

Access Storage 125 Colonnade

125 Colonnade, Ottawa, Ontario K2E 7L9



ARCHITECTURE | 49

1345 ROSEMOUNT AVENUE
CORNWALL, ONTARIO, CANADA K6J 3E5
TEL: 613-933-5604 | FAX: 613-936-0335 | ARCHITECTURE49.COM

REVISED FOR CITY COMMENTS

DATE: DECEMBER 19 2022

Zone:	IG5 - General Industrial 5
Permitted Uses (Condensed):	Light Industrial Uses Office Warehouse Truck transport terminal
Warehouse Use	Definition
	Warehouse means a building used for the storage and distribution of goods and equipment including self-storage units and mini-warehouses and may include one accessory dwelling unit for a facility manager. (entrepôt)
Minimum Lot Area	1,000 sq. m.
Minimum Lot Width	NO MINIMUM
Maximum lot coverage	65%
(d) Minimum front yard and corner side yard	3 m
(e) Minimum interior side yard	(i) for uses listed in subsection 199(1) abutting a residential or institutional zone (ii) all other cases
	15 m 3 m
(f) Minimum rear yard	(i) for uses listed in subsection 199(1) abutting a residential or institutional zone (ii) all other cases
	15 m 3 m
(g) Maximum floor space index	(i) within 20 metres of a property line abutting a residential zone (ii) in all other cases
	2, unless otherwise shown on the zoning maps 11 m
(h) Maximum building height	(i) abutting a residential or institutional zone (ii) in all other cases
	22 m, unless otherwise shown on the zoning maps or schedules 3 m
(i) Minimum width of landscaped area	(i) abutting a street (ii) in all other cases
	3 m No minimum
Subzone IG5 Additional restrictions	The following uses are prohibited
	animal care establishment automobile dealership car wash convenience store gas bar (OMB Order #PL080959 issued March 18, 2010) Office (Area C) Warehouse (Area C)
Parking	0.8 per 100 m ² for the first 5000 m ² of gross floor area 0.4 per 100 m ² above 5000 m ² of gross floor area

- SITE PLAN LEGEND**
- SHADED AREA DENOTES EXISTING BUILDING
 - HATCH AREA DENOTES PROPOSED BUILDINGS
 - HATCH AREA DENOTES CONCRETE
 - SHADED AREA DENOTES PROPOSED NEW ASPHALT
 - EXIT LOCATIONS
 - VEGETATION (REFER TO LANDSCAPE DRAWINGS)
 - DENOTES TO PROVIDE "NO PARKING/FIRE ACCESS ROUTE" SIGN AS PER CITY OF OTTAWA SPECIFICATIONS.
 - DENOTES TO PROVIDE "NO PARKING/BARRIER FREE PARKING" SIGN AS PER CITY OF OTTAWA SPECIFICATIONS.
- GENERAL NOTES**
- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACTOR ADMINISTRATOR PRIOR TO CONSTRUCTION.
 - LAYOUT TO APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS.
 - ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL, REMOVALS, DISPOSALS AND ROUGH GRADING AS REQUIRED AS SHOWN ON ALL PLANS, DETAILS AND SPECIFICATIONS.
 - LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL EXISTING EXISTING ROADS, SIDEWALKS, CURBS, FENCING, FENCING, SLOPED AREAS, AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CONTRACT ADMINISTRATOR'S APPROVAL AT THE CONTRACTOR'S OWN COSTS.
 - FOR LANDSCAPE, REFER TO LANDSCAPE DRAWINGS.
 - FOR UTILITIES, GRADING, ETC. REFER TO CIVIL DRAWINGS.
 - LEGAL SURVEY BOUNDARIES AND TOPOGRAPHICAL INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOTS 28 & 29 CONCESSION A (RIDEAU FRONT) PART OF LOT 29 CONCESSION B (RIDEAU FRONT) AND PART OF THE ROAD ALLOWANCE BETWEEN CONCESSIONS A & B (RIDEAU FRONT) (CLOSED BY BY-LAW No. 95 INCT. DATED MARCH 9, 2021, FROM THE OFFICE OF FARLEY, SMITH & DENNIS SURVEYING LTD.

SITE PLAN INFORMATION

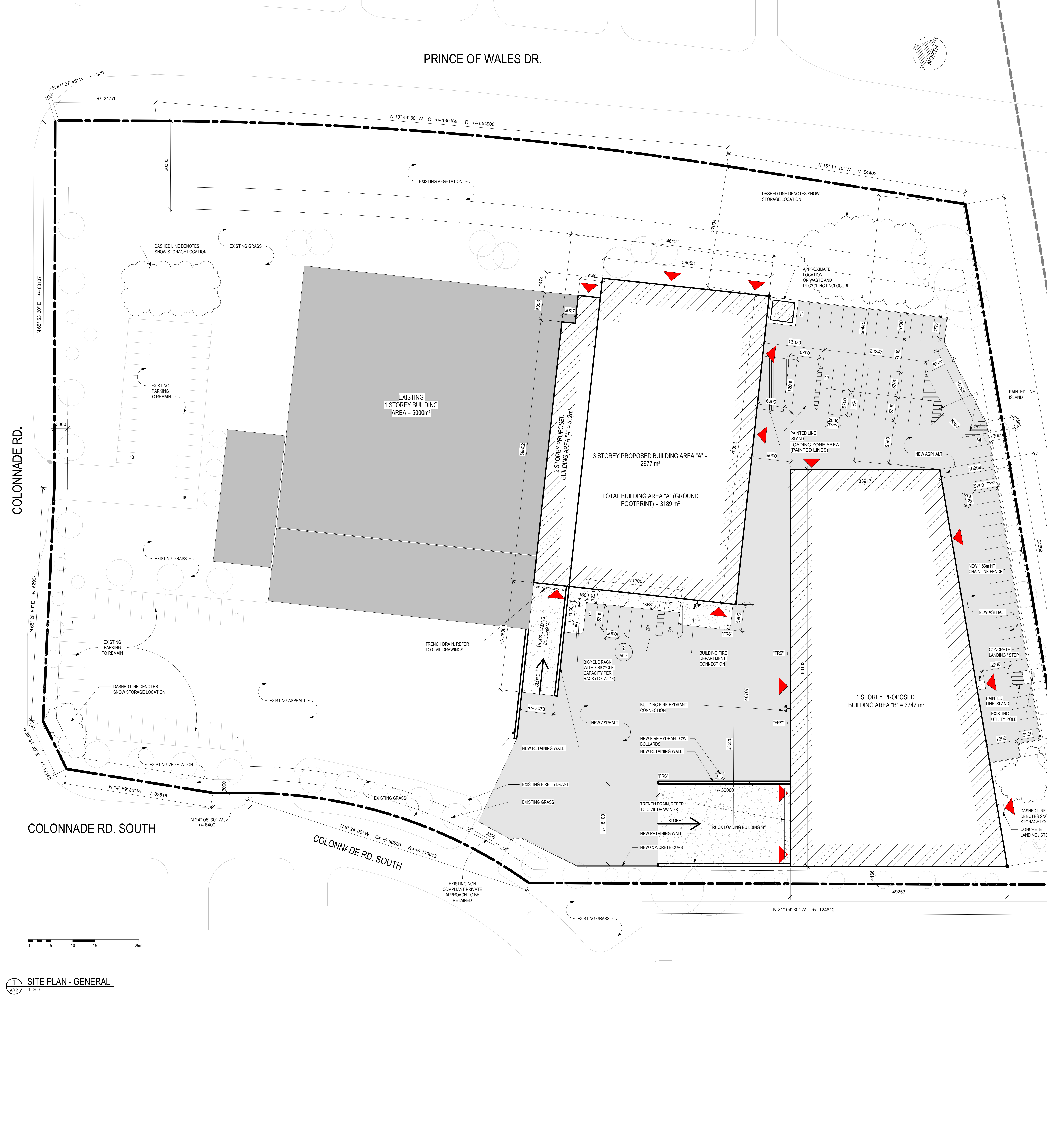
LEGAL DESCRIPTION	PART OF LOTS 28 & 29 CONCESSION A (RIDEAU FRONT) PART OF LOT 29 (RIDEAU FRONT) AND PART OF THE ROAD ALLOWANCE BETWEEN CONCESSIONS A & B (RIDEAU FRONT), CITY OF OTTAWA
BEARINGS	BEARINGS ARE GRID, AND ARE REFERRED TO THE WESTERLY LIMIT OF PRINCE OF WALES DRIVE, HAVING A BEARING OF N 24° 04' 30" W AS SHOWN ON PLAN AR-1585
P.I.N.	04052-0524
SITE AREA	34,600m ²
MAX. ALLOWABLE SITE COVERAGE	65%
MAX. SITE COVERAGE	22,490m ² (65%)
EXISTING BUILDING	5,000m ²
MAX. ALLOWABLE SITE COVERAGE	17,490m ² (50.55%)
PROPOSED NEW BUILDING AREA	6,936m ²
PROPOSED SITE COVERAGE	5000m ² + 6936m ² / 34600 = 34%

