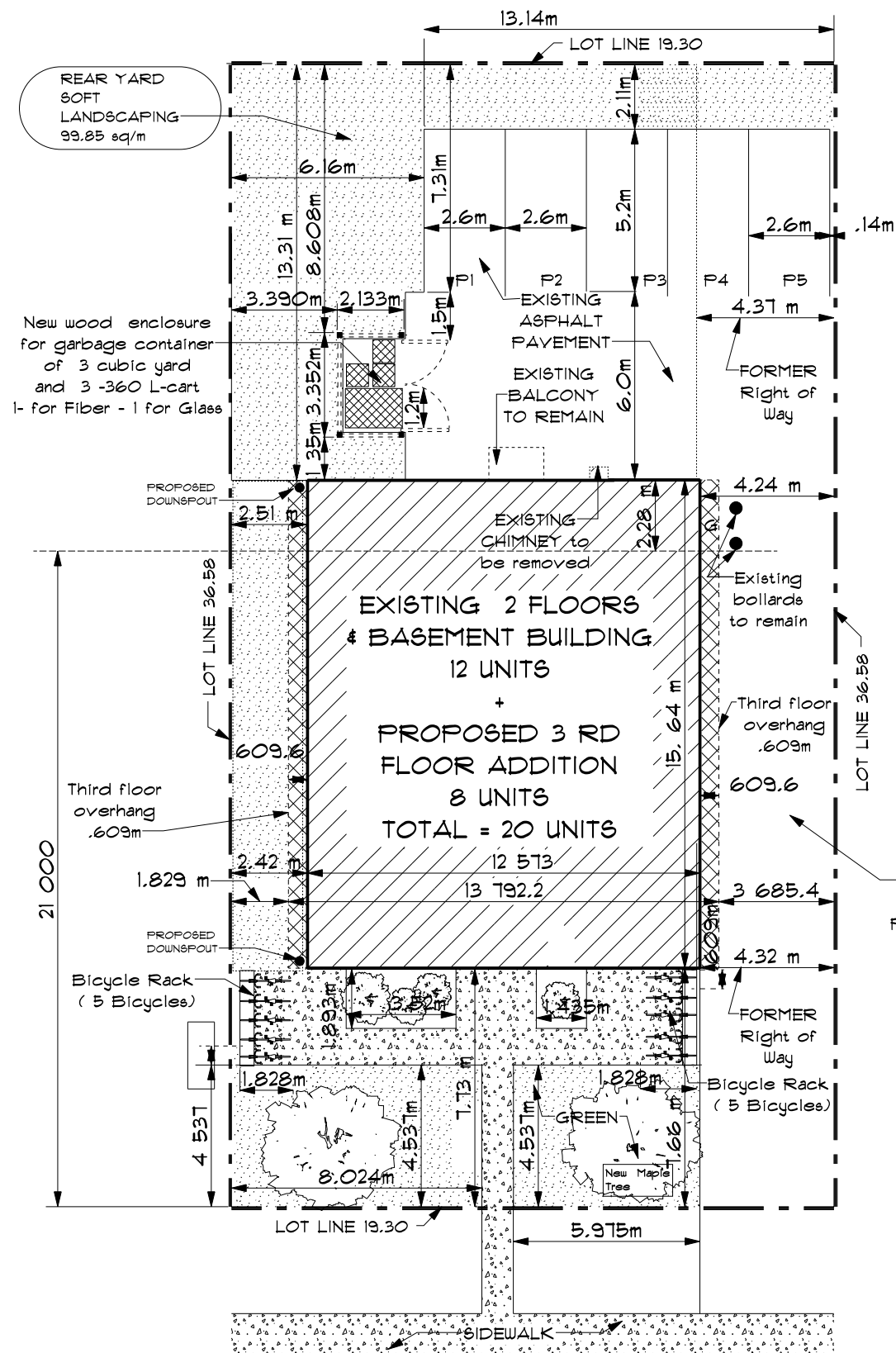


PLAN 252 - PART OF LOT 54
SOUTH SHILLINGTON
CITY OF OTTAWA

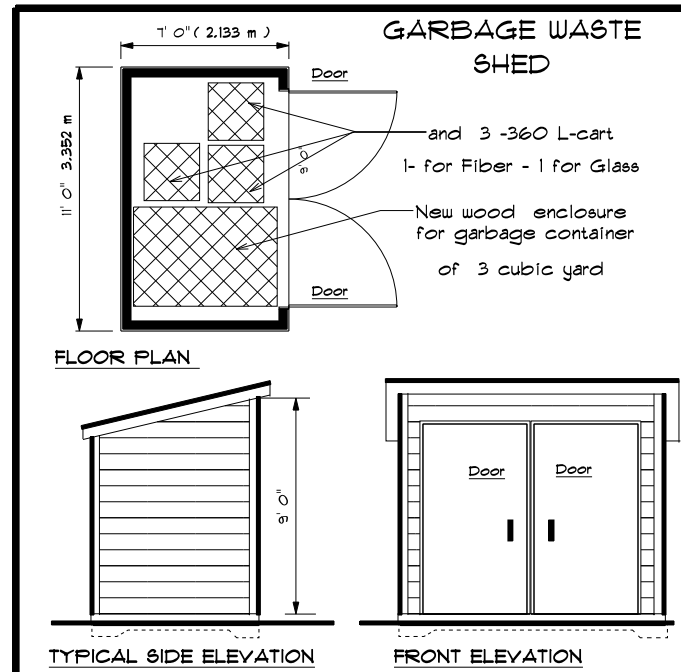


SITE PLAN

SCALE: 1:200

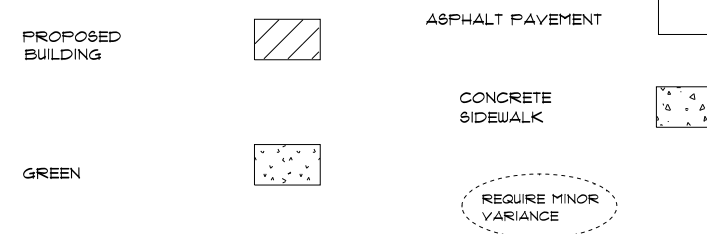
APPROVED
By Lily Xu at 4:21 pm, Jan 13, 2023

