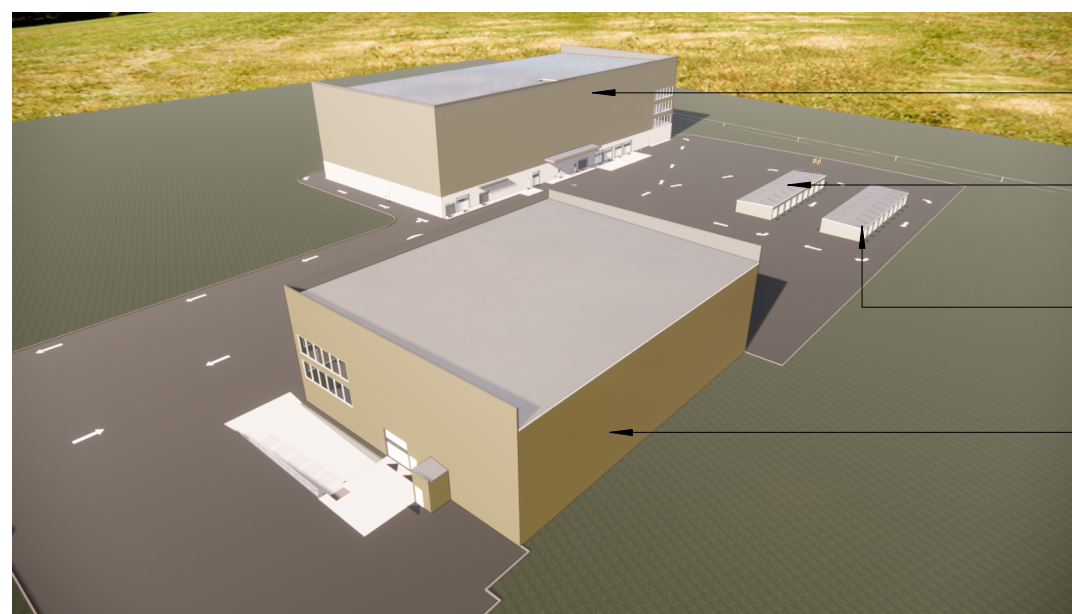


SITE LEGEND:

	PROPERTY LINE		EXIST. MH	EXISTING MANHOLE COVER
	ZONING SETBACKS		EXIST. FH	EXISTING FIRE HYDRANT
	FIRE ROUTE		EXIST. SAN. MH	EXISTING SANITARY MANHOLE COVER
	GLYCOL HEAT TRACING		EXIST. MH THH	EXISTING MANHOLE COVER THH
	2.6m x 5.2m PARKING SPACE (YELLOW)		EXIST. CB	EXISTING CATCH BASIN
	3.4m x 1.5m x 5.2m BARRIER FREE PARKING SPACE (YELLOW)		NEW MH	NEW MANHOLE COVER
	2.6m x 6.7m PARALLEL PARKING SPACE (YELLOW)		NEW CB	NEW CATCH BASIN
	LIGHT STANDARD (REFER TO ELECTRICAL)		FDC	FIRE DEPARTMENT CONNECTION
	EXIT OR ENTRANCE (REFER TO SITE PLAN FOR ADDITIONAL NOTES)		GM	NATURAL GAS METER (REF. TO MECH.)
	0.6mx1.8m BICYCLE PARKING SPACE			1.5m WIDE PAINTED STRIPED PEDESTRIAN WALKWAY (YELLOW)
	BIRD SAFE FRIT - SEE A-0009			REMOVE EXISTING LANDSCAPING IN THE FUTURE ROW AND REPLACE WITH TOP SOIL/SEED/GRASS (REFER TO LANDSCAPE DRAWINGS)
				NEW LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
				CONCRETE SLAB
				DMC / MC / DC - DEPRESSED / MOUNTABLE CURB



2 3D VIEW - SOUTH-NORTH AERIAL
A-1001 Scale: NTS

GENERAL NOTES:

- U-HAUL WILL PROVIDE "BUTLER" STAMPED ENGINEERING DRAWINGS FOR PERMIT SUBMISSION. WE ARE ASSUMING THAT THE BUILDING IS SUPPLIED, AND WE DESIGN THE FOUNDATIONS FOR IT.
- "AS CORRESPONDED BETWEEN U-HAUL AND COLETTE GORNI, CITY PLANNER, ON MARCH 21st 2022. THE ZONING FOR THE SITE IS IL6(1414) H(30)-H LIGHT INDUSTRIAL, SUBZONE 6, URBAN EXCEPTION 1414, HEIGHT LIMIT OF 30M, WITH A HOLDING SYMBOL. THIS ZONING PERMITS A MAXIMUM HEIGHT OF 30M, WHICH SHOULD ALLOW A 5-STORY BUILDING (ASSUMING EACH STOREY HAS A HEIGHT OF 3-4M).

