

| ZONING TABLE | | |
|----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CITY OF OTTAWA ZONING BY-LAW No. 2008-200 | REQUIRED | PROPOSED |
| MINIMUM LOT AREA | No minimum | --- |
| MINIMUM LOT WIDTH | No minimum | --- |
| MINIMUM FRONT YARD SETBACK | Section 186 - 11 (6)(i) & (ii) Setback = 3.0m 50% of frontage along front lot line must be occupied by building walls located within 3.0m of the front lot line. | Building setback = 5.11m from lot line (to accommodate required hydro clearance high voltage line clearance) Building frontage = 14.5m Length of frontage located at 3.0m setback = 0m |
| MINIMUM INTERIOR SIDE YARD SETBACK | Section 186 - 3 (9)(i) In all other cases = No minimum | Building setback at AM-11 zone = 11.90m Building setback at HE H(15) = 0m |
| MINIMUM REAR YARD SETBACK | Section 186 - 11 (6)(i) In all other cases = 10m | Building setback = 13.33m |
| MAXIMUM BUILDING HEIGHT | Section 186 - 11 (f) In all other cases = 30m | Building height = 17.90m |
| FIRST FLOOR HEIGHT & GLAZING | Section 186 - 11 (9)(v) First storey of any building < 11m in height = 4.5m 50% of surface area of the ground floor facade, facing public street to be transparent glazing and customer/resident entrance doors. | First storey height = 4.5m % transparent glazed area of ground floor facade facing public street = 60% |
| LANDSCAPED AREA | Section 110 - 1 15% of the area of any parking lot must be provided as perimeter or interior landscaped area. Section 110 - 1(i) + Table 110 (iii), column III Landscape buffer = 1.5m not abutting a street, 10-100 parking spaces. | Parking Lot Area = 633.5 sq.m. (8,819 sq.ft.) Landscape Buffer Area = 170 sq.m. (27%) Other Landscaped Area = 116 sq.m. Total Landscaped Area = 286 sq.m. |
| VEHICLE PARKING REQTS. (AREA C, SCHEDULE 1A) | Table 101 - R15, column III: 1 per dwelling unit = 18 parking N59, column III: 2.4 per 100 sq.m. of GFA (272.03 sq.m.) = 7 parking Section 186 - Visitor & office use spaces permitted to be shared = 7 parking | Total Vehicle Parking Spaces provided = 28 Residential = 18 spaces Shared Visitor/Commercial = 7 spaces Additional Commercial = 3 spaces Accessible Parking provided = 2 (Type A and Type B) |
| VISITOR PARKING REQTS. (AREA C, SCHEDULE 1A) | Table 102 - Dwelling units in a mixed use building = 0.2 parking spaces per dwelling unit = 4 spaces required | Visitor Parking Spaces provided = 4 (per Section 104) |
| AMENITY AREA REQUIREMENTS | 10% GFA of dwelling units = 108 sq.m. (per Section 137(9), column II) = 228 sq.m. | Amenity Area provided = 231 sq.m. (2,486 sq.ft.), areas located at north landscape buffer, roof level and basement rooms. |
| BICYCLE PARKING REQTS. (AREA C, SCHEDULE 1A) | 0.5 per dwelling unit = 9 bicycle parking spaces. Commercial Office = 1 per 250 sq.m. of gross floor area Total bicycle parking required = 10 bicycle parking spaces | Bicycle parking spaces provided = 10 |

| SITE PLANNING INFO | |
|--------------------------------------------------------------------|--|
| LOT AREA = 1,992.45 sq.m. (17,141 sq.ft.) | |
| BUILDING AREA = 603 sq.m. (6,491 sq.ft.) | |
| GROSS FLOOR AREA = 2,121 sq.m. (22,830 sq.ft.) | |
| GROSS FLOOR AREA DWELLING UNITS ONLY = 1,201 sq.m. (12,927 sq.ft.) | |
| MAXIMUM FLOOR SPACE INDEX = NONE | |

| LEGAL DESCRIPTION | |
|------------------------------------------------------------------------------------------------------|--|
| PART OF LOT 13 CONCESSION 2 (OTTAWA FRONT), BEING ALL OF PIN 04398-0045 (LT), IN THE CITY OF OTTAWA. | |
| REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE. | |
| SURVEYORS PLAN COMPLETED BY J.D. BARNES LTD. JULY 27, 2022. | |

