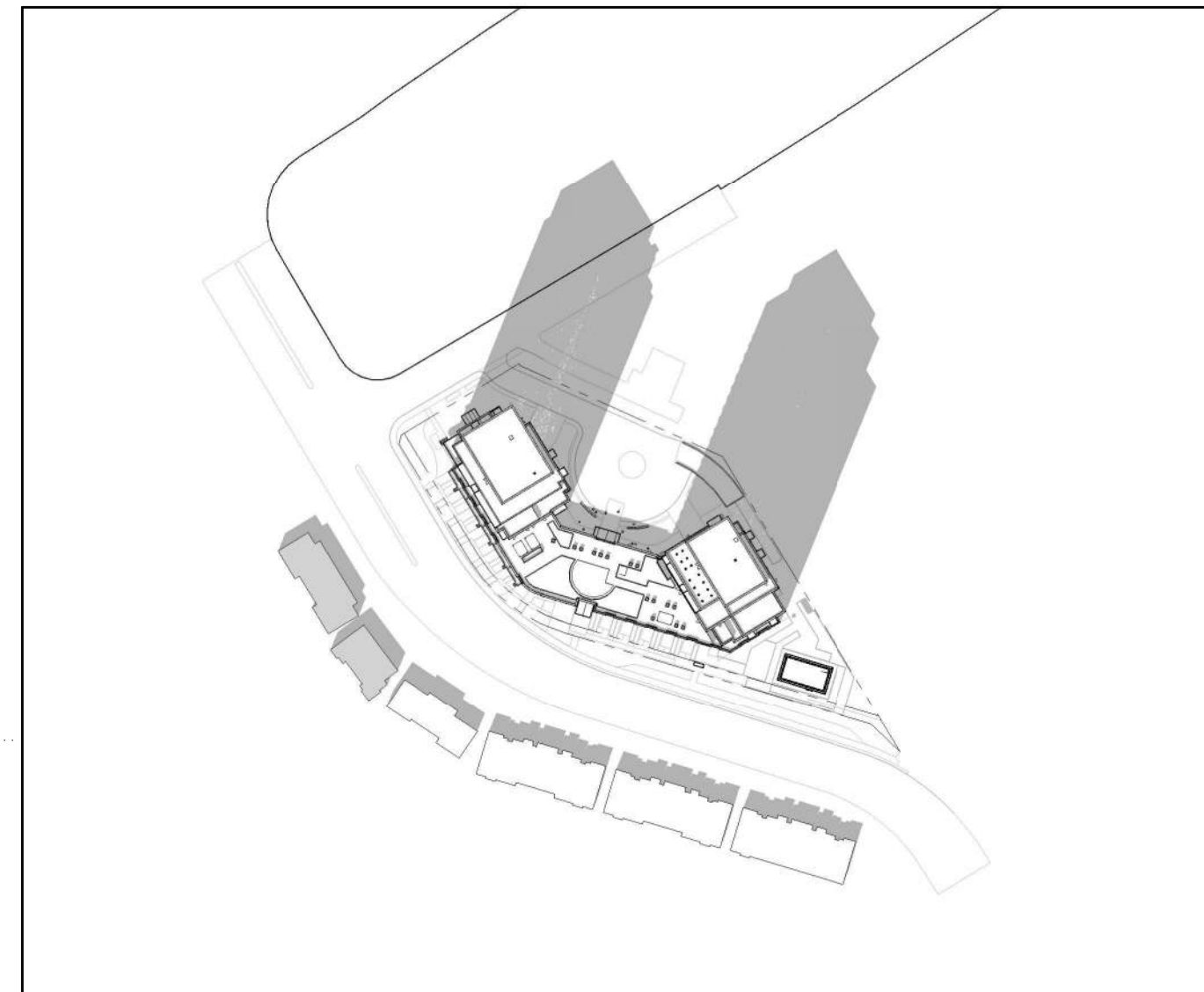
10:00 AM



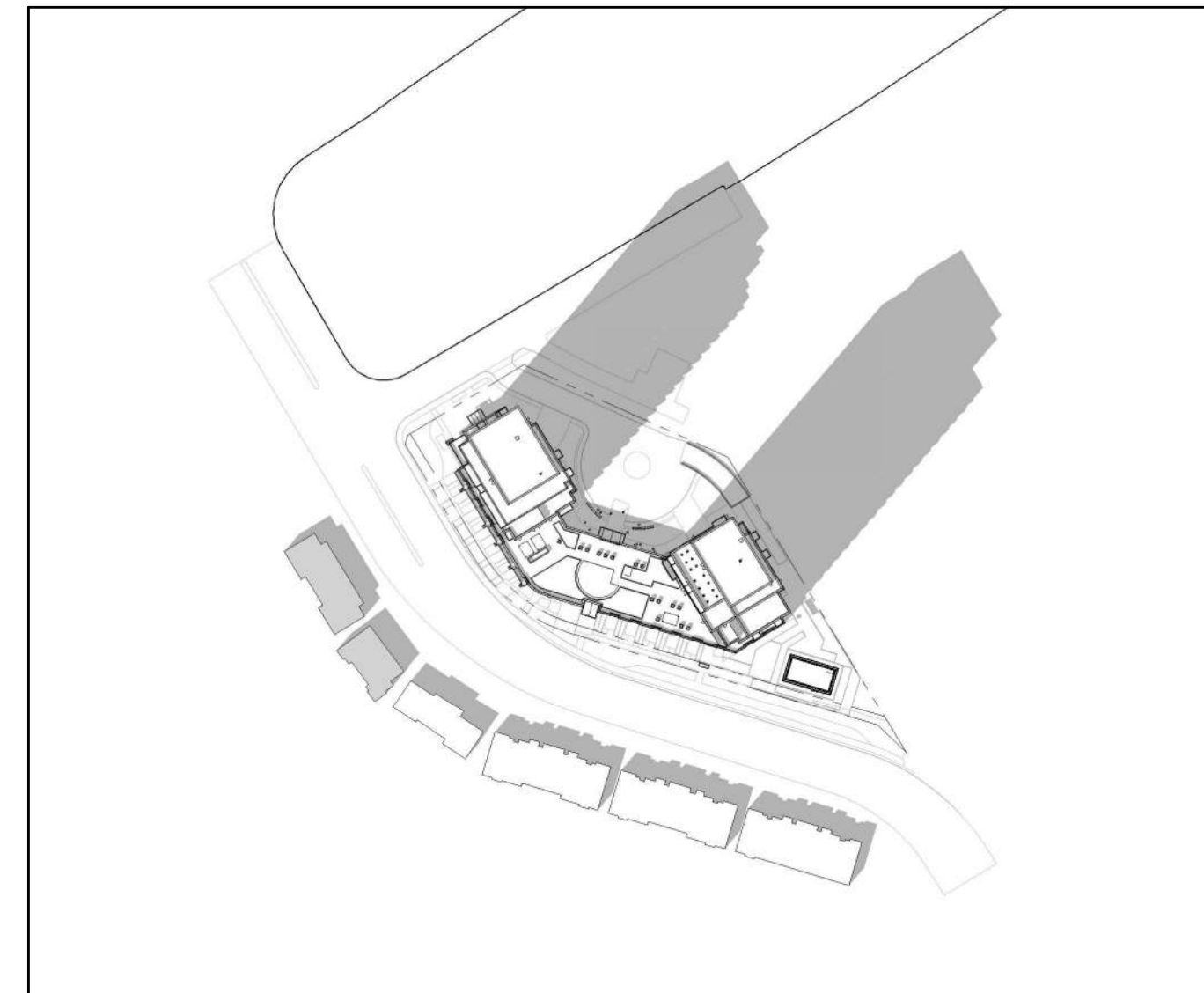
11:00 AM



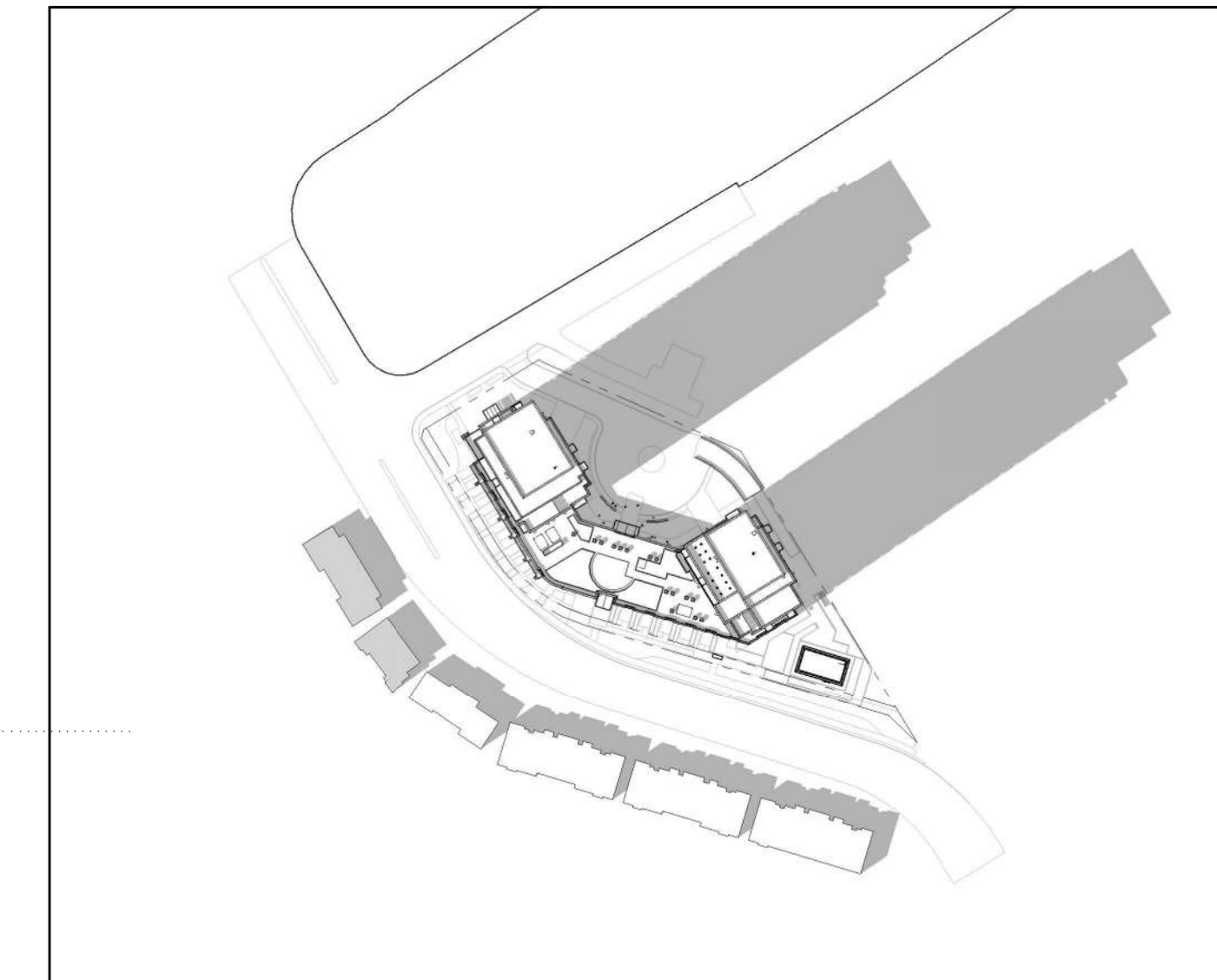
12:00 PM