PARKING

PARKING SPACES REQUIRED	0.8 PER 100m ² OF GFA (AREA 5,000m ²) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 40 REQUIRED, 64 SPACES PROVIDED
EXISTING PARKING	0.8 PER 100m ² OF GFA (AREA 5,000m ²) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 40 REQUIRED, 64 SPACES PROVIDED
PARKING REQUIRED FOR BUILDING A	0.4 PER 100m ² OF GFA (AREA 9,056m ²) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 36 SPACES
PARKING REQUIRED FOR BUILDING B	0.4 PER 100m ² OF GFA (AREA 3,747m ²) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 15 SPACES
TOTAL PARKING REQUIRED	= 91 SPACES
BARRETT-FREE PARKING SPACES	= 2 REQUIRED, 2 PROVIDED
TOTAL SITE PARKING PROVIDED	= 121 SPACES PLUS 2 BARRIER FREE
LOADING SPACES	= 1 REQUIRED (LIGHT INDUSTRIAL <10,000m ² GFA) = 4 PROVIDED

BICYCLE PARKING

MINIMUM NUMBER OF BICYCLE PARKING SPACES: SEC 111, TABLE 111A (b)	
WAREHOUSE: 1 PER 2000m ² GFA	= 8,900m ² / 2000 = 4.5 ROUNDED TO 5
LIGHT INDUSTRIAL: 1 PER 1000m ² GFA	= 8,900m ² / 1000 = 8.9 ROUNDED TO 9
TOTAL REQUIRED BICYCLE PARKING	= 14 BICYCLE SPACES REQUIRED



1 SITE PLAN - GENERAL
A0.2
1:300

CONSULTANT - SUB CONSULTANT
 CONSULTANT - SUB CONSULTANT



CLIENT REF. #
 PROJECT:
 ACCESS STORAGE 125 COLONNADE

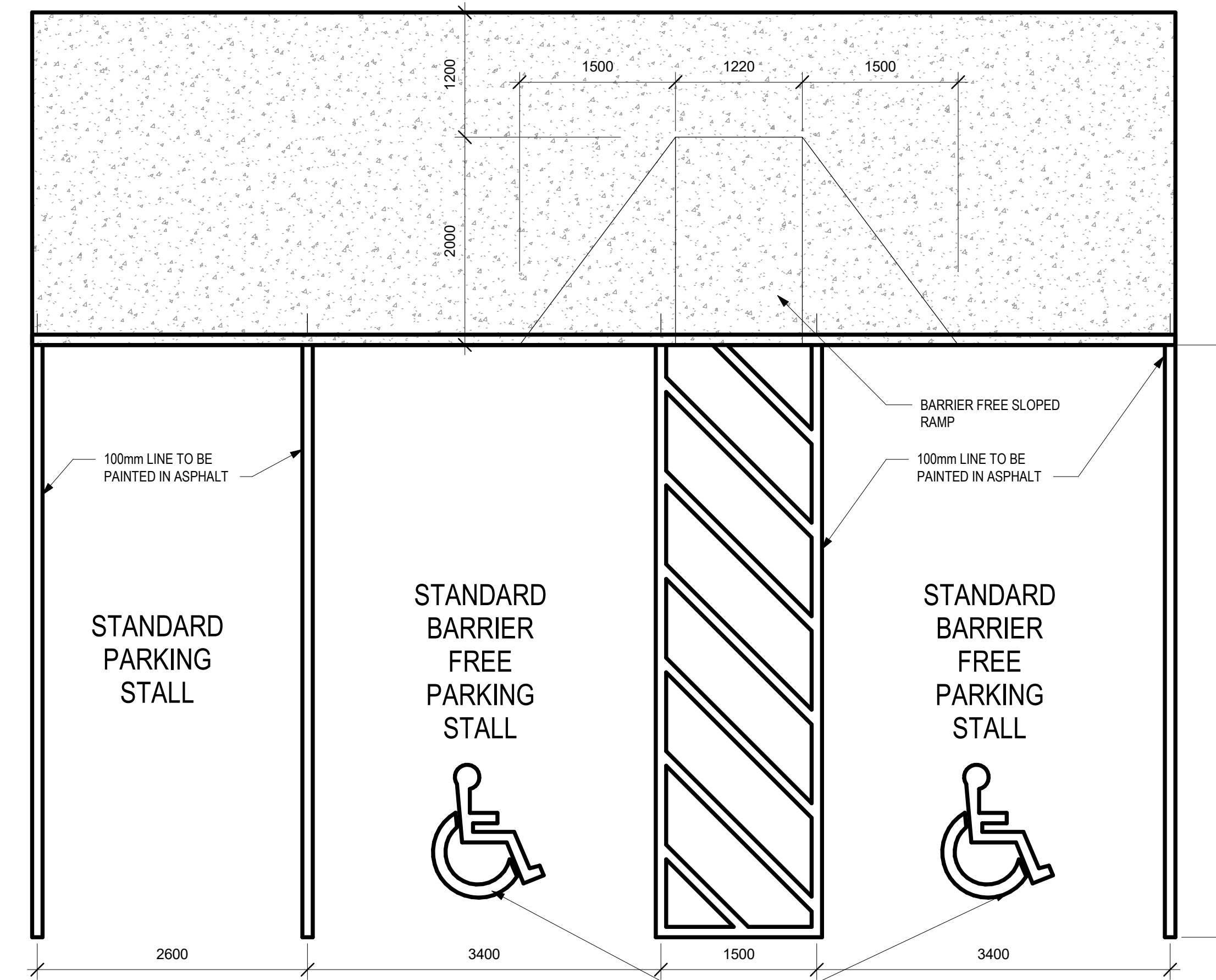
KEY PLAN

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO THE ARCHITECTURE 49 OFFICE.

REVISED FOR REVIEW

NO.	DATE	DESCRIPTION
1	2022.12.19	REVISED FOR CITY COMMENTS
2	2022.06.01	ISSUED FOR SITE PLAN APPLICATION

PROJECT NO:	219-00059-00	DATE:	MAY 30 2022
ORIGINAL SCALE:	As indicated	IF THIS BAR IS NOT FURNISHED, RESIZE YOUR PLOTTING SCALE.	
DESIGNED BY:	J.C.		
DRAWN BY:	AS / SG		
CHECKED BY:	ASB		
DISCIPLINE:	ARCHITECTURAL		
TITLE:	SITE PLAN - FIRE AND TRUCK ROUTE		
SHEET NUMBER:	A0.3		
SHEET #	OF	REV #	
DATE OF			



PRINCE OF WALES DR.

COLONNADE RD.

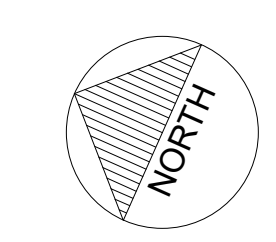
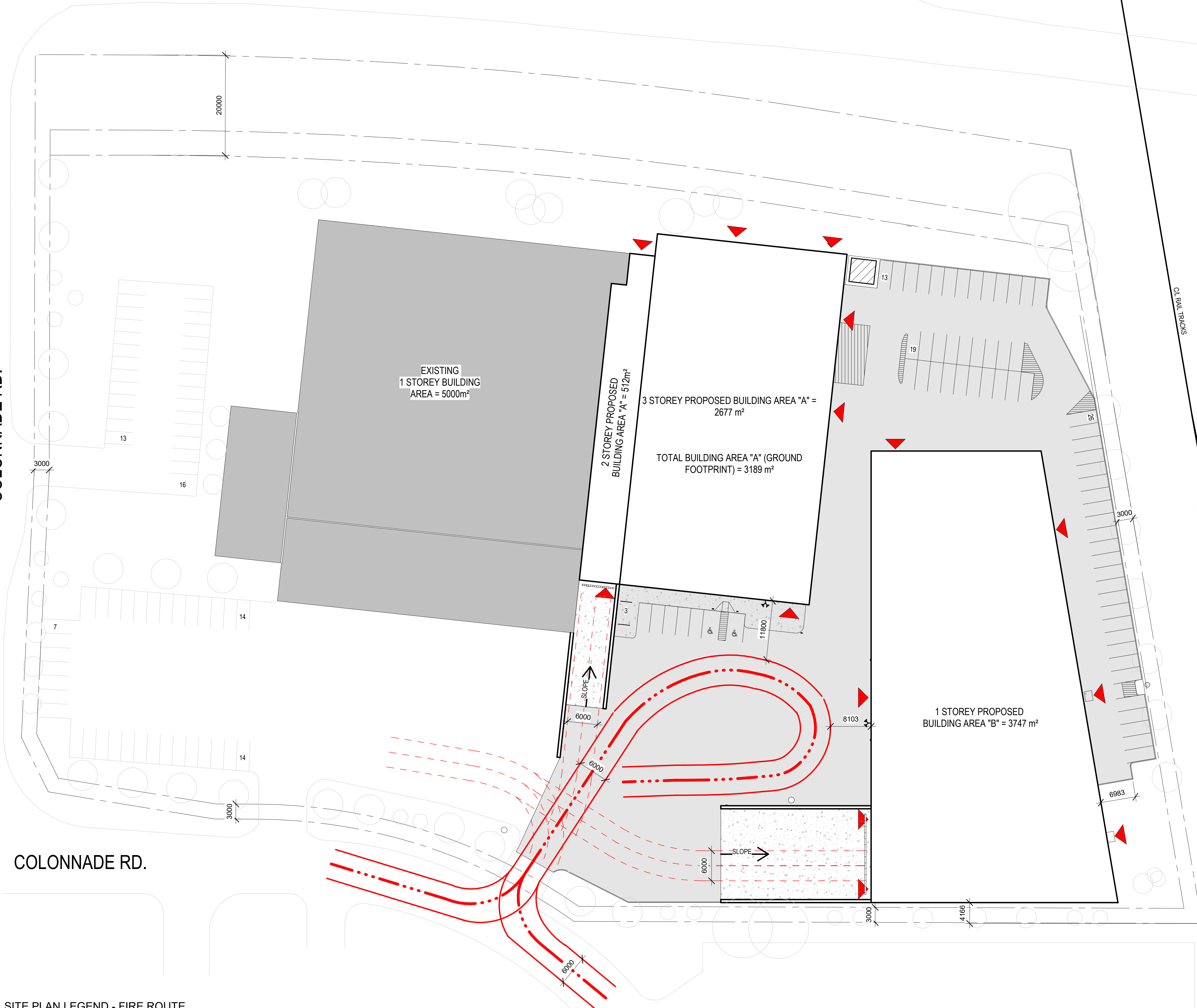
COLONNADE RD.