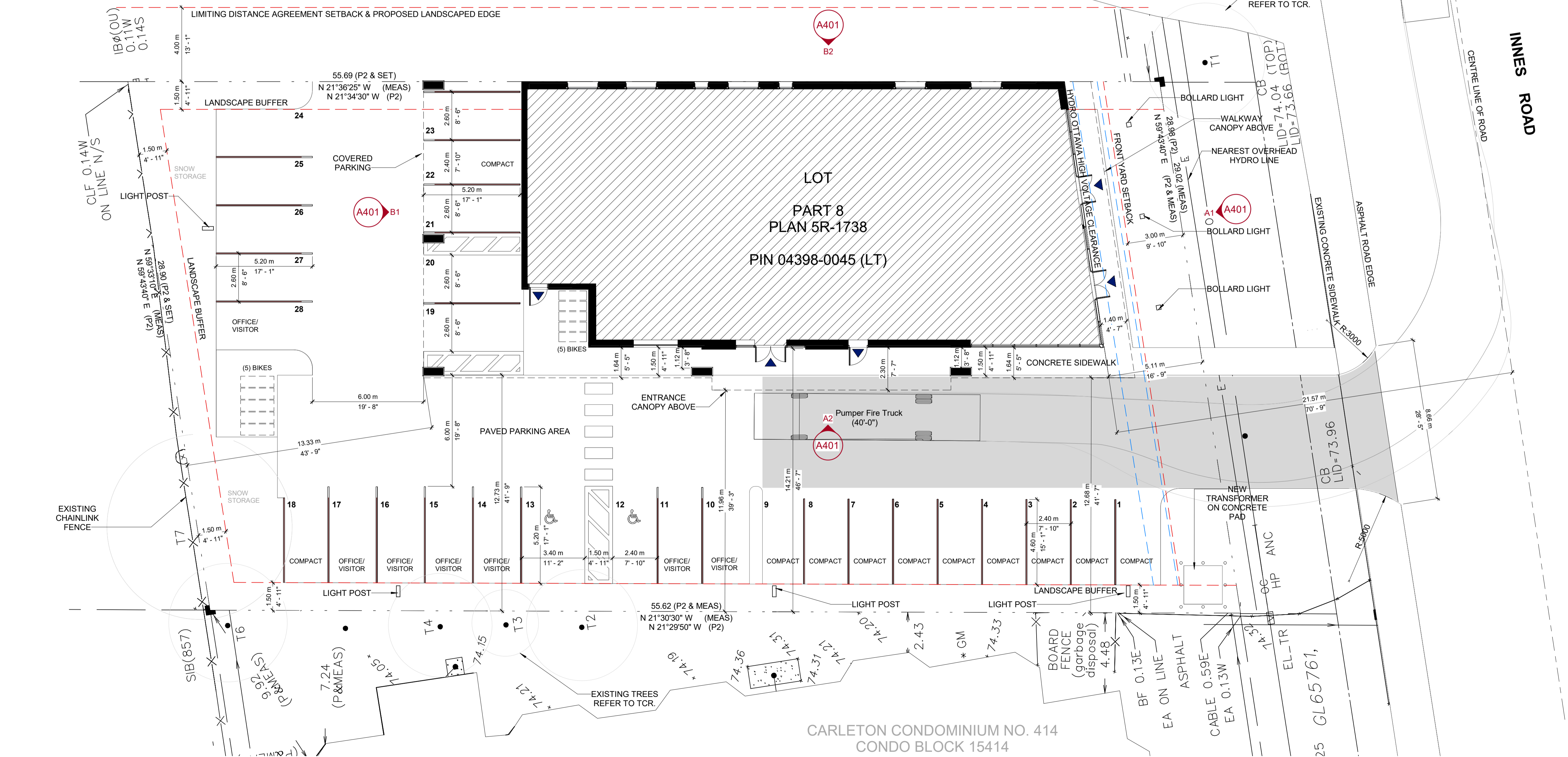
| RESIDENTIAL UNIT BREAKDOWN | |
|----------------------------|--------------------------------------------|
| LEVEL 01 (GROUND) | 2 UNITS (1-BED + DEN BF x1, 1-BED x1) |
| LEVEL 02 | 4 UNITS (1-BED x1, 1-BED-DEN x1, 2-BED x2) |
| LEVEL 03 | 6 UNITS (1-BED x3, 1-BED-DEN x1, 2-BED x2) |
| LEVEL 04 | 6 UNITS (1-BED x3, 1-BED-DEN x1, 2-BED x2) |
| TOTAL | 18 UNITS |

| COMMERCIAL OFFICE UNIT BREAKDOWN | |
|----------------------------------|---------|
| LEVEL 01 | 2 UNITS |
| LEVEL 02 | 1 UNIT |
| TOTAL | 3 UNITS |