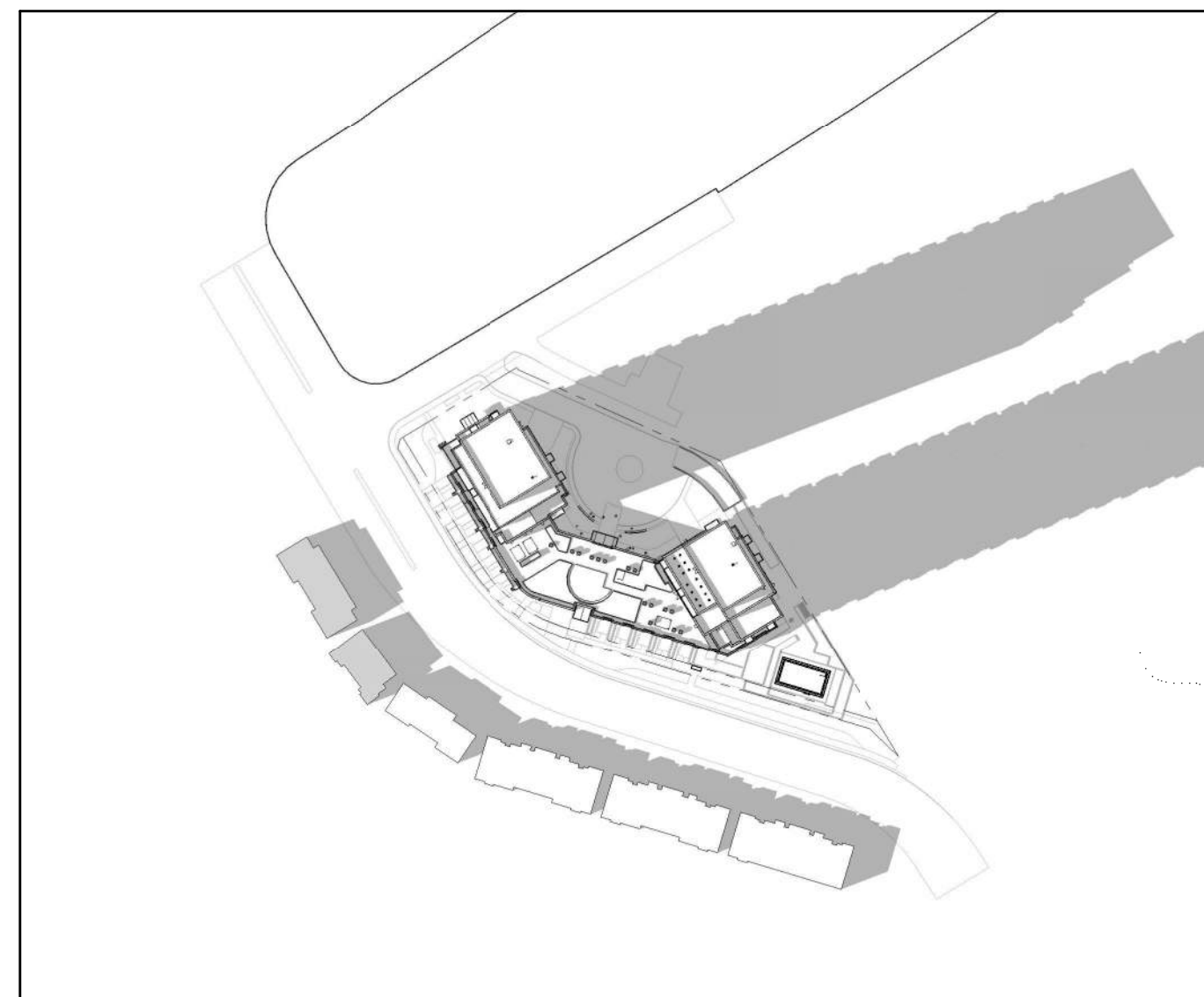
1:00 PM



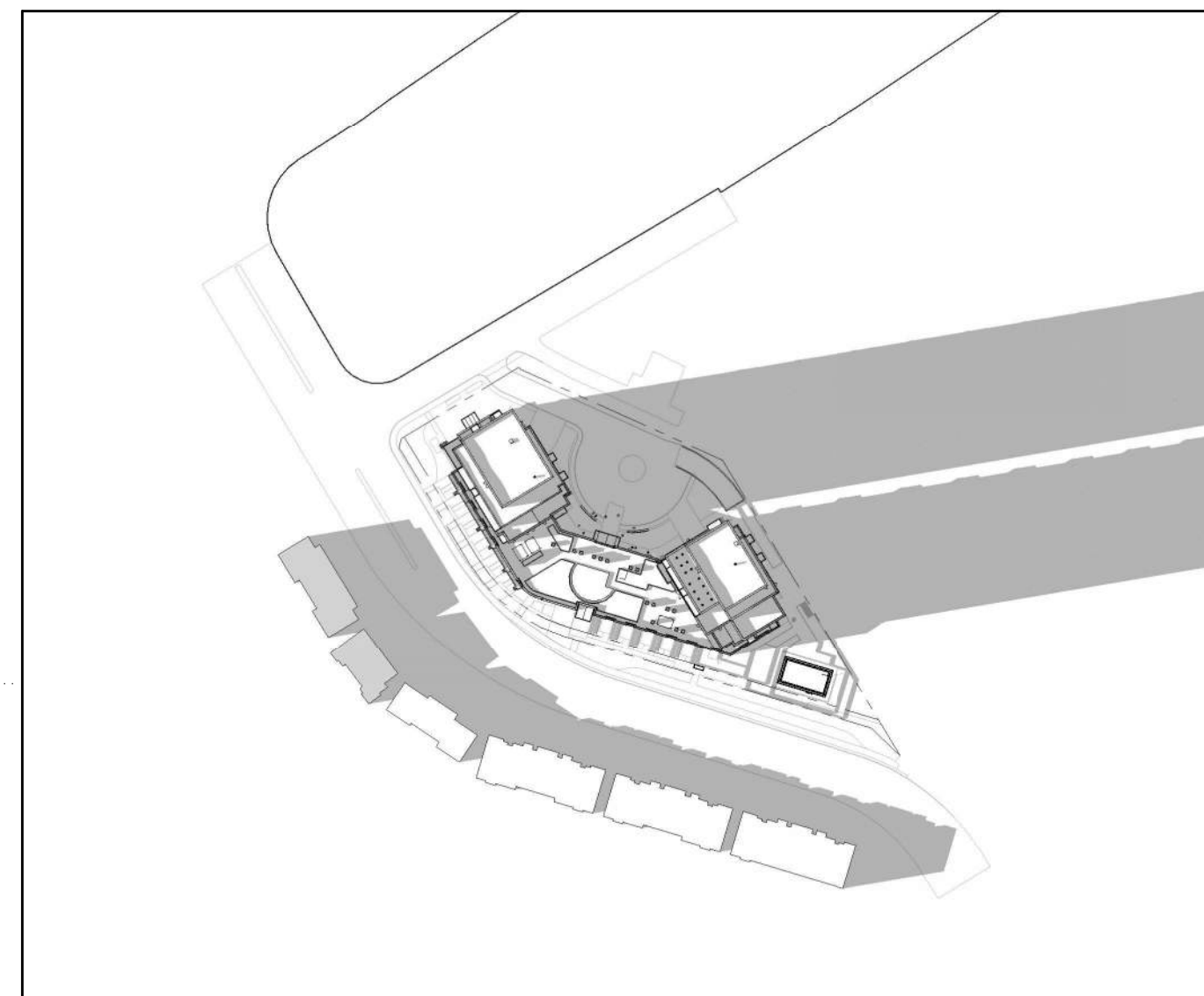
2:00 PM



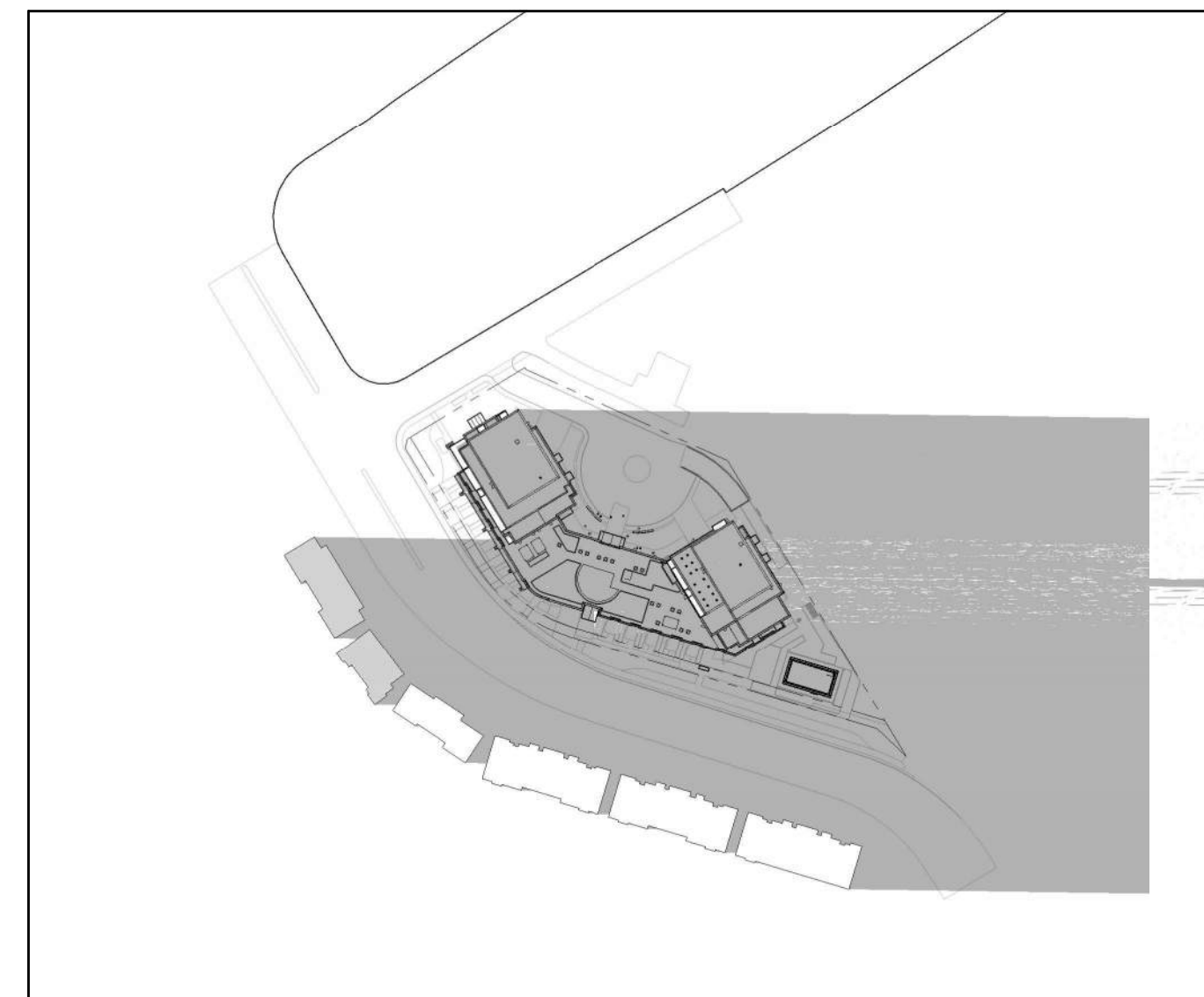
3:00 PM



