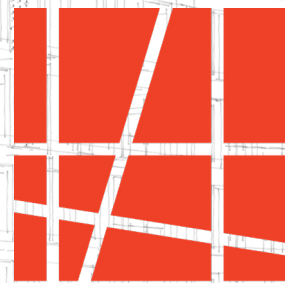


50 THE DRIVEWAY

DESIGN PRESENTATION - SITE PLAN CONTROL RESUBMISSION #1

JANUARY 13TH 2023



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ARCHITECTURE



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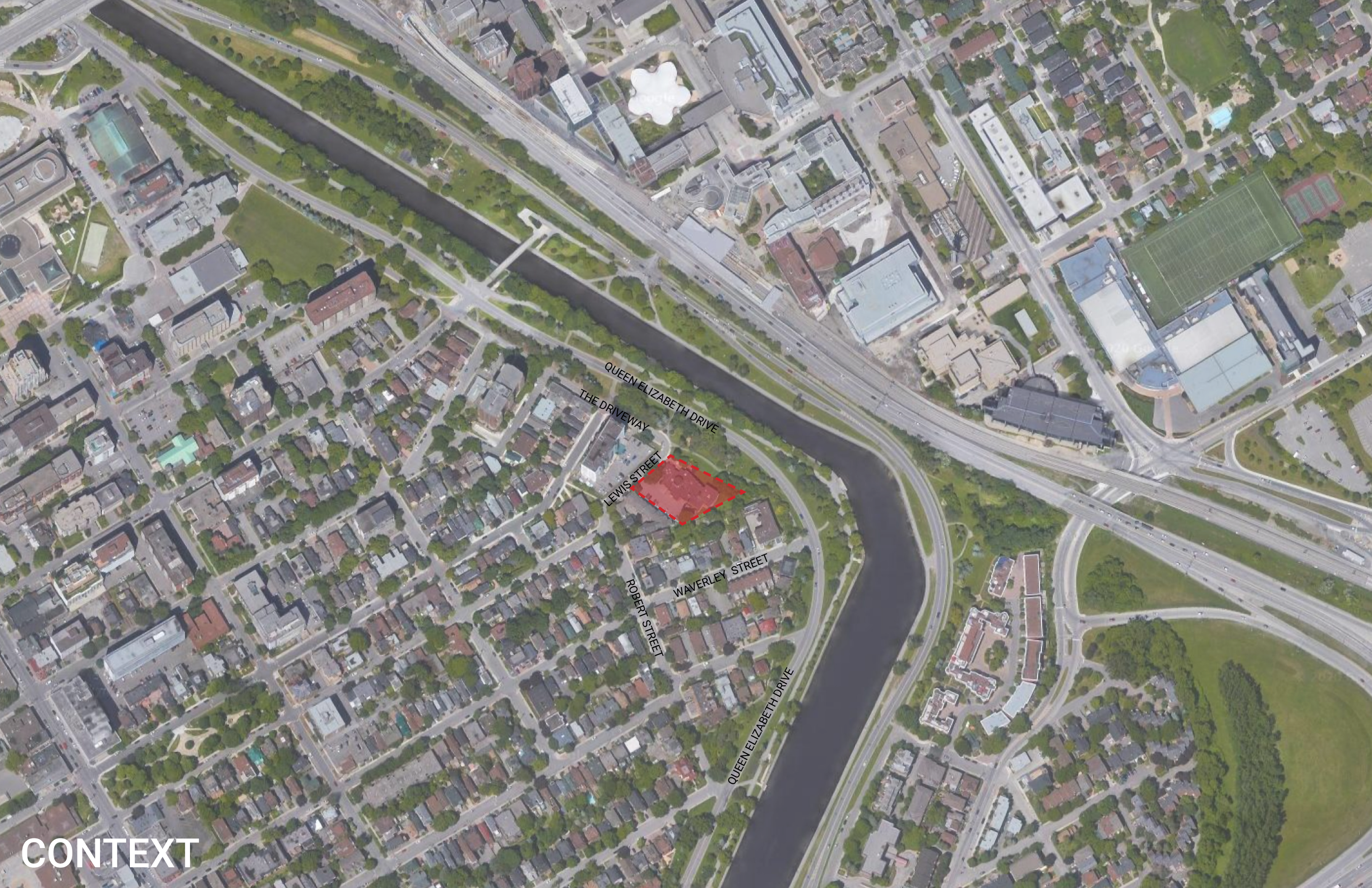
TABLE OF CONTENTS