ALL OTHER ZONING REQUIREMENTS CAN BE FOUND IN TABLE 203 OF THE ZONING BY-LAW. PLEASE ALSO REVIEW SECTION 204(6) OF THE ZONING BY-LAW AND URBAN EXCEPTION 1414 FOR ADDITIONAL PROVISIONS APPLICABLE TO THE SITE.

SITE DATA AND ZONING INFORMATION

PROJECT LOCATION	30 FRANK NIGHBOR PLACE, OTTAWA, ONTARIO, K2V 1B9
LEGAL DESCRIPTION	PART OF BLOCK 2, REGISTERED PLAN 4M-1012, CITY OF OTTAWA.
PROPERTY OWNER	U-Haul Co. (Canada) Ltd. 2727 N. CENTRAL AVENUE, PHOENIX, AZ USA 85004. PHONE: (602) 263 - 6502
ZONING DESIGNATION	IL6(1414) H(30)-H - LIGHT INDUSTRIAL

CLIENT
U-Haul CO. (Canada) LTD.

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IBI Group Architects (Canada) Inc.
is a member of the IBI Group of companies

ITEM	REQUIRED	PROVIDED
MINIMUM LOT AREA	2000 m ²	38,245.6 m ²
MINIMUM LOT FRONTAGE	NO MINIMUM	148.11 m
MAX LOT COVERAGE	65%	14%
MAXIMUM FLOOR INDEX	2	0.14
FRONT YARD SETBACK	12 m (39.4 FT)	68.3 m (223'-11")
INTERIOR SIDE YARD SETBACK	7.5 m (25 FT)	8.5 m (28')
REAR YARD SETBACK	7.5 m (25 FT)	43.1 m (141'-6")
EXTERIOR YARD SETBACK	7.5 m (25 FT)	7.5 m (25 FT)
MAXIMUM BUILDING HEIGHT	30 m*	21.3 m
LANDSCAPE BUFFER	- FRONT = 3 m - SIDE = NO MINIMUM - REAR = 3 m	- FRONT = 3 m - SIDE = 3 TO 7.5 m - REAR = 5.3 m
LANDSCAPE AREA / PERCENTAGE OF SITE AREA	N/A (INDUSTRIAL ZONE)	3811.6 m ² / 10.1% OF SITE AREA
PARKING SPACES	101	101
B.F. PARKING SPACES	2	3
LOADING PARKING SPACES	2	2
BICYCLE PARKING SPACES	10	10

ISSUES

No.	DESCRIPTION	DATE
1	CONCEPT DESIGN	2022-04-29
2	ISSUED FOR SITE PLAN CONTROL APPLICATION	2022-05-18
3	DESIGN DEVELOPMENT	2022-06-03
4	ISSUED FOR PERMIT	2022-07-19
5	RESPONSE TO SPC COMMENTS	2022-08-26
6	RESPONSE TO PERMIT COMMENTS - BLDG D	2022-09-06
8	3RD RESUBMISSION - EIS / LANDSCAPE	2022-11-16
7	RESPONSE TO PERMIT COMMENTS - BLDG B & C	2022-11-18
9	ISSUE FOR TENDER	2022-12-15
10	ISSUE FOR COORD. - BLDG D	2022-12-16

KEY PLAN

CONSULTANTS

ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION
IBI GROUP - OTTAWA
333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5N4

CIVIL / LANDSCAPE / PLANNING - NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS
1188 WOODWARD DRIVE, OTTAWA, ON K2C 3R8