2 GARBAGE COLLECTION ACCESS
A101 1:300

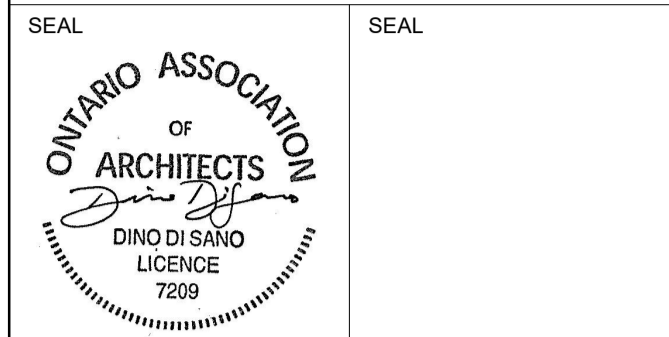
PART 7 PLAN 5R-3330

LOT PART 8 PLAN 5R-1738 PIN 04398-0045 (LT)

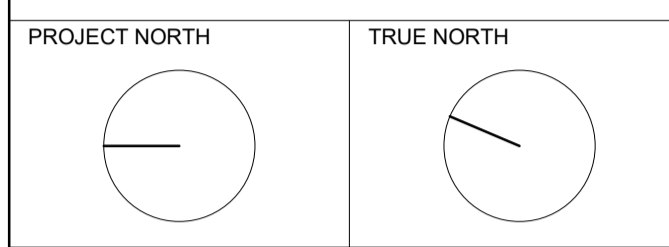


A1 SITE PLAN
A101 1:125

CARLETON CONDOMINIUM NO. 414
CONDO BLOCK 15414
SUBJECT TO EASEMENTS PER INST. NO. N547299



GENERAL NOTES
DO NOT SCALE DRAWINGS.
CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES.



LEGEND

| | |
|------|------------------------------------------|
| ■ | DENOTES SURVEY MONUMENT FOUND |
| □ | DENOTES SURVEY MONUMENT SET |
| SIB | DENOTES STANDARD IRON BAR |
| IB# | DENOTES ROUND IRON BAR |
| CC | DENOTES CUT CROSS |
| MEAS | DENOTES MEASURED |
| OU | DENOTES ORIGIN UNKNOWN |
| WT | DENOTES WITNESS |
| No. | DENOTES NUMBER |
| P | DENOTES CARLETON CONDO PLAN No. 414 |
| P1 | DENOTES PLAN 4R-5898 |
| P2 | DENOTES PLAN 5R-1738 |
| P3 | DENOTES PLAN 5R-3330 |
| P4 | DENOTES PLAN 5R-368 |
| P5 | DENOTES INSTRUMENT No. GL65761 |
| 647 | DENOTES H.R. FARLEY, O.L.S. |
| 671 | DENOTES F.H. GOOCH, O.L.S. |
| 857 | DENOTES FAIRHALL, MOFFATT & WOODLAND LTD |
| | DENOTES PROPERTY LINE |
| N | DENOTES NORTH / S=SOUTH E=EAST W=WEST |
| ▲ | DENOTES BUILDING ENTRY/EXIT |

TOPOGRAPHIC LEGEND

| | |
|---------|--------------------------------|
| CONC | DENOTES CONCRETE |
| C/L | DENOTES CENTERLINE |
| TOW | DENOTES TOP OF WALL |
| TOR | DENOTES TOP OF ROOF |
| D_SILL | DENOTES DOOR SILL |
| EA | DENOTES EDGE OF ASPHALT |
| INT BR | DENOTES INTERLOCK BRICK |
| CLF | DENOTES CHAIN LINK FENCE |
| BF | DENOTES BOARD FENCE |
| HP | DENOTES HYDRO POLE |
| ANC | DENOTES ANCHOR |
| GM | DENOTES GAS METER |
| CB | DENOTES CATCH BASIN |
| E_JB | DENOTES HYDRO JUNCTION BOX |
| E_TRANS | DENOTES HYDRO TRANSFORMER |
| TE_PED | DENOTES TELEPHONE PEDESTAL |
| MH_SAN | DENOTES SANITARY MANHOLE |
| E | DENOTES OVERHEAD HYDRO CABLE |
| OC | DENOTES OVERHEAD CABLE |
| SAN | DENOTES UNDERGROUND SANI SEWER |
| ○ | DENOTES TREES |

| | | |
|------------------------------------|------------|----------------------------------|
| B | 2023-01-20 | ISSUED FOR SITE PLAN APPLICATION |
| A | 2022-12-21 | ISSUED FOR SITE PLAN APPLICATION |
| No. | DATE | DESCRIPTION |
| REVISIONS | | |
| PROJECT | | |
| 4-Storey Mixed Use Building | | |

2663 Innes Road
Ottawa, Ontario

IDEA # 22541 CLIENT #

SHEET NAME
SITE PLAN

DATE 2022-12-21 SCALE AS NOTED.
CHECKED BY DRAWN BY

SHEET No. **A101**