- CONTEXT & APPROACH
- EARLY MASSING EXERCISES
- BUILDING AERIALS
- SIDE YARD CONSIDERATIONS
- DESIGN VIEWS
- KEY PLANS, SECTIONS & ELEVATIONS
- APPENDIX



- CONTEXT & APPROACH -





CONTEXT



N



E

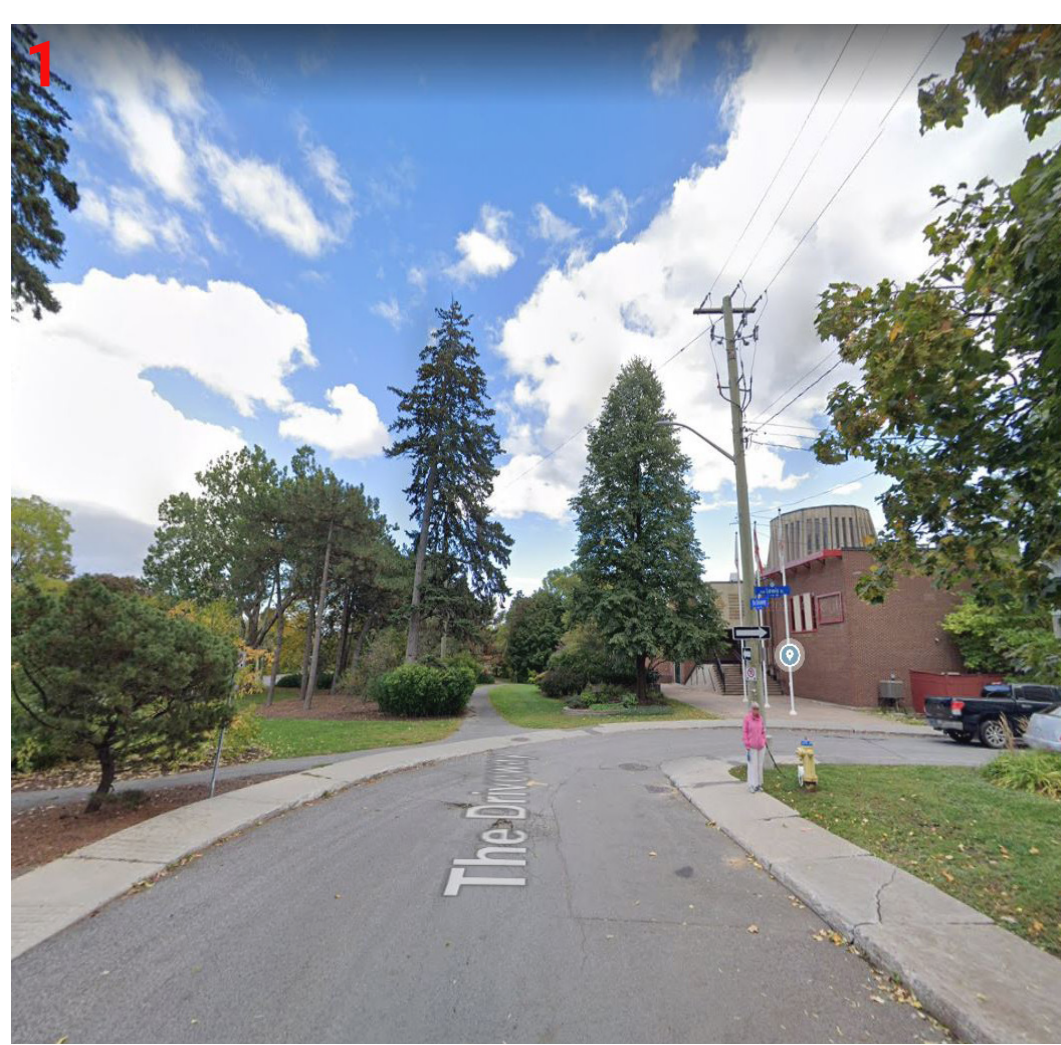
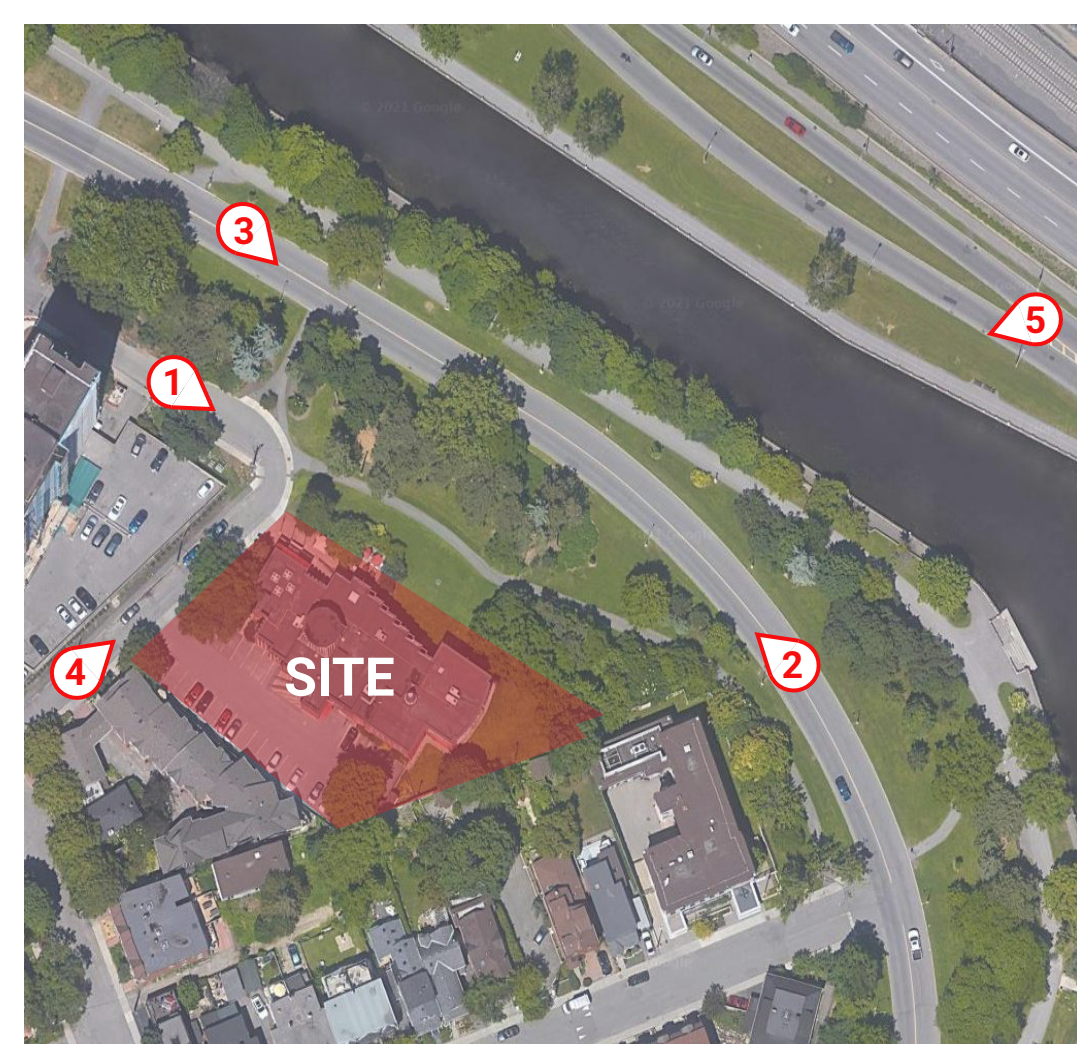