4:00 PM




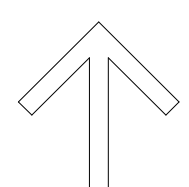
5:00 PM



6:00 PM

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

No.	DESCRIPTION	DATE
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: 

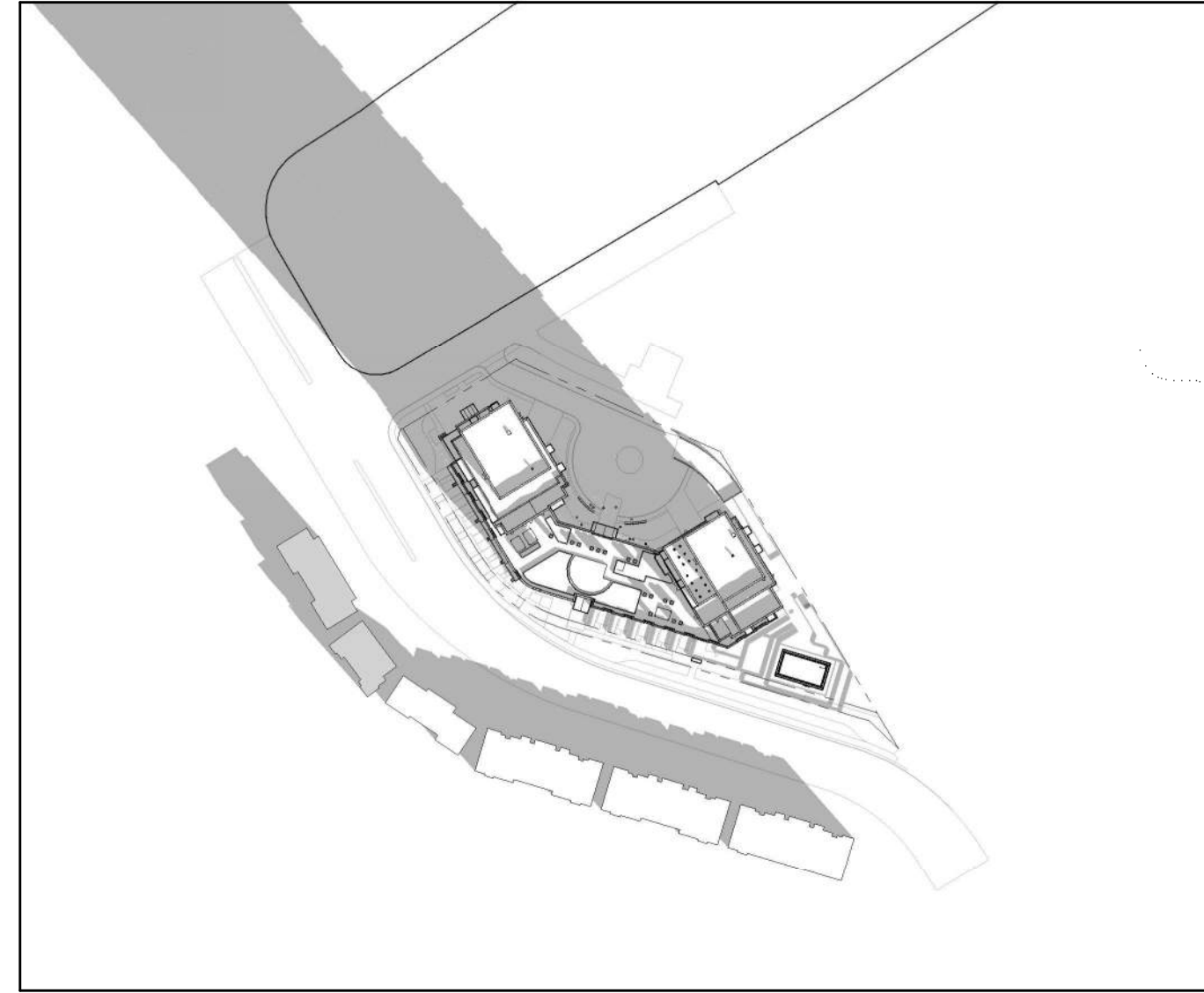
ARCHITECT: 
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR
OTTAWA, ON