CLELAND JARDINE ENGINEERING LTD
200-380 TERRY FOX, KANATA, ON, K2L 4B9

STATE OF THE ART ACOUSTIC INC.
43-1010 POLYTEK STREET, OTTAWA, ON K1J 9J3

J.D. BARNES LTD
103-62 STAGIE DRIVE, OTTAWA, ON K2K 2A9

SENEZ CONSULTING LTD.
208 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

APPROVED
By Allison Hamlin at 5:10 pm, Jan 25, 2023

ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

PRIME CONSULTANT
IBI GROUP
400-333 Preston Street,
Ottawa ON, K1S 5N4, Canada
Tel: 613 225 1311 Fax: 613 225 9668
ibigroup.com

PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entry 942072

PROJECT NO:
138165

DRAWN BY:
A. Chu

CHECKED BY:
Y. Bilbelsi

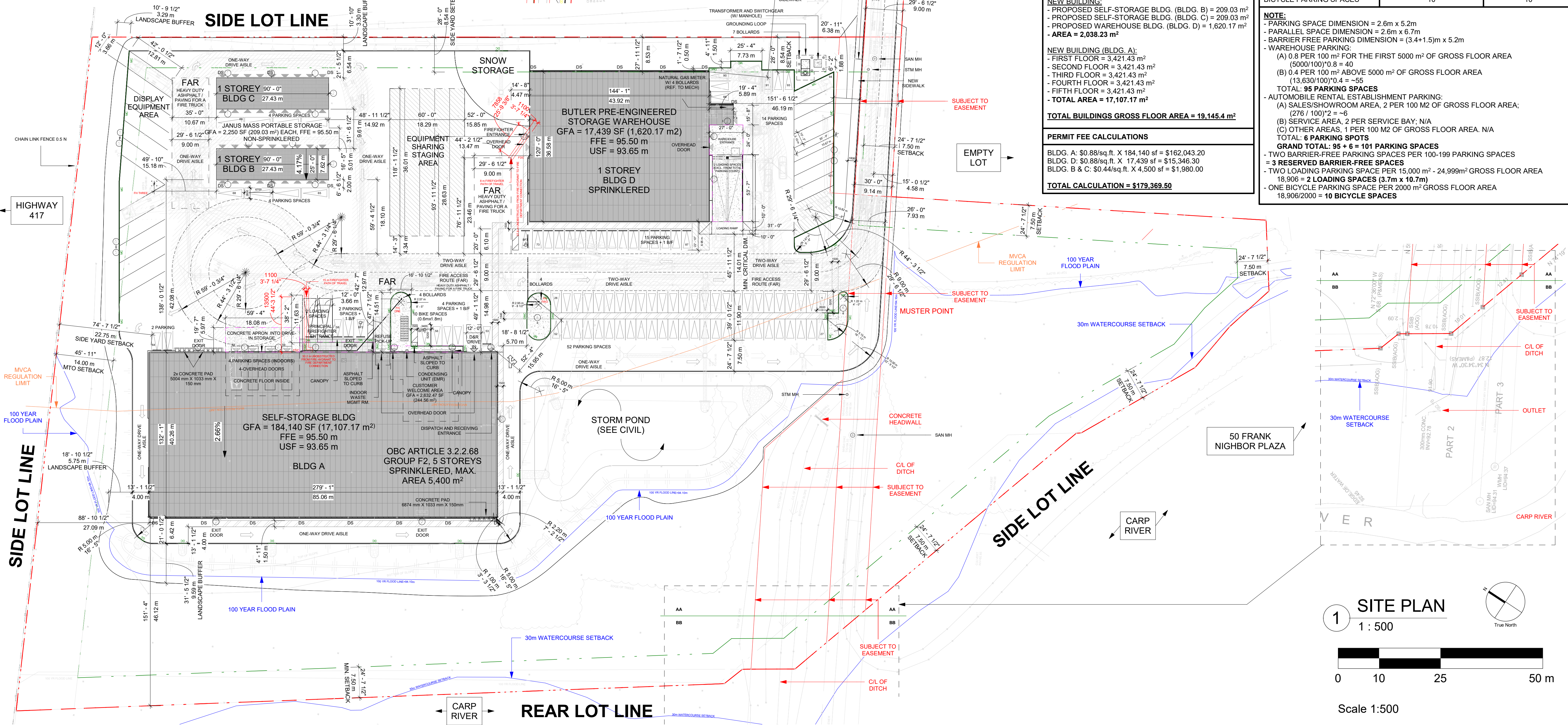
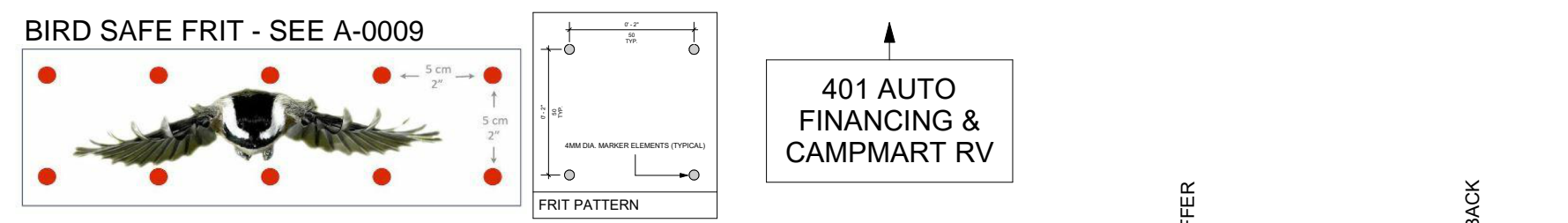
PROJECT MGR:
Y. Bilbelsi