W



S

CONTEXT



HOW TO ACHIEVE A SENSIBLE DESIGN SOLUTION THAT ALLOWS THE CANADIANS NURSES ASSOCIATION TO GET PROPER RETURN ON THEIR INVESTMENT?

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Association

HOW TO CAPITALIZE
THE NURSES ASSET?

RETENTION OF
THE JAMES
STRUTT BUILDING

LIMIT NEGATIVE
IMPACTS & VIEWS
ALONG THE RIDEAU
CANAL (UNESCO
WORLD HERITAGE
SITE)

CITY
HERITAGE



HOW TO BEST REDEVELOP AN
UNDERUTILIZED/ UNDERDEVELOPED
URBAN SITE FOR RESIDENTIAL USE

CITY PLANNING

APPROACH

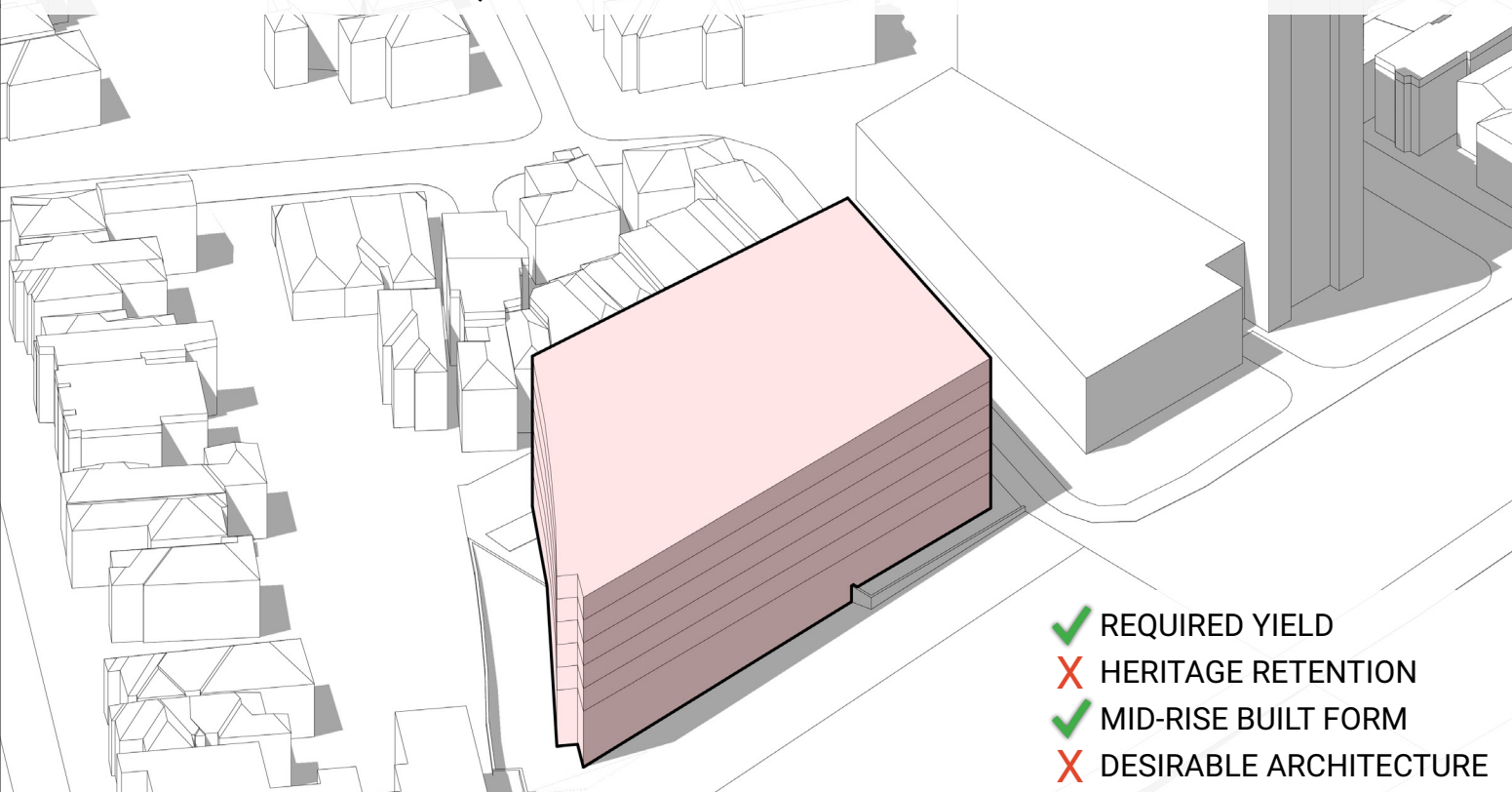
- EARLY MASSING EXERCISES -



1 - BASELINE SITE YIELD

6 STOREYS - BASELINE

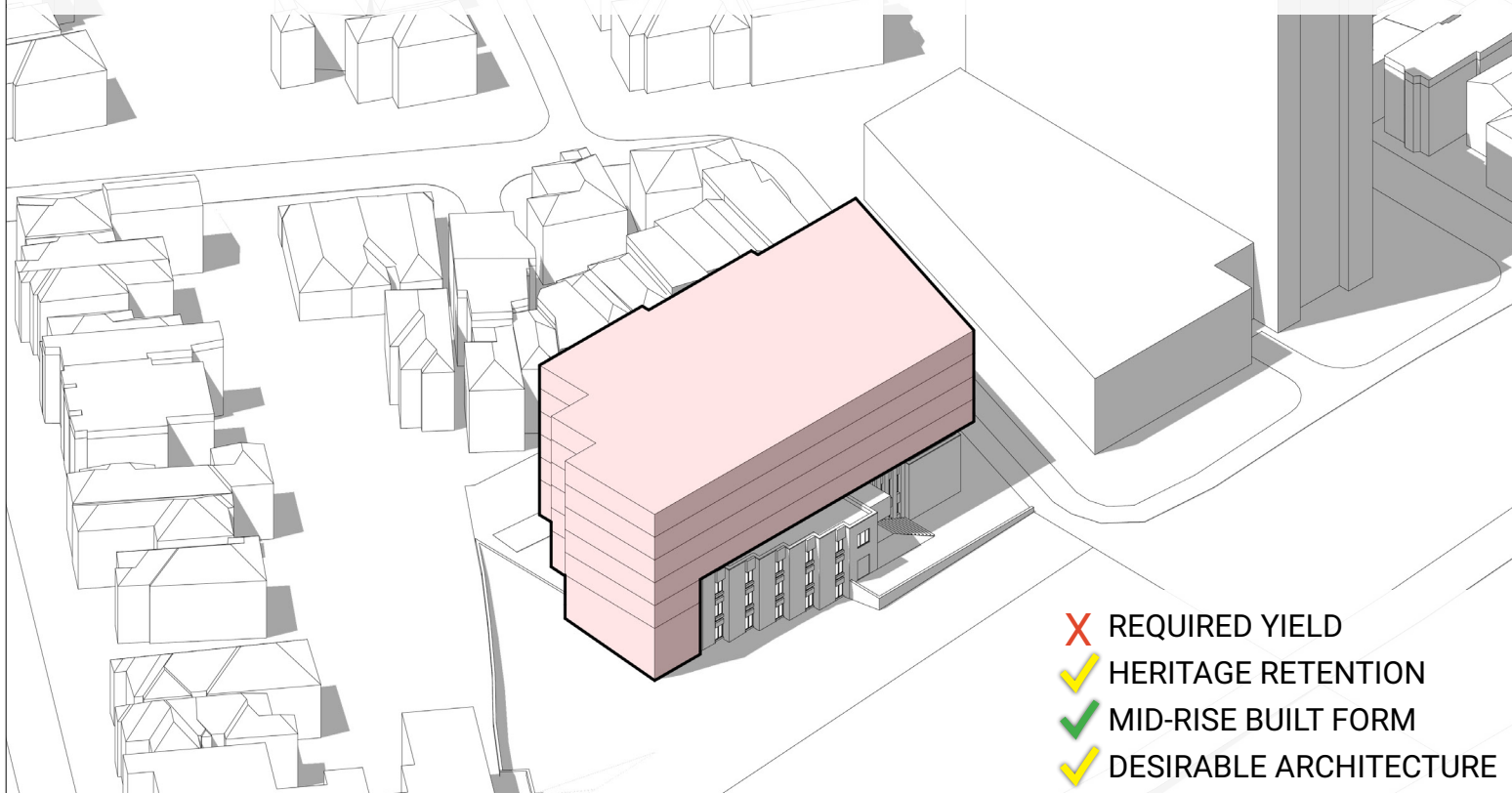
*ANTICIPATED YIELD REQUIRED FOR DEVELOPMENT FEASIBILITY WITH NO BUILDING RETENTION