SITE PLAN LEGEND - FIRE ROUTE

— LINE DENOTES FIRE ACCESS ROUTE

- - - LINE DENOTES TRUCK ACCESS ROUTE

SITE PLAN - VEHICULAR TURNING MOVEMENTS
 1:40



CONSULTANT - SEE CONSULTANT

CONSULTANT - SEE CONSULTANT



CLIENT:

CLIENT REF #

PROJECT:

ACCESS STORAGE 125 COLONNADE

KEY PLAN:

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO ARCHITECTURE49 IMMEDIATELY UPON COMMENCEMENT OF WORK. PHOTOGRAPHS ARE NOT TO BE SCALED.

ISSUED FOR: REVISION

1	1	2022.09.16	REISSUED FOR CITY COMMENTS
1	0	2022.09.11	ISSUED FOR SITE PLAN APPLICATION
1	0		ISSUED FOR

PROJECT NO: 219-000050-00

DATE: SEPTEMBER 16, 2022

DESIGNED BY: JJC

DRAWN BY: SG

CHECKED BY: AB

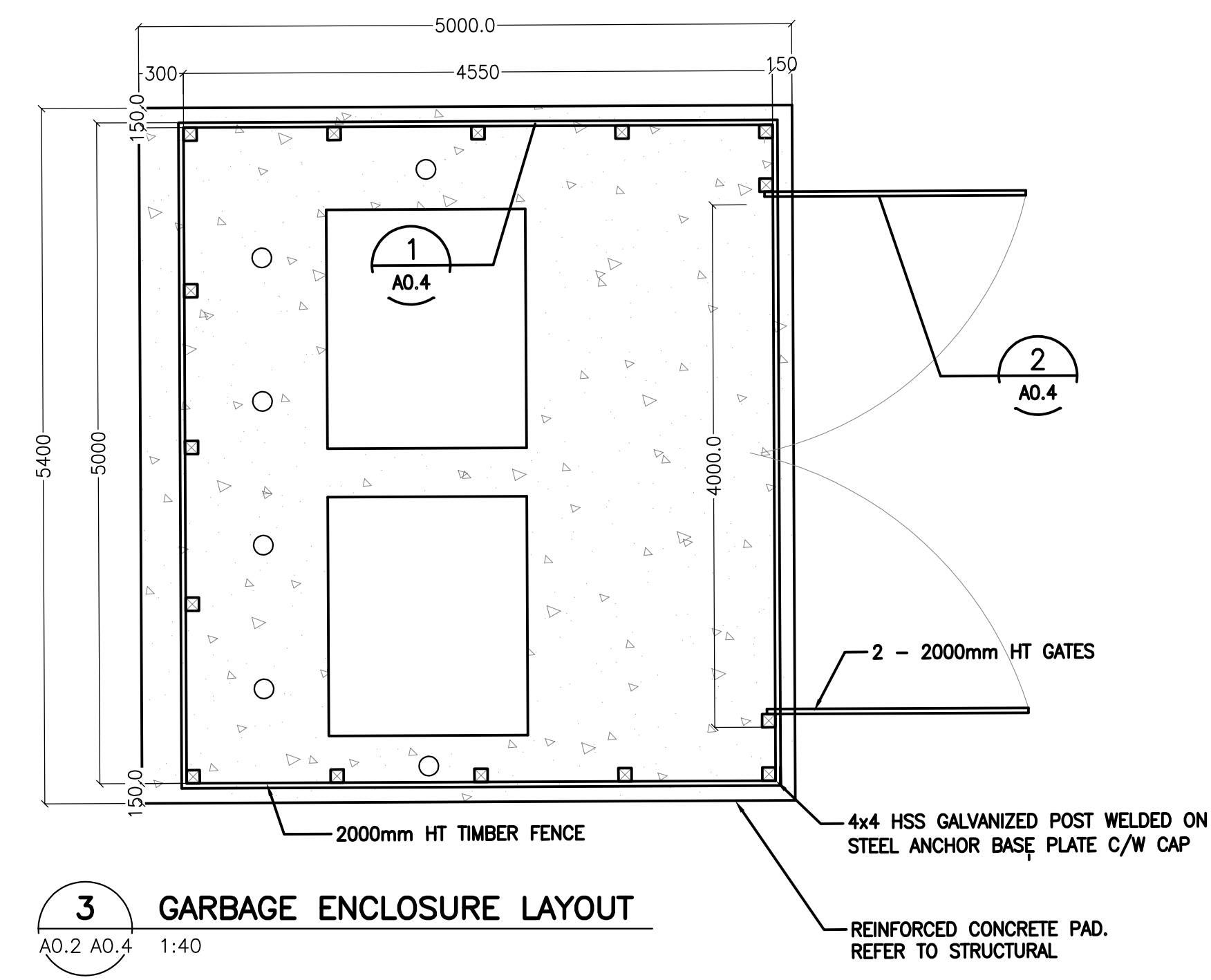
DISCIPLINE: ARCHITECTURAL

TITLE: SITE DETAILS

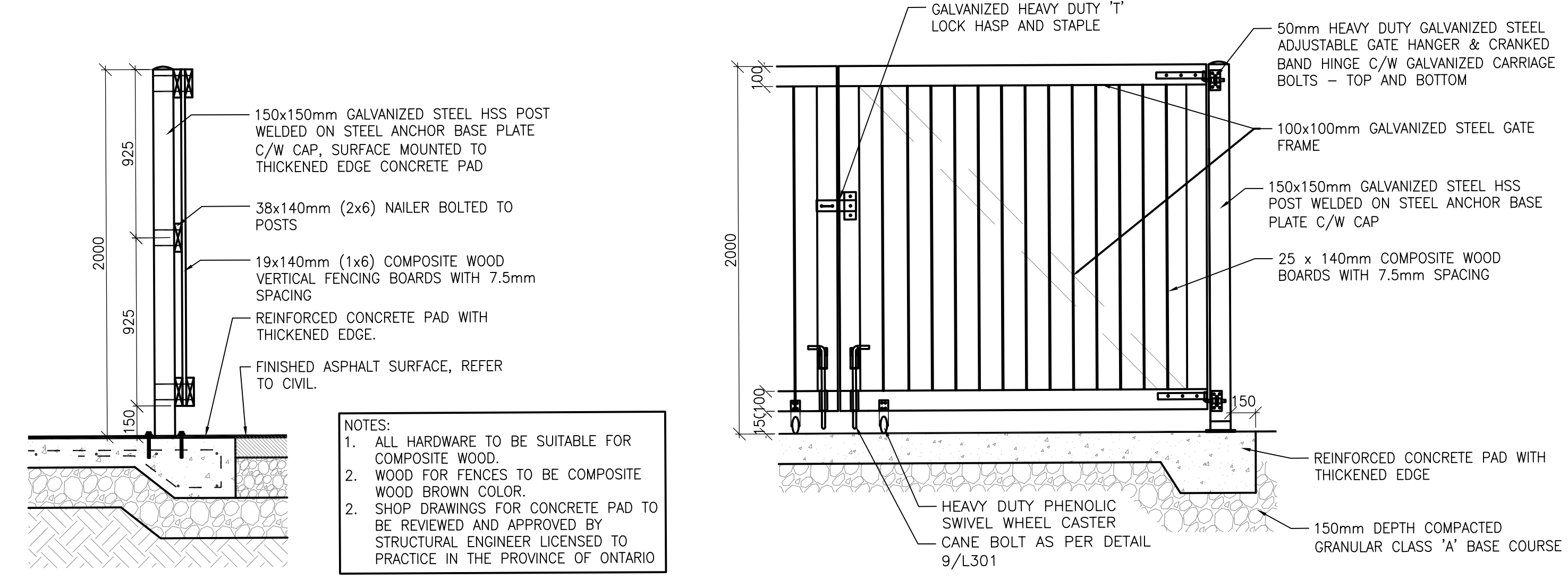
SHEET NUMBER: A0.4

SHEET # OF SHEETS

DATE OF



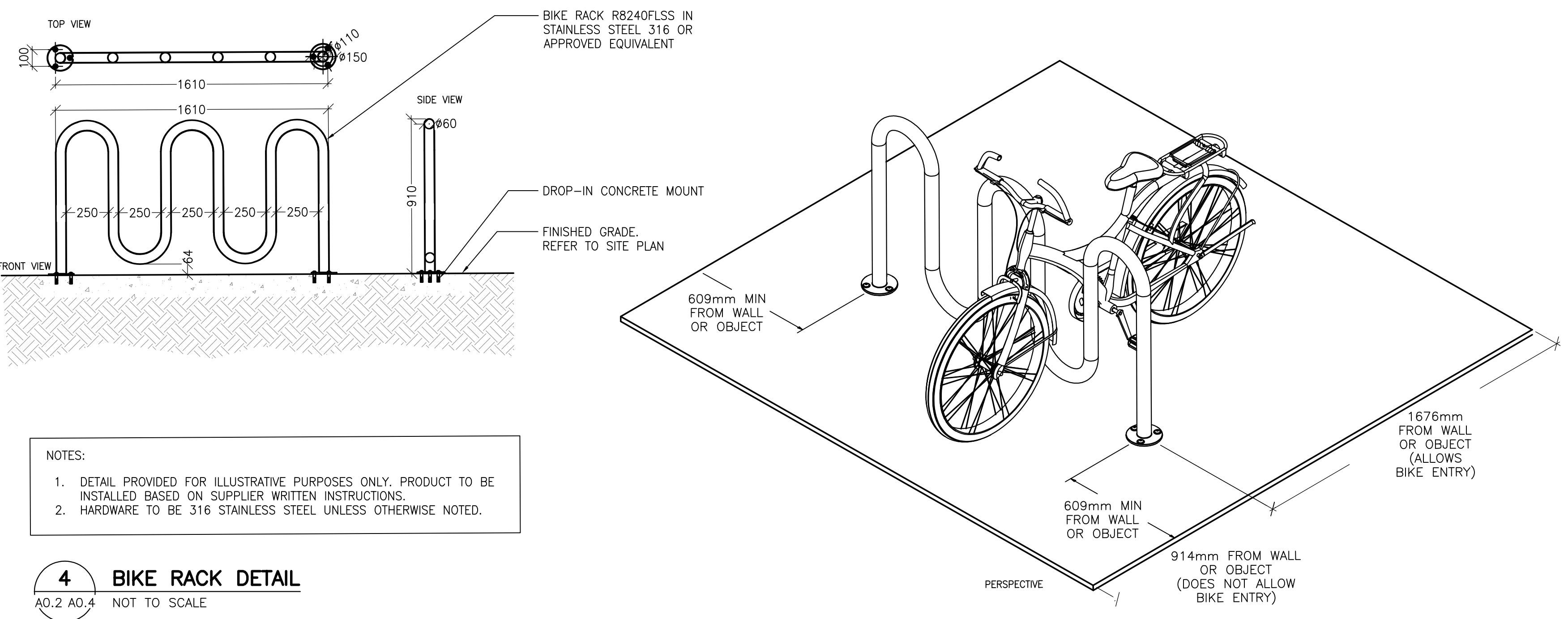
3 GARBAGE ENCLOSURE LAYOUT
 AD.2 AD.4 1:40



1 GARBAGE ENCLOSURE FENCE
 AD.2 AD.4 1:20

2 GARBAGE ENCLOSURE GATE
 AD.2 AD.4 1:20

NOTES:
 1. ALL HARDWARE TO BE SUITABLE FOR COMPOSITE WOOD.
 2. WOOD FOR FENCES TO BE COMPOSITE WOOD BROWN COLOR.
 3. SHOP DRAWINGS FOR CONCRETE PAD TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO.



NOTES:
 1. DETAIL PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. PRODUCT TO BE INSTALLED BASED ON SUPPLIER WRITTEN INSTRUCTIONS.
 2. HARDWARE TO BE 316 STAINLESS STEEL UNLESS OTHERWISE NOTED.

4 BIKE RACK DETAIL
 AD.2 AD.4 NOT TO SCALE

CONSULTANT - SEE CONSULTANT

CONSULTANT - SEE CONSULTANT



CLIENT REF. #

PROJECT:
 ACCESS STORAGE 125 COLONNADE
 SELF STORAGE
 BUILDING A

KEY PLAN

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REVISIONS FOR REVIEW

PROJECT NO.	219-00059-00	DATE	MAY 30, 2022
ORIGINAL SCALE	1:200	IF THIS BAR IS NOT PRINTED, PLEASE CONTACT YOUR PLOTTING SCALE.	
DESIGNED BY:	JIC	DRAWN BY:	AS
CHECKED BY:	AB	DATE:	DECEMBER 19, 2022
DISCIPLINE	ARCHITECTURAL	TITLE	BLOCK PLANS
SHEET NUMBER	A-A1.1	OF	1

DEPARTMENT LEGEND

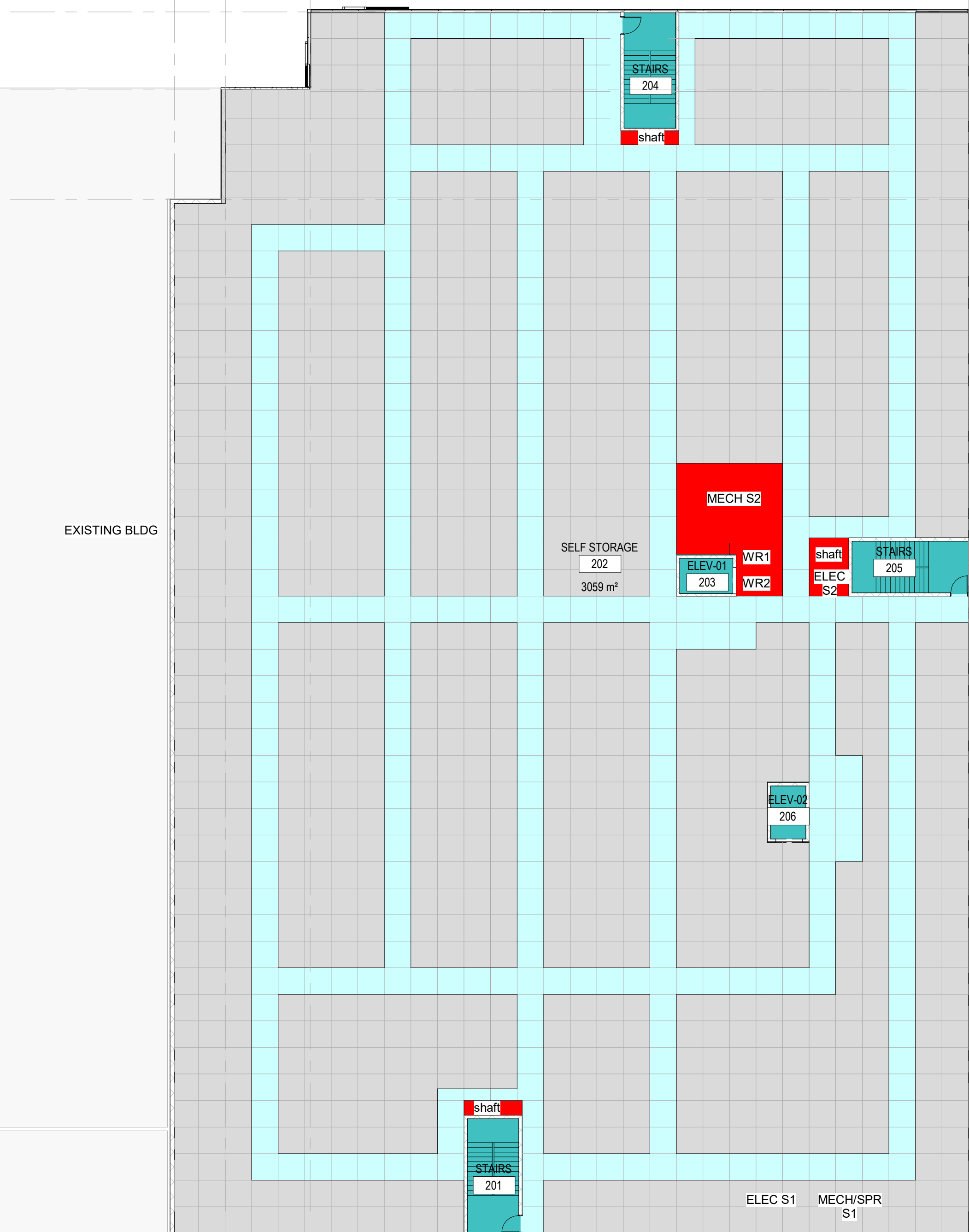
- SELF STORAGE
- SELF STORAGE CIRCULATION
- BUILDING SERVICES