APPROVED BY:
H. Semple

SHEET TITLE
ARCHITECTURAL SITE PLAN AND ZONING INFORMATION

SHEET NUMBER
A-1001

ISSUE
10



TOTAL LAND AREA
9.44 ACRES / 411,673 SQ. FEET / 38,245.6 SQ. METERS

TOTAL FOOTPRINT AREA
NEW BUILDING:
- PROPOSED SELF-STORAGE BLDG. (BLDG. A) = 3421.43 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. B) = 209.03 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. C) = 209.03 m²
- PROPOSED WAREHOUSE BLDG. (BLDG. D) = 1620.17 m²
- AREA = 5,459.66 m²

TOTAL BUILDINGS FOOTPRINT = 5,459.66 m²

TOTAL GROSS FLOOR AREA
NEW BUILDING:
- PROPOSED SELF-STORAGE BLDG. (BLDG. B) = 209.03 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. C) = 209.03 m²
- PROPOSED WAREHOUSE BLDG. (BLDG. D) = 1,620.17 m²
- AREA = 2,038.23 m²

TOTAL BUILDINGS GROSS FLOOR AREA = 19,145.4 m²

PERMIT FEE CALCULATIONS
BLDG. A: \$0.88/sq.ft. X 184,140 sf = \$162,043.20
BLDG. D: \$0.88/sq.ft. X 17,439 sf = \$15,346.30
BLDG. B & C: \$0.44/sq.ft. X 4,500 sf = \$1,980.00
TOTAL CALCULATION = \$179,369.50

NOTE:

- PARKING SPACE DIMENSION = 2.6m x 5.2m
- PARALLEL SPACE DIMENSION = 2.6m x 6.7m
- BARRIER FREE PARKING DIMENSION = (3.4+1.5)m x 5.2m
- WAREHOUSE PARKING:
 - (A) 0.8 PER 100 M² FOR THE FIRST 5000 M² OF GROSS FLOOR AREA (5000/100)*0.8 = 40
 - (B) 0.4 PER 100 M² ABOVE 5000 M² OF GROSS FLOOR AREA (13,630/100)*0.4 = 55
- TOTAL 95 PARKING SPACES
- AUTOMOBILE RENTAL ESTABLISHMENT PARKING:
 - (A) SALES/SERVICE AREA, 2 PER 100 M² OF GROSS FLOOR AREA: (276 / 100)*2 = 6
 - (B) SERVICE AREA, 2 PER SERVICE BAY; N/A
 - (C) OTHER AREAS, 1 PER 100 M² OF GROSS FLOOR AREA. N/A
- TOTAL 6 PARKING SPOTS
- GRAND TOTAL: 95 + 6 = 101 PARKING SPACES
- TWO BARRIER-FREE PARKING SPACES PER 100-199 PARKING SPACES = 3 RESERVED PARKING-FREE SPACES
- TWO LOADING PARKING SPACE PER 15,000 m² - 24,999 m² GROSS FLOOR AREA = 2 LOADING SPACES (3.7m x 10.7m)
- ONE BICYCLE PARKING SPACE PER 2000 m² GROSS FLOOR AREA = 18,906/2000 = 10 BICYCLE SPACES

2022-12-21 5:31:31 PM