

TREES - 585 BOBOLINK TERRACE TAGGART.				
Code	Qty.	Botanical Name	Common Name	Size
AC	5	Amelanchier canadensis	Tree Serviceberry	50mm cal
AG	5	Aesculus glabra	Ohio Buckeye	50mm cal
AR	3	Acer rubrum	Red Maple	60mm cal
AS	2	Acer saccharum	Sugar Maple	60mm cal
BP	7	Betula papyrifera	Paper Birch	50mm cal
CC	7	Carpinus caroliniana	Hornbeam Bluebeech	60mm cal
CO	3	Celtis occidentalis	Common Hackberry	50mm cal
CCH	2	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	60mm cal
GD	2	Gymnocladus dioica	Kentucky Coffee Tree	70mm cal
MH	5	Malus 'Harvest Gold'	Harvest Gold Crabapple	50mm cal
MR	6	Malus 'Robinson'	Robinson Crabapple	50mm cal
OV	4	Osra virginiana	Hophornbeam Ironwood	60mm cal
PP	6	Prunus pennsylvanica	Pin Cherry	60mm cal
QR	1	Quercus rubra	Red Oak	70mm cal
SR	5	Syringa reticulata	Japanese Tree Lilac	50mm cal

SHRUBS 585 BOBOLINK TERRACE TAGGART.				
Code	Qty.	Botanical Name	Common Name	Size
ac	10	Amelanchier canadensis	Serviceberry	150cm Ht.
sv	10	Syringa vulgaris alba	White Common Lilac	125cm Ht.
vl	10	Viburnum lentago	Nannyberry	125cm Ht.
Sao	75	Symphoricarpos albus	Snowberry	60cm Ht.
SA	100	Spiraea alba	Meadowsweet	50cm Ht.

*See planting bed between Curb and Fence along Robert Grant Ave. and Bobolink Ridge.

Drawing Remains the Property of/Copyright Reserved by GJA INC. Do Not Use or Reproduce Without Approval of GJA INC. **NOT** To Be Used For Construction **Unless** indicated by Revision: **"FOR LANDSCAPE CONSTRUCTION"**. Contractor is Responsible for Verification of Site Locations of all Utilities. Report any Discrepancies Between Site and Drawing Immediately to GJA INC. Do NOT Proceed Until Clarified.

TURF AREAS TO BE SOD C/W 150MM DEPTH TOPSOIL ON APPROVED SUBGRADE | SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA - Fine Fescue/Kentucky Bluegrass Sod | PLANTING MIX TO BE APPROVED BY LANDSCAPE ARCHITECT | PLANT MATERIAL TO MEET CNLA STANDARDS/BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING | ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE, (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) & INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE | PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT UNTIL END OF WARRANTY PERIOD | REFER TO CIVIL ENGINEER'S DRAWING FOR ELEVATIONS / GRADING |

The Landscape Plan is to be read in conjunction with the grading, servicing, site and survey plan | Bare root material to be planted in season only | All plant material locations to be staked on site by the landscape contractor and checked by the landscape architect prior to planting | All trees to be preserved on or directly adjacent to the site will be protected | Plant material are to be installed a minimum of: 3.0m away from any part of any hydro transformer, 3.0m corridor between a fire hydrant and the curb, a 2.5m radius beside or behind a fire hydrant, 2.0m from any servicing/utility line or structure |

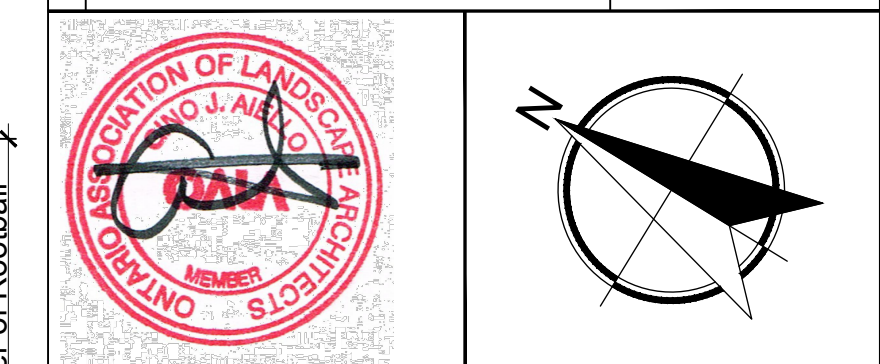
LANDSCAPE PLAN LEGEND

- Proposed Deciduous Tree
 - 1.5m Radius
 - 2.0m Radius
 - 2.5m Radius
- 2m Setback
- Water Service To Unit
- Storm Service To Unit
- Sanitary Service To Unit
- 2m Setback
- Proposed Pedestrian Paving
- Asphalt Driveway
- Urban Post and Rail Fence by Lanark Cedar or Approved Equivalent in Wood/PVC/Aluminum
- Concrete Paving
- Shrub Planting Bed

BELOW GRADE SERVICES REFER TO CIVIL /CUP

- U/G Water Service
- U/G Storm Service
- U/G Sanitary Service

5	PHASE LINE ADDED	DECEMBER 23 2022
4	UPDATED SITE PLAN	DECEMBER 5 2022
3	SITE PLAN CONTROL SUBMISSION 3	SEPTEMBER 6 2022
2	SITE PLAN CONTROL SUBMISSION 2	JUNE 17 2022
1	SITE PLAN CONTROL SUBMISSION 1	JANUARY 24 2022
0	REVIEW/COORDINATION	JANUARY 2022
#	Revision	Date