DEPARTMENT LEGEND

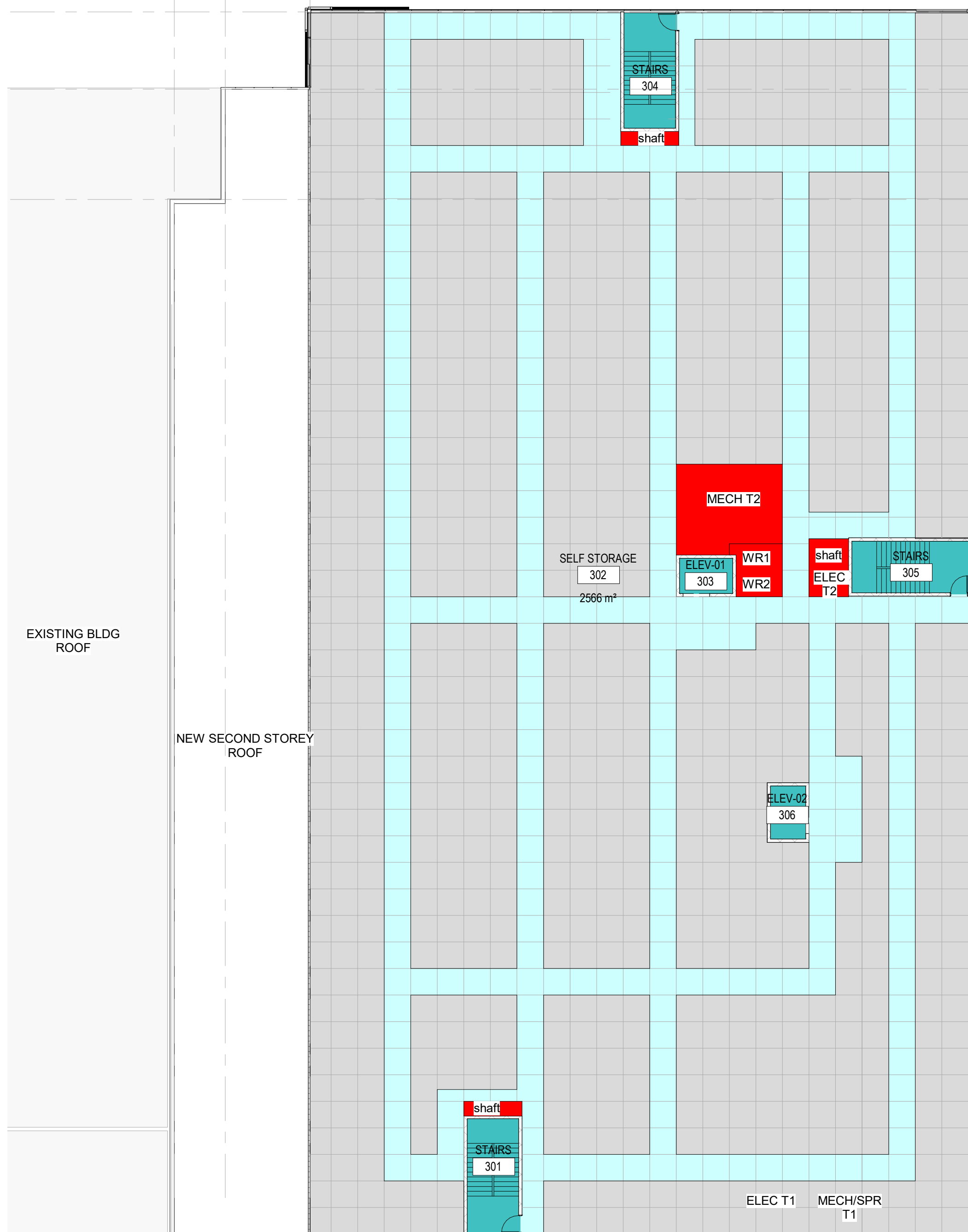
- SELF STORAGE
- SELF STORAGE CIRCULATION
- BUILDING SERVICES

DEPARTMENT LEGEND

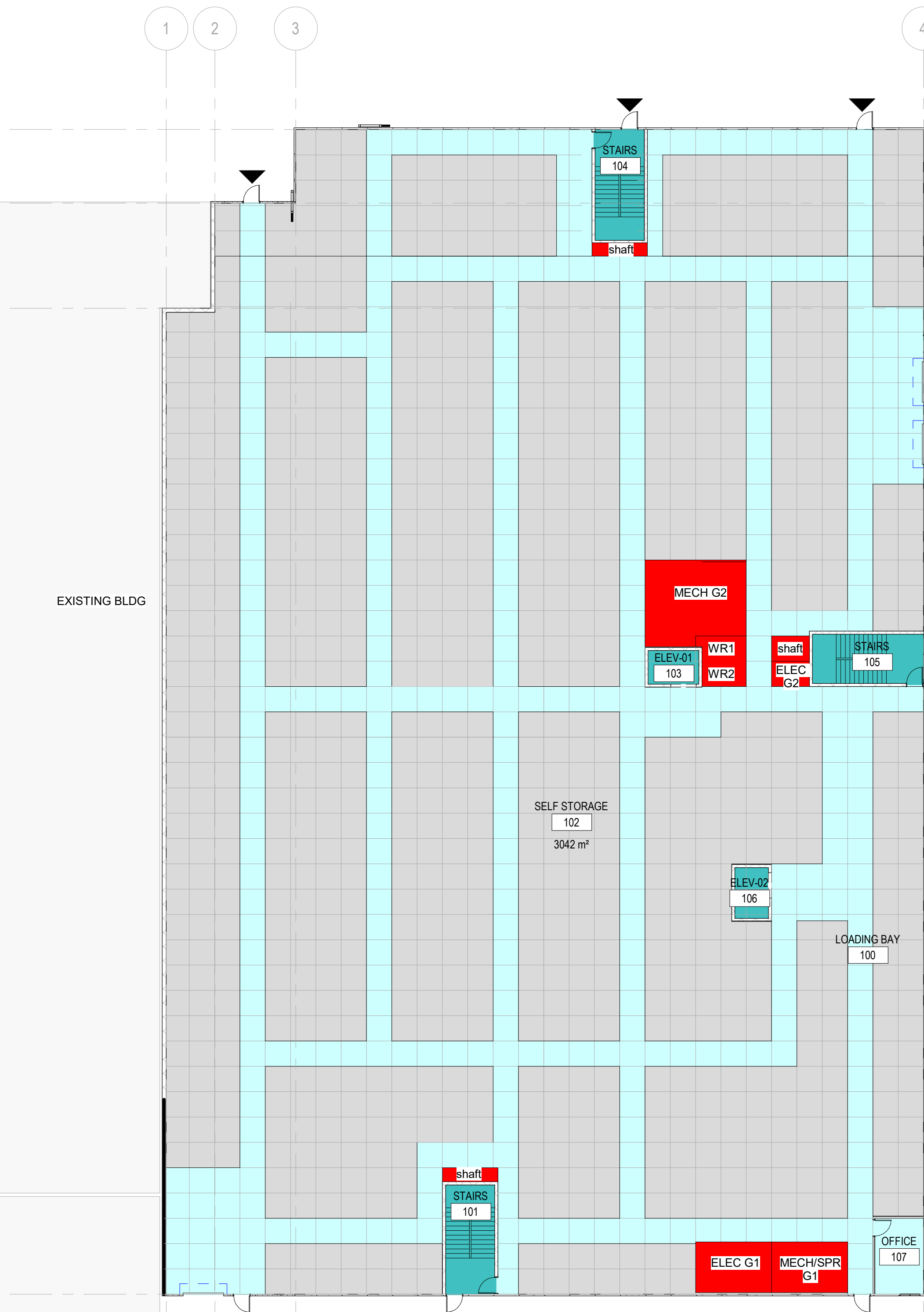
- SELF STORAGE
- SELF STORAGE CIRCULATION
- BUILDING SERVICES