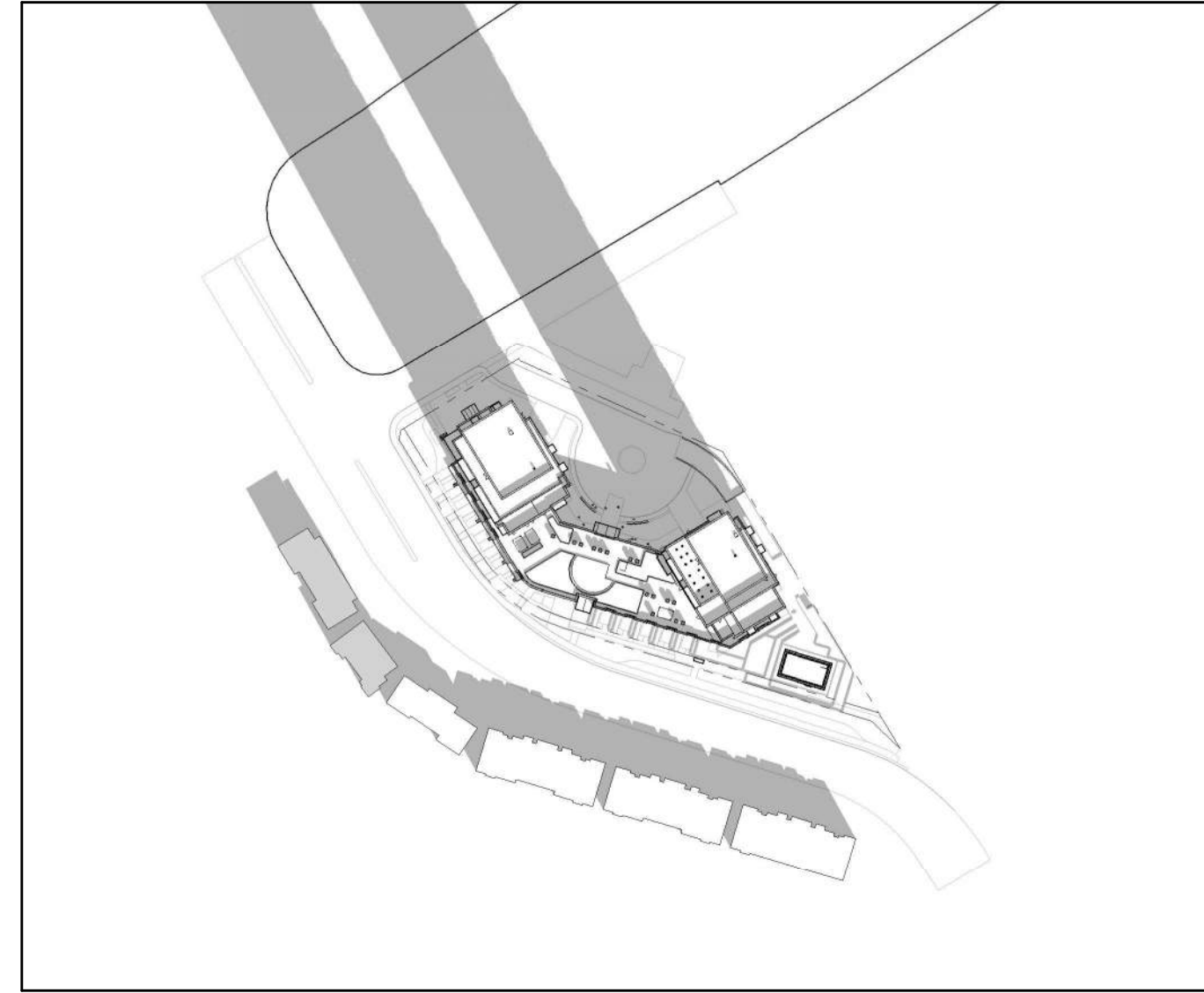
SHEET TITLE:
SUNSHADE ANALYSIS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 2000	SHEET No: 14
PROJECT No: 1910	