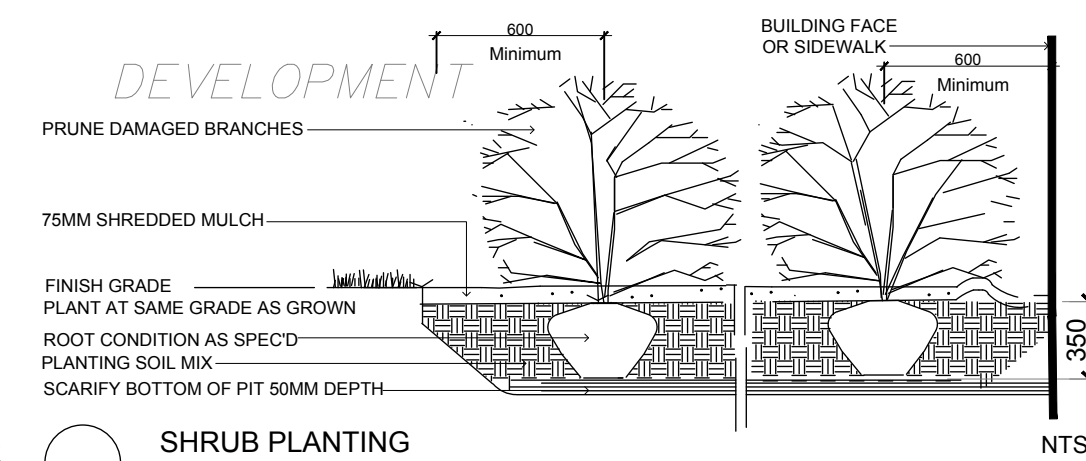
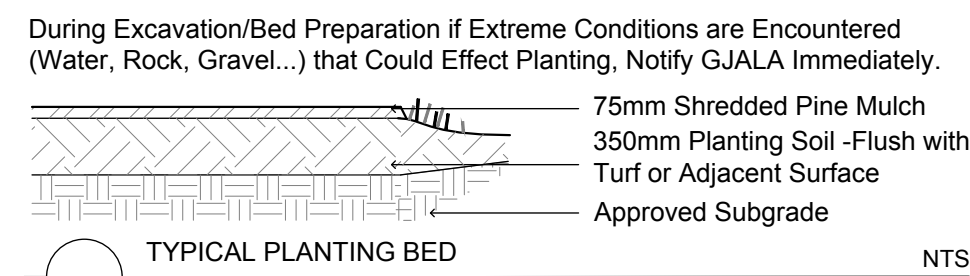
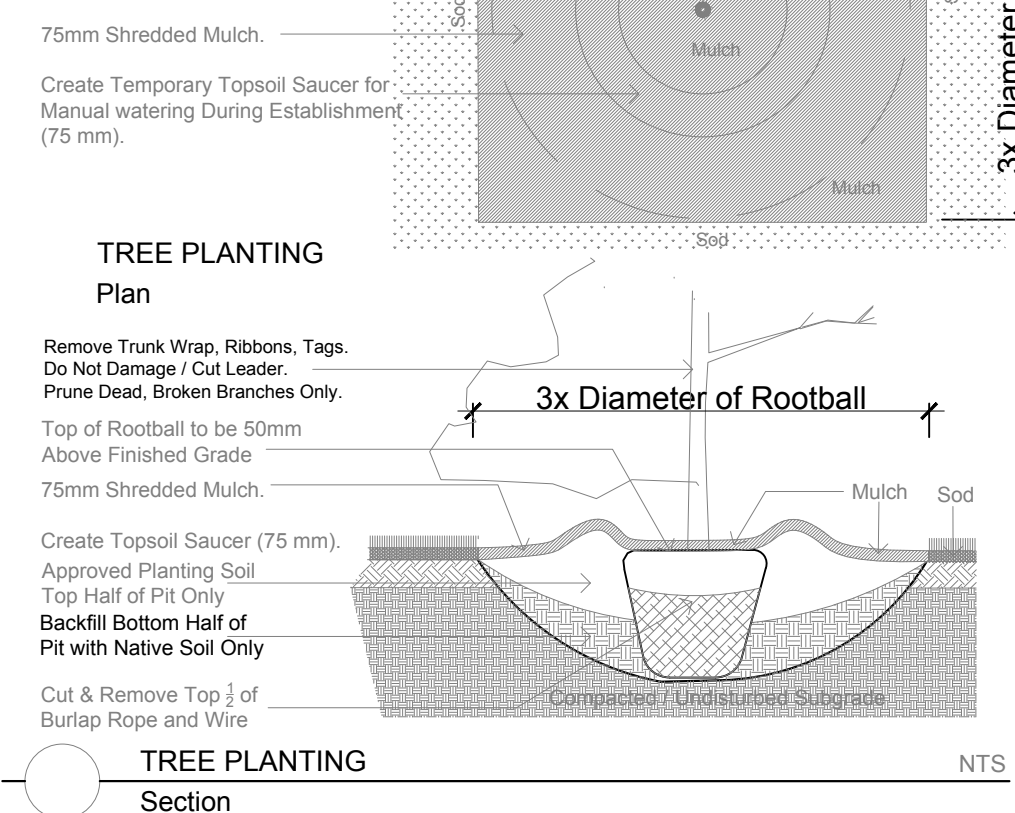


Property Owner
TAMARACK HOMES

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Project
Multi Unit Back To Back Townhome Development
585 BOBOLINK @ ROBERT GRANT

Landscape Plan
Scale: 1:250 Sheet Number
City of Ottawa Dwg - 18642
L1
D07-12-21-0230



CHAPMEN TERRACE

APPROVED
By Allison Hamlin at 7:53 pm, Jan 25, 2023

A Hamlin

ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

OSTERLEY WAY

PUTNEY CRESCENT

0 1 2 5 10 25 Metres

UNDER

DEVELOPMENT