2 BLOCK PLAN - SECOND FLOOR
 1:200

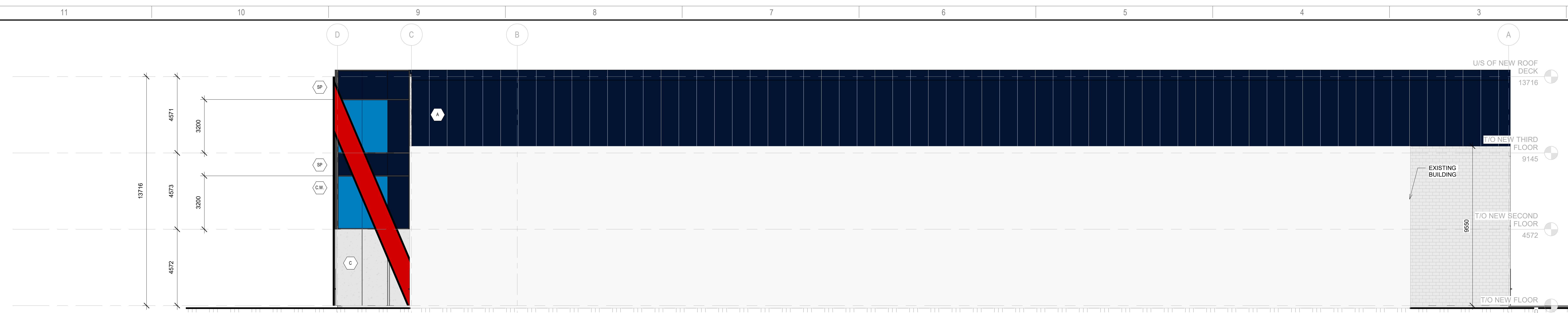


3 BLOCK PLAN - THIRD FLOOR
 1:200

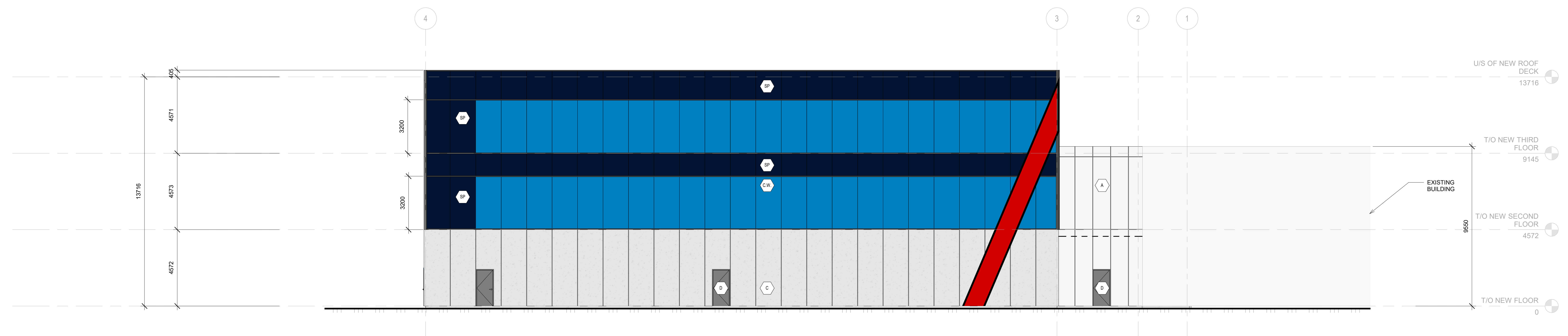


1 BLOCK PLAN - GROUND FLOOR
 1:200

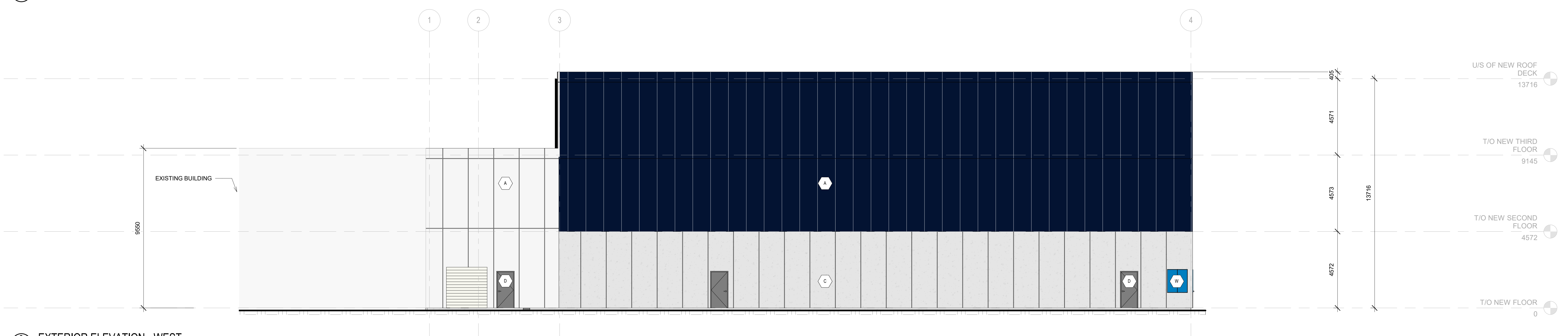
Firm Name: ARCHITECTURE 49 INC. Certificate of Practice Number:		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BC20N.	
Name of Project: Access Storage 125 Colonnade			
Location: 125 Colonnade, Ottawa, Ontario K2E 7L9			
Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC Reference	
Reference are to Division, unless noted (A) for Division A or (C) for Division C.			
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 11.1 to 11.4 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 9.1 to 9.3 <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	1.1.2 (A)	1.1.2 (A) & 9.10.1.3
2	Major Occupancy Group: Division 2 <input type="checkbox"/> Change of Use	3.1.2.1 (1)	9.10.2
3	Building Area (m²): Existing New 3189 m² Total 3189 m²	1.4.1.2 (A)	1.4.1.2 (A)
4	Gross Area: Existing New TBA m² Total TBA m²	1.4.1.2 (A)	1.4.1.2 (A)
5	Number of Storeys: Above Grade 3 Below Grade 0	1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4
6	Number of Streets/Fire Fighter Access: 1	3.2.2.10 & 3.2.5	9.10.20
7	Building classification: 3.2.2.7(b)	3.2.2.31	9.10.2
8	Sprinkler System Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20 - 83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX INDEX
9	Standslope Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9	N/A
10	Fire Alarm Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4	9.10.18
11	Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A
12	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible permitted <input checked="" type="checkbox"/> Both	3.2.2.20 - 83	9.10.6
14	Mezzanine Area (m²): <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.1.1 (3)-(8)	9.10.4.1
15	Occupant Load Based on: <input type="checkbox"/> m/person <input checked="" type="checkbox"/> design of building 1 Floor: Occupancy Group F-2 Load TBD persons 2 Floor: Occupancy Group F-2 Load TBD persons 3 Floor: Occupancy Group F-2 Load TBD persons	3.1.17	9.9.1.3
16	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8	9.5.2
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19	9.10.1.3 (4)
18	Required Fire Resistance Rating (FRR) (Hours): Horizontal Assemblies: Listed Design No. or Description (SG-2) FRR (hours): Hours 3/4 hr Roof: Hours 0 Mezzanine: Hours FRR of Supporting Members: Listed Design No. or Description (SG-2) Floors: Hours Roof: Hours Mezzanine: Hours	3.2.2.20 - 83 & 3.2.1.4	9.10.8 9.10.9



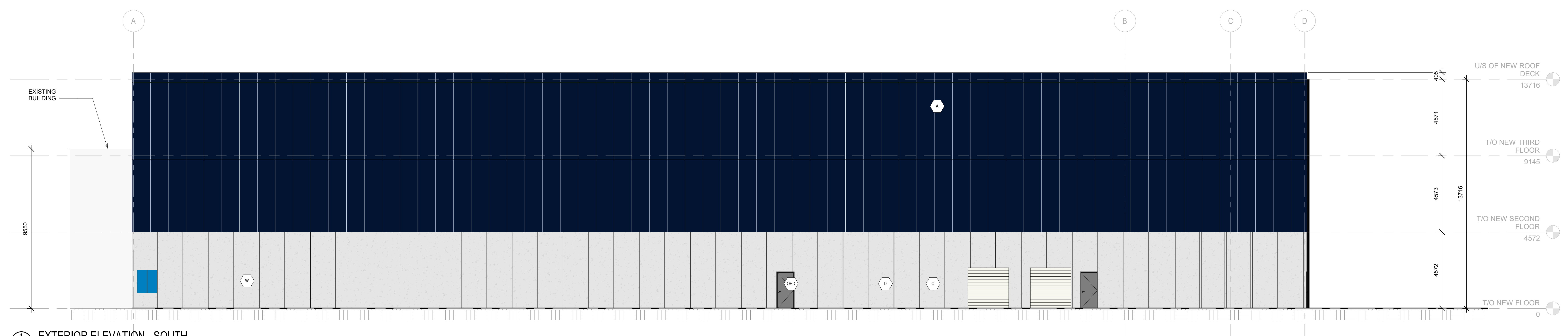
1 EXTERIOR ELEVATION - NORTH
A.A.1
1:100



3 EXTERIOR ELEVATION - EAST
A.A.1
1:100



2 EXTERIOR ELEVATION - WEST
A.A.1
1:100



4 EXTERIOR ELEVATION - SOUTH
A.A.1
1:100

- LEGEND**
- (A) PRE-FINISHED INSULATED METAL PANELS
 - (C) PRE-CAST CONCRETE WALL PANEL
 - (D) EXTERIOR DOOR
 - (DH) OVER-HEAD DOOR CW DOCK SEALS, DOCK LEVELER AND DOCK BUMPERS
 - (CW) ALUMINUM CURTAIN WALL SYSTEM
 - (SP) SPANDREL PANEL
 - (W) ALUMINUM WINDOW

CONSULTANT - SUB CONSULTANT
CONSULTANT - SUB CONSULTANT



CLIENT REF. #
PROJECT:
**ACCESS STORAGE 125 COLONNADE
SELF STORAGE
BUILDING A**

KEY PLAN

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR EXCEEDED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECTURE 49. THIS DRAWING IS NOT TO BE SCALED.