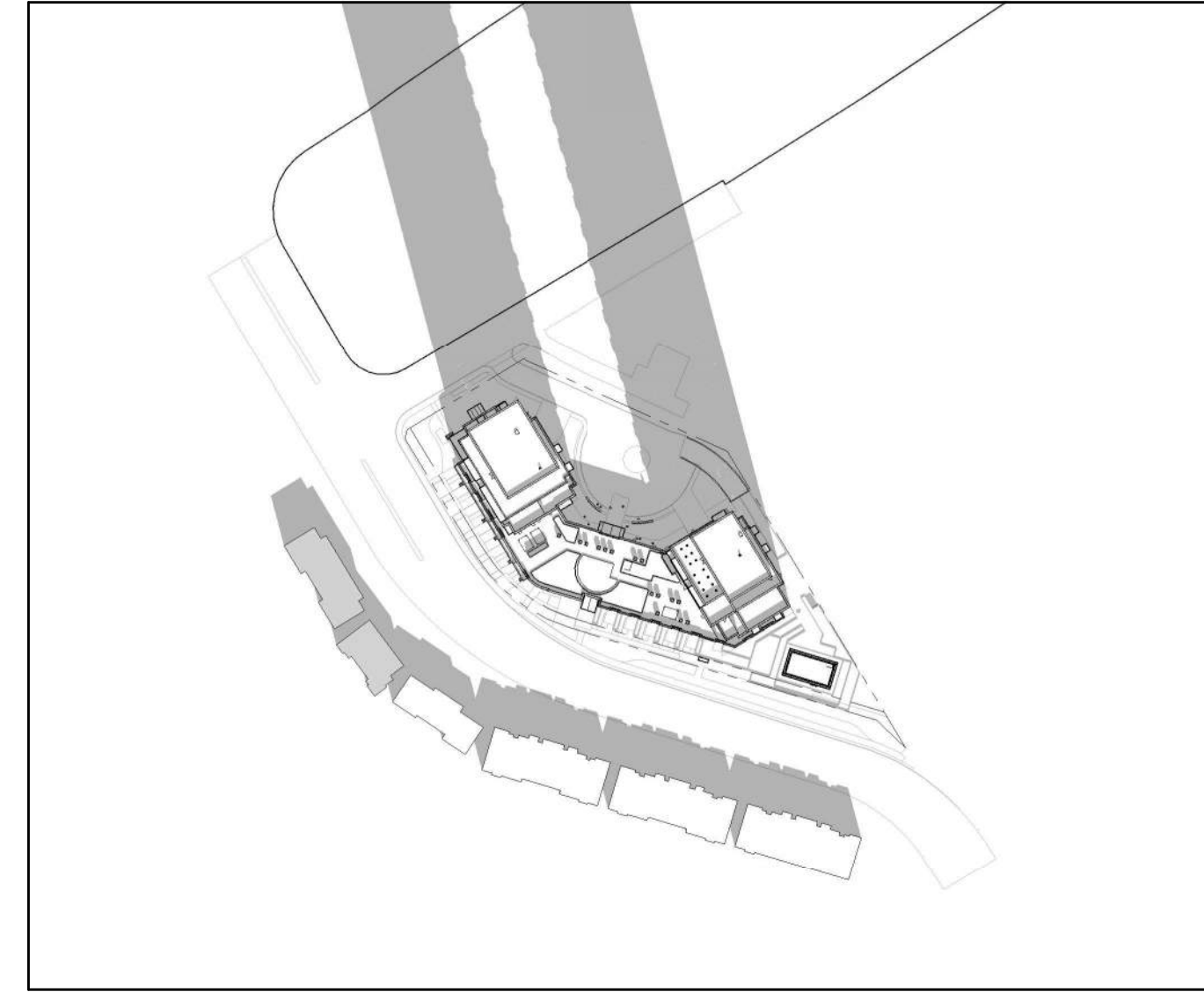
DECEMBER 21 (DST)