- ✓ REQUIRED YIELD
- ✗ HERITAGE RETENTION
- ✓ MID-RISE BUILT FORM
- ✗ DESIRABLE ARCHITECTURE

2 - HERITAGE CONSERVATION

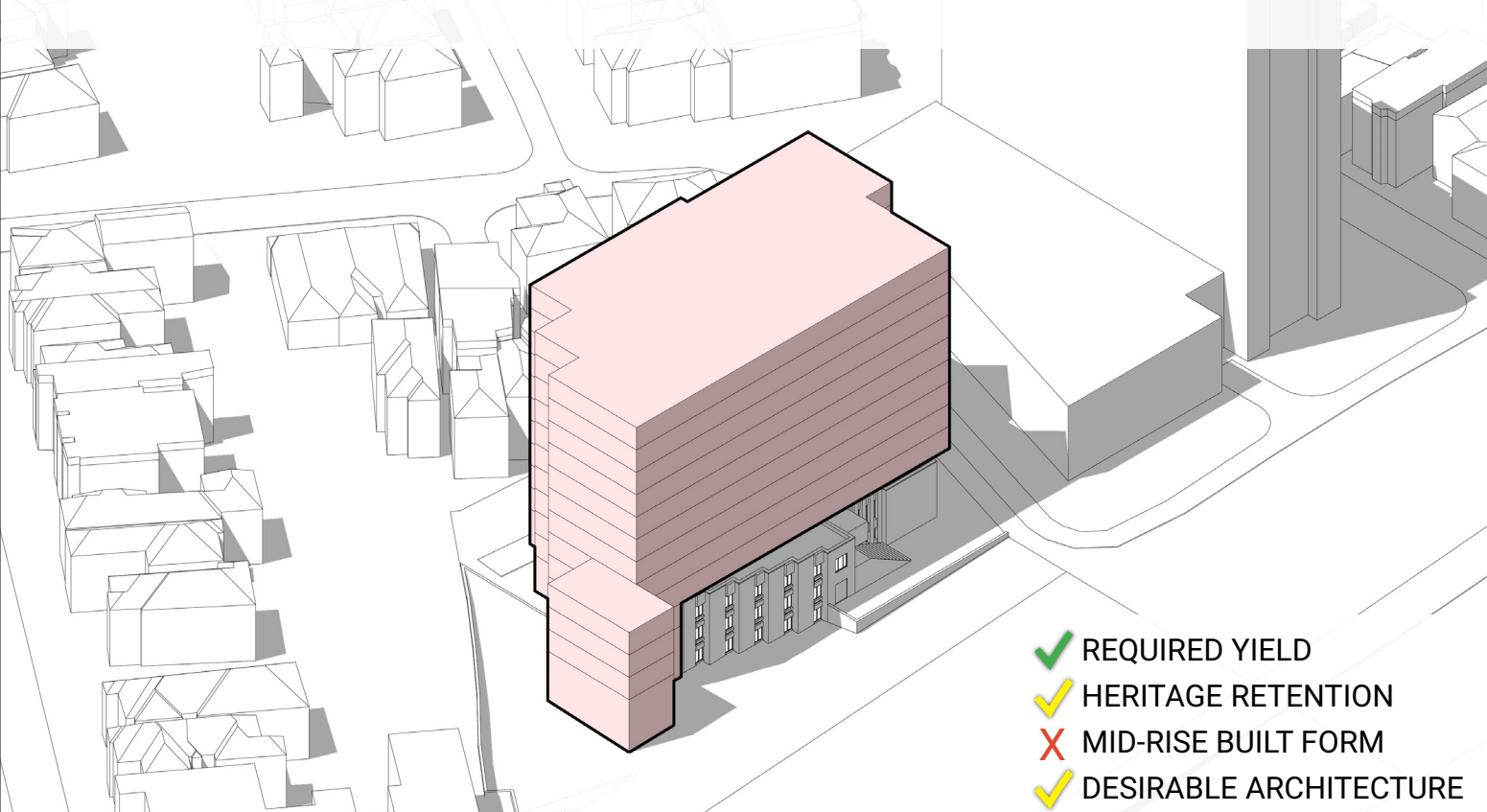
6 STOREYS



- ✗ REQUIRED YIELD
- ✓ HERITAGE RETENTION
- ✓ MID-RISE BUILT FORM
- ✓ DESIRABLE ARCHITECTURE

3 - REALLOCATION OF MASS