ISSUED FOR REVIEW

NO.	DATE	DESCRIPTION
1	2022.12.19	REVISED FOR CITY COMMENTS
2	2022.06.01	ISSUED FOR SITE PLAN APPLICATION

PROJECT NO: 219-00059-00
DATE: MAY 30, 2022
ORIGINAL SCALE: As indicated
IF THIS BAR MUST BE PRINTED, PLEASE PRINT AT YOUR PLOTTING SCALE.

DRAWN BY: JIC
CHECKED BY: AS
DESIGNED BY: ASB

DISCIPLINE	
ARCHITECTURAL	

TITLE: **EXTERIOR ELEVATIONS**

SHEET NUMBER: **A-A.1**

DATE OF: DECEMBER 19, 2022



CLIENT REF. #
 PROJECT:
**ACCESS STORAGE 125 COLONNADE
 WAREHOUSE
 BUILDING B**

REV. PLAN

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 THIS DRAWING IS NOT TO BE SCALED.

REVISED FOR: REVISION

IS	REV.	DATE	DESCRIPTION
1	2022.12.19	2022.06.01	REVISED FOR CITY COMMENTS ISSUED FOR SITE PLAN APPLICATION

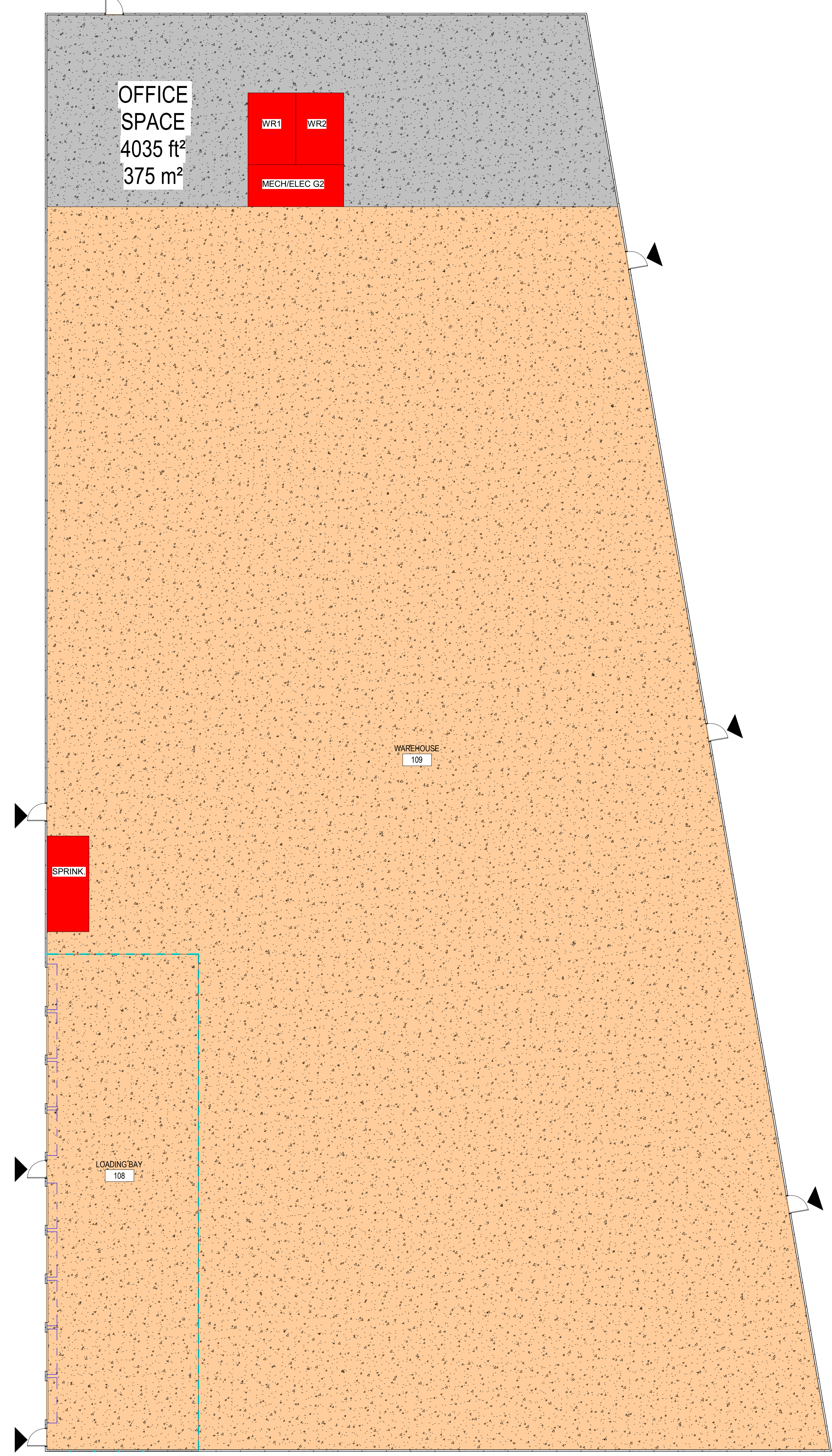
PROJECT NO:	219-00059-00	DATE:	MAY 30, 2022
ORIGINAL SCALE:	1:150	IF THIS BAR IS NOT DRAWN TO SCALE, PLEASE YOUR PLOTTING SCALE.	
DESIGNED BY:	J.C.		
DRAWN BY:	AS		
CHECKED BY:	AB		

DISCIPLINE:	ARCHITECTURAL
TITLE:	BLOCK PLAN - MAIN FLOOR
SHEET NUMBER:	B-A1.1
SHEET #	1
DATE OF:	DECEMBER 19, 2022

Firm Name: ARCHITECTURE 49 INC.		Certificate of Practice Number:	
Name of Project: Access Storage 125 Colonnade		Location: 125 Colonnade, Ottawa, Ontario K2E 7L9	
The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.			
Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC Reference	
References are to Division, unless noted [A] for Division A or [C] for Division C.			
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 11.1 to 11.4	<input type="checkbox"/> Part 3 1.1.2[A] 1.1.2[A] & 9.10.1.3
2	Major Occupancy(s) Group F, Division 2	3.1.2.1.(1)	9.10.2
3	Building Area (m ²) Existing New Total 3747 m ² 3747 m ²	1.4.1.2[A] 1.4.1.2[A]	1.4.1.2[A] 1.4.1.2[A]
4	Gross Area Existing New Total 3747 m ² 3747 m ²	1.4.1.2[A] 1.4.1.2[A]	1.4.1.2[A] 1.4.1.2[A]
5	Number of Storeys Above Grade 1 Below Grade 0	1.4.1.2[A] & 3.2.1.1 3.2.2.10 & 3.2.5.5	1.4.1.2[A] & 9.10.4 9.10.2B
6	Number of Streets Fire Fighter Access: 1	3.2.2.10 & 3.2.5.5	9.10.2B
7	Building classification: 3.2.2.70.b	3.2.2.31	9.10.2
8	Sprinkler System Proposed <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-.83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX INDEX
9	Standpipe Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	N/A
10	Fire Alarm Required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4	9.10.1B
11	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Construction Restrictions <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible permitted <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-.83	9.10.6
14	Actual Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-.83	9.10.6
14	Mezzanine(s) Area m ²	3.2.1.1.(3)&(8)	9.10.4.1
15	Occupant Load Based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building	3.1.17	9.9.1.3
1	Floor Occupancy Group F-2 Load TBD persons		
	Floor Occupancy Load persons		
	Floor Occupancy Load persons		
	Floor Occupancy Load persons		
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8	9.5.2
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SS-2) Roof Hours 0 Mezzanine Hours 0 FRR of Supporting Members Listed Design No. or Description (SS-2) Floors n/a Hours Roof 0 Hours Mezzanine 0 Hours	3.2.2.20-.83 & 3.2.1.4	9.10.8 9.10.9

DEPARTMENT LEGEND

- WAREHOUSE
- OFFICE SPACE
- BUILDING SERVICES



BLOCK PLAN - MAIN FLOOR
 1:150

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT



CLIENT REF. #
 PROJECT
**ACCESS STORAGE 125 COLONNADE
 WAREHOUSE
 BUILDING B**

KEY PLAN

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO ARCHITECTURE 49 IMMEDIATELY UPON DISCOVERY.
 THIS DRAWING IS NOT TO BE SCALED.