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

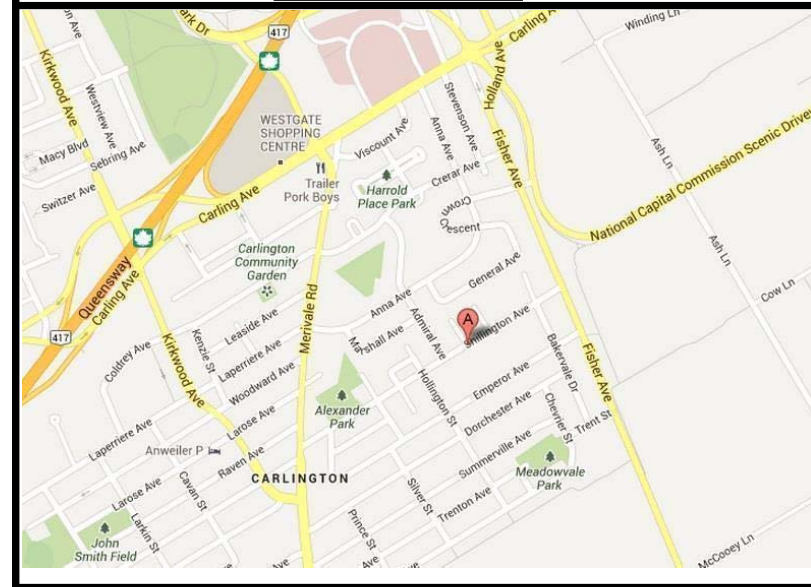


EXISTING APARTMENT BUILDING

LEGEND:



KEY PLAN



DATA

	EXISTING 12 UNITS	PROPOSED 20 UNITS
PROJECT:		PROPOSED THIRD STOREY - 8 Units TOTAL = 20 UNITS
ZONE:		R4UC
BUILDING SIZE:	12,573 m x 15,64 m (41'-3" x 51'-3")	12,573 m x 15,64 m (41'-3" x 51'-3")
BUILDING FOOTPRINT:	+/- 196.64 m ² (2116.62 sq/ft)	+/- 196.64 m ² (+/- 2116.62 sq/ft)
TOTAL FLOOR AREA:	393.2 m ² (4233.24 sq/ft)	599.5 m ² (6452.9 sq/ft)
LOT AREA -		705,934 m ²
MIN. LOT AREA REQ'D -		450 m ²
MIN. LOT FRONTAGE REQ'D	15 m	19.30 m provided
MIN. FRONT YARD REQ'D	6.0 M	7.66 M provided
SIDE YARD -		3.68 M - West side provided 1.82 M - East side provided
MIN. SIDE YARD REQ'D		1.5 M
MIN. REAR YARD REQ'D		+ - 13.24 M provided 10.91 M
BUILDING HEIGHT -		10.541 m Provided
MAXIMUM BUILDING HEIGHT REQUIRED		11 M
NUMBER OF PARKING		5 Provided
NUMBER OF PARKING REQ'D		5 required
REAR YARD SOFT LANDSCAPING REQUIRED		Rear Yard 256.88 sq.m - 50% of the rear yard /required 128.44 sq.m
REAR YARD SOFT LANDSCAPING PROVIDED		Provided 99.85 sq/m - 38.8 %
FRONT YARD LANDSCAPING REQUIRED		40% of the front yard/required 59.67sq.m
FRONT YARD LANDSCAPING PROVIDED		72.885 sq/m = 48.8 %

OWNER:
10609625 Canada Inc.
18 Tammela crt
Ottawa, Ontario
KIT 2E1
ATT.: Eric Charette, President
Tel: 613-277-6132
Email: ericcharette@tempoliving.com

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P H Robinson Consulting
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K2M 1N3
613- 599-9216 (cell)
Email: probinson@probinsonconsulting.com



SURVEYORS:
FARLEY, SMITH & DENIS
SURVEYING LTD.
190 Colonnade Road
Ottawa, Ontario
K2E 1J5
613- 727-8226

NO.	REVISIONS	DATE
7	ISSUED FOR SITE PLAN	5/04/2022
6	ISSUED FOR CHANGES	29/11/2021
5	ISSUED FOR CHANGES	01/10/2021
4	ISSUED FOR CHANGES	29/09/2021
3	ISSUED FOR CHANGES	25/08/2021
2	ISSUED FOR CHANGES	23/07/2021
1	ISSUED FOR CHANGES	09/06/2021



1041 NOTRE DAME STREET, P.O. BOX 928,
EMBRUN, ON. K0A 1W0
WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

PROJECT NAME

PROPOSED THIRD STOREY ADDITION FOR TEMPO LIVING
1186 SHILLINGTON AVENUE, OTTAWA

PROJECT NO.	2018-0031	DRAWINGS NO.
DRAWN BY	L.LAVOIE J.LEPAGE	SP1
VERIFIED BY	L.LAVOIE	SP1