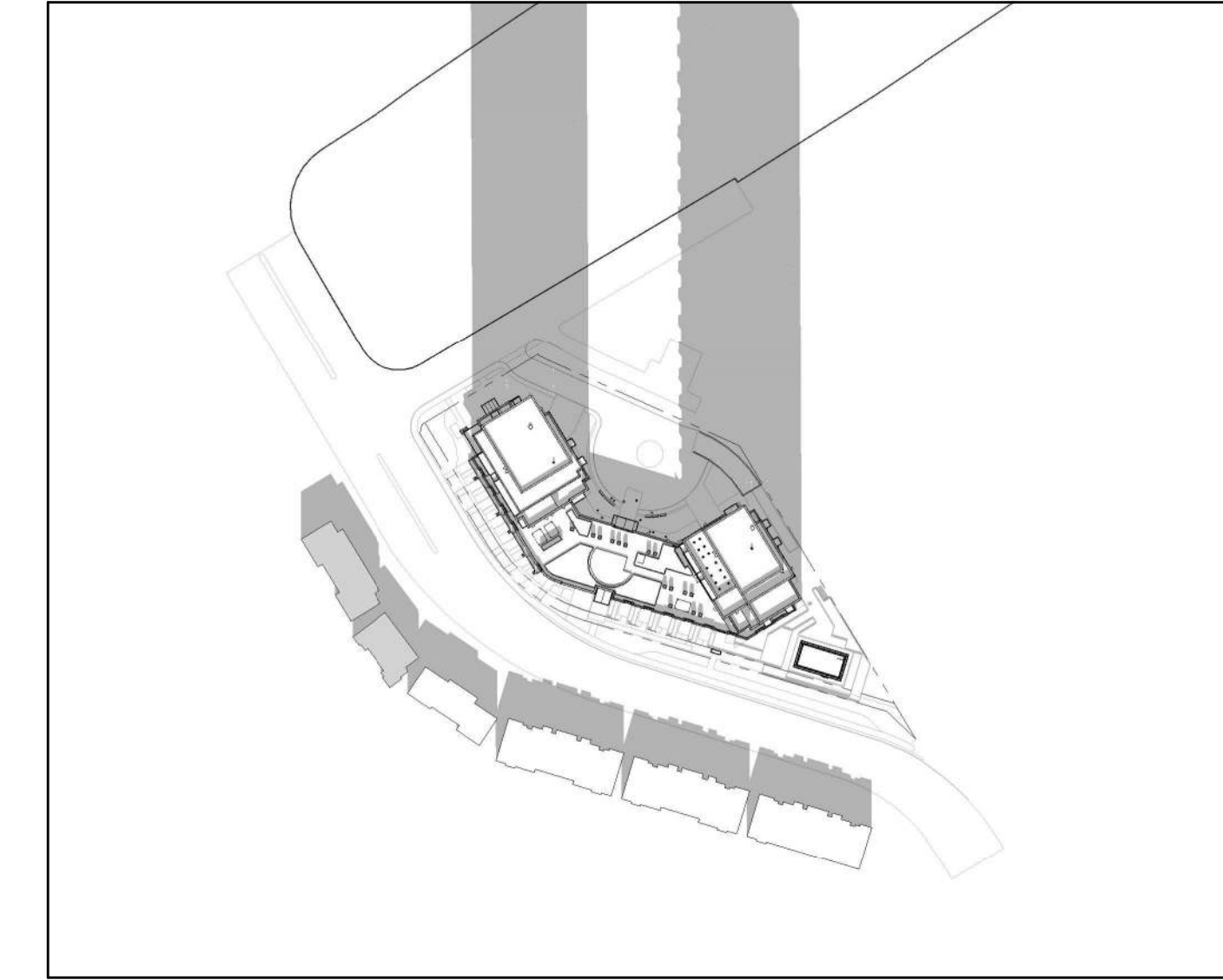
9:00 AM



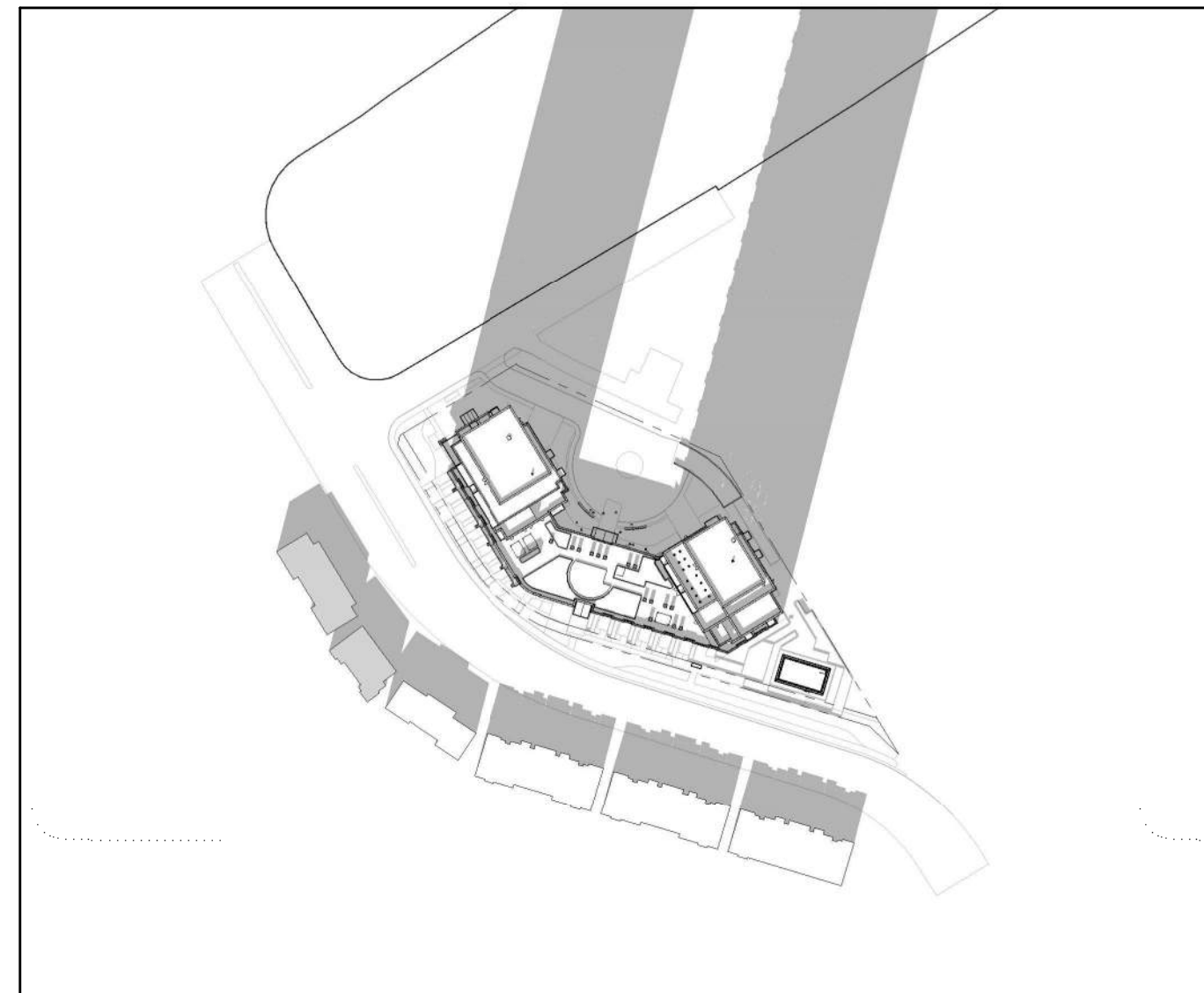
10:00 AM



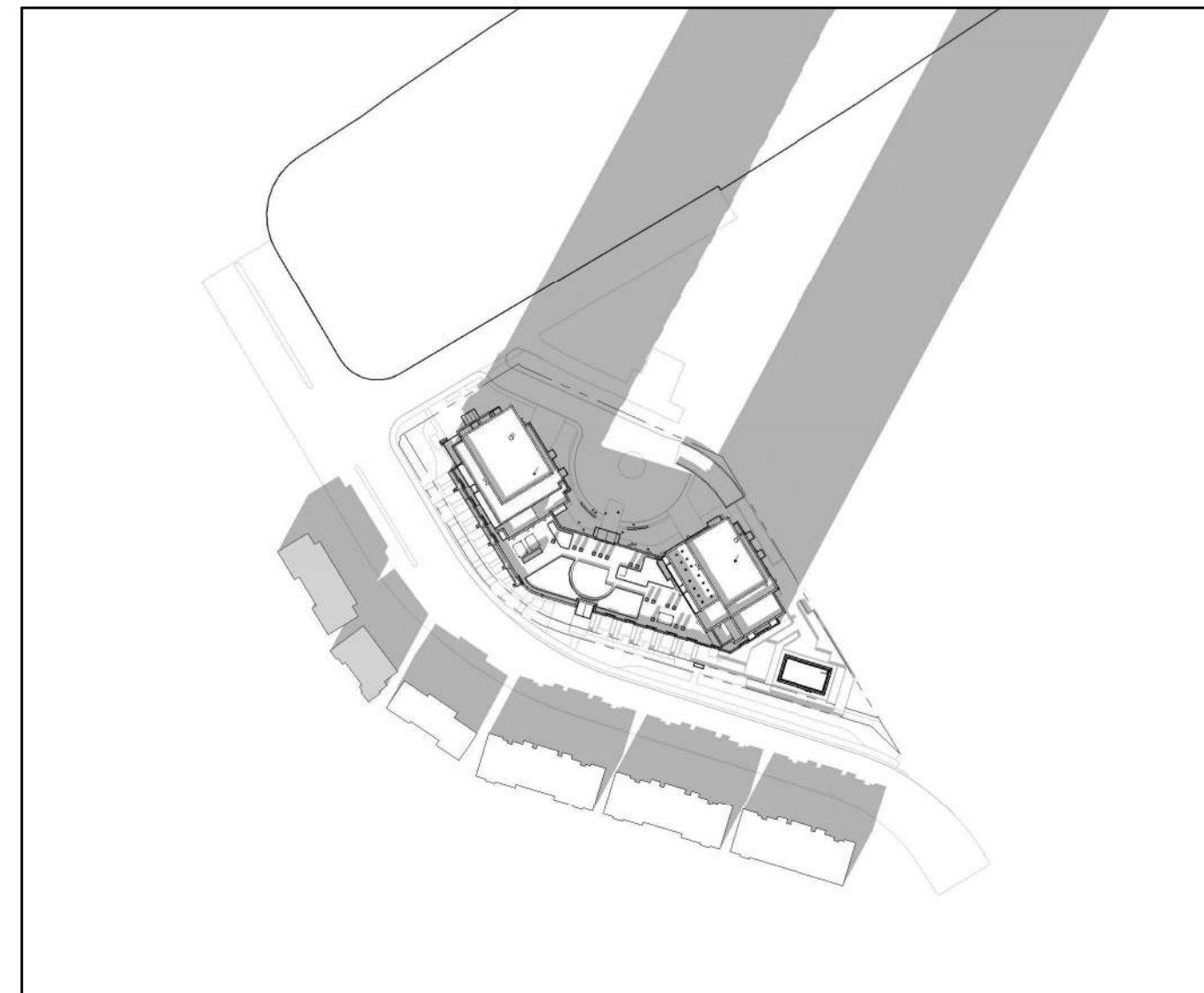
11:00 AM



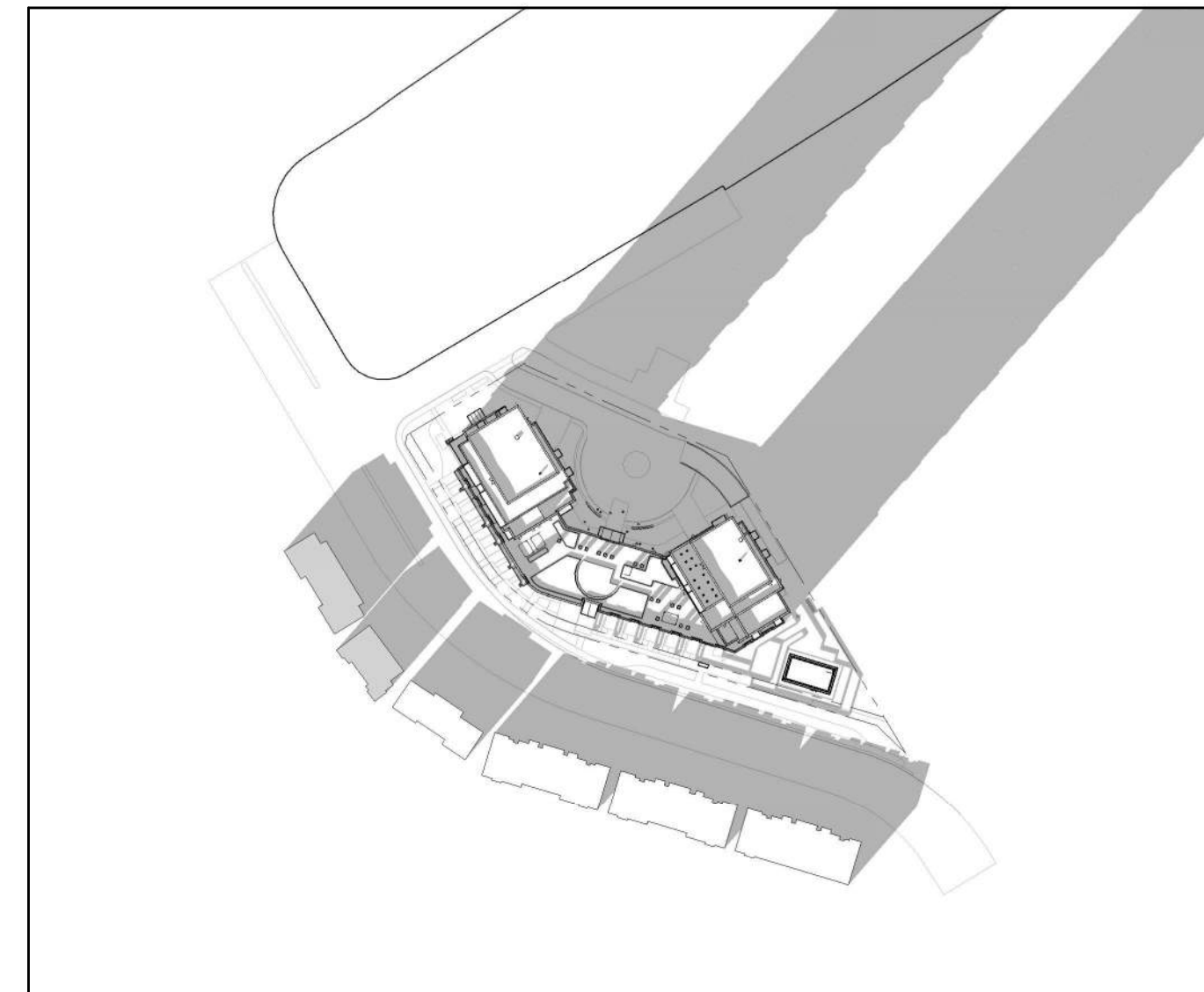
12:00 PM



1:00 PM



2:00 PM

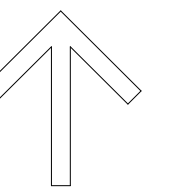


3:00 PM

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

No.	DESCRIPTION	DD.MM.YY
13	SPC UPDATE	31 JAN 2023

ARCHITECT SEAL: NORTH ARROW:
ONTARIO ASSOCIATION OF ARCHITECTS
RODERICK-LAHEY
LICENCE 4376



CLIENT:
RICHCRAFT
Group Of Companies

ARCHITECT:
rla/architecture
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
19 CENTREPOINTE DR

OTTAWA, ON

SHEET TITLE:
SUNSHADE ANALYSIS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 2000	SHEET No: 15
PROJECT No: 1910	