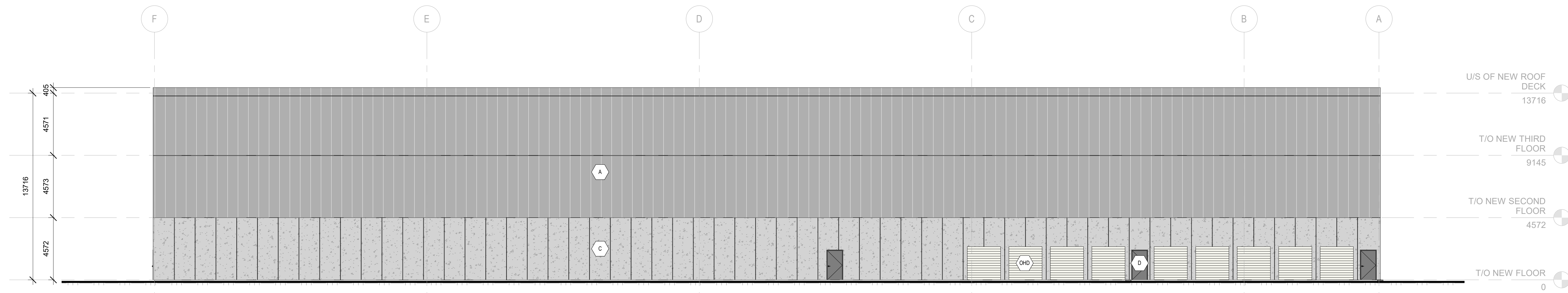
REVISED FOR: REVISION

NO.	DATE	DESCRIPTION
1	2022.12.19	REVISED FOR CITY COMMENTS
2	2022.06.01	ISSUED FOR SITE PLAN APPLICATION

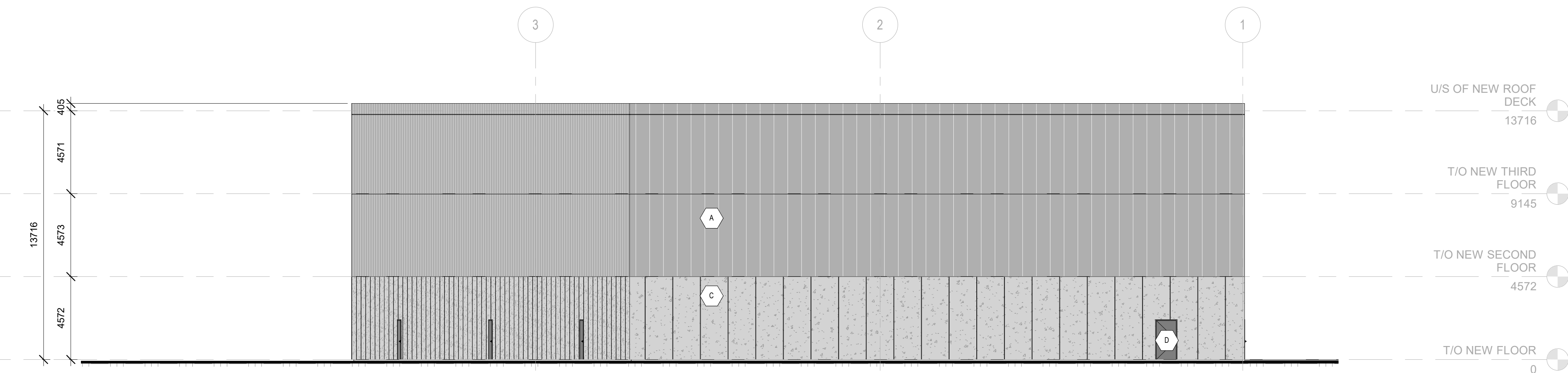
PROJECT NO. 219-00059-00	DATE MAY 30, 2022
ORIGINAL SCALE As indicated	IF THIS BAR IS NOT SHOWN, PLEASE YOUR PLOTTING SCALE.
DESIGNED BY: JJC	
DRAWN BY: AS	
CHECKED BY: ASB	
DISCIPLINE ARCHITECTURAL	
TITLE EXTERIOR ELEVATIONS	
SHEET NUMBER B-A4.1	
SHEET # 1	
DATE OF: DECEMBER 19, 2022	

LEGEND

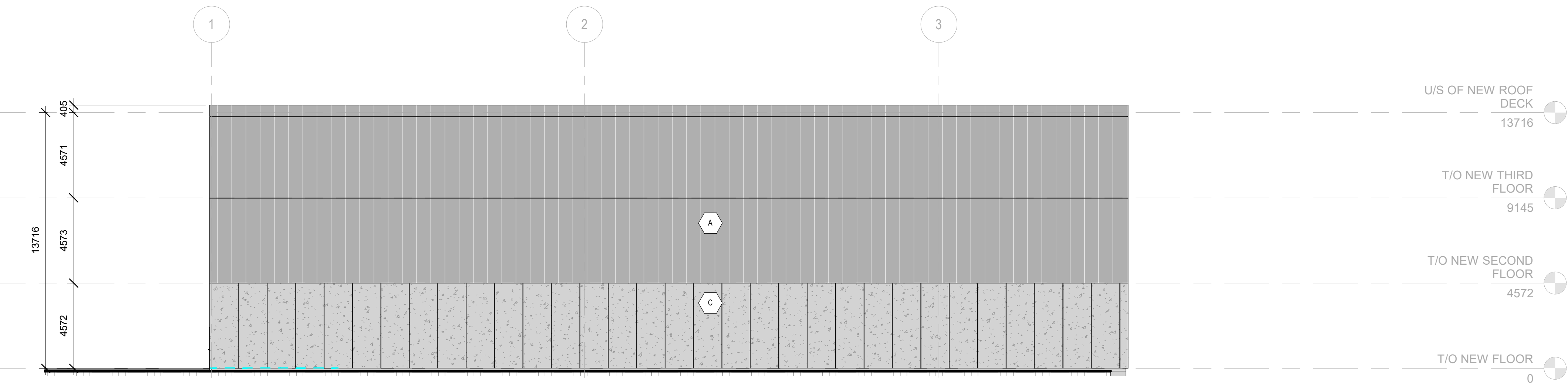
- (A) PRE-FINISHED INSULATED METAL PANELS
- (C) PRE-CAST CONCRETE WALL
- (D) EXTERIOR DOOR
- (WD) OVER HEAD DOOR CW/ DOCK SEALS, DOCK LEVELER AND DOCK BUMPERS



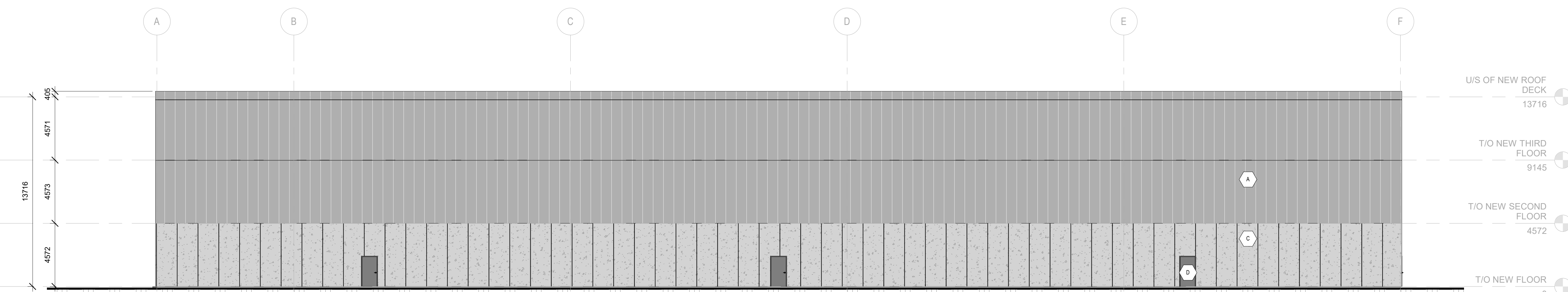
4 EXTERIOR ELEVATION - NORTH
 1:150



3 EXTERIOR ELEVATION - EAST
 1:150



2 EXTERIOR ELEVATION - WEST
 1:150



1 EXTERIOR ELEVATION - SOUTH
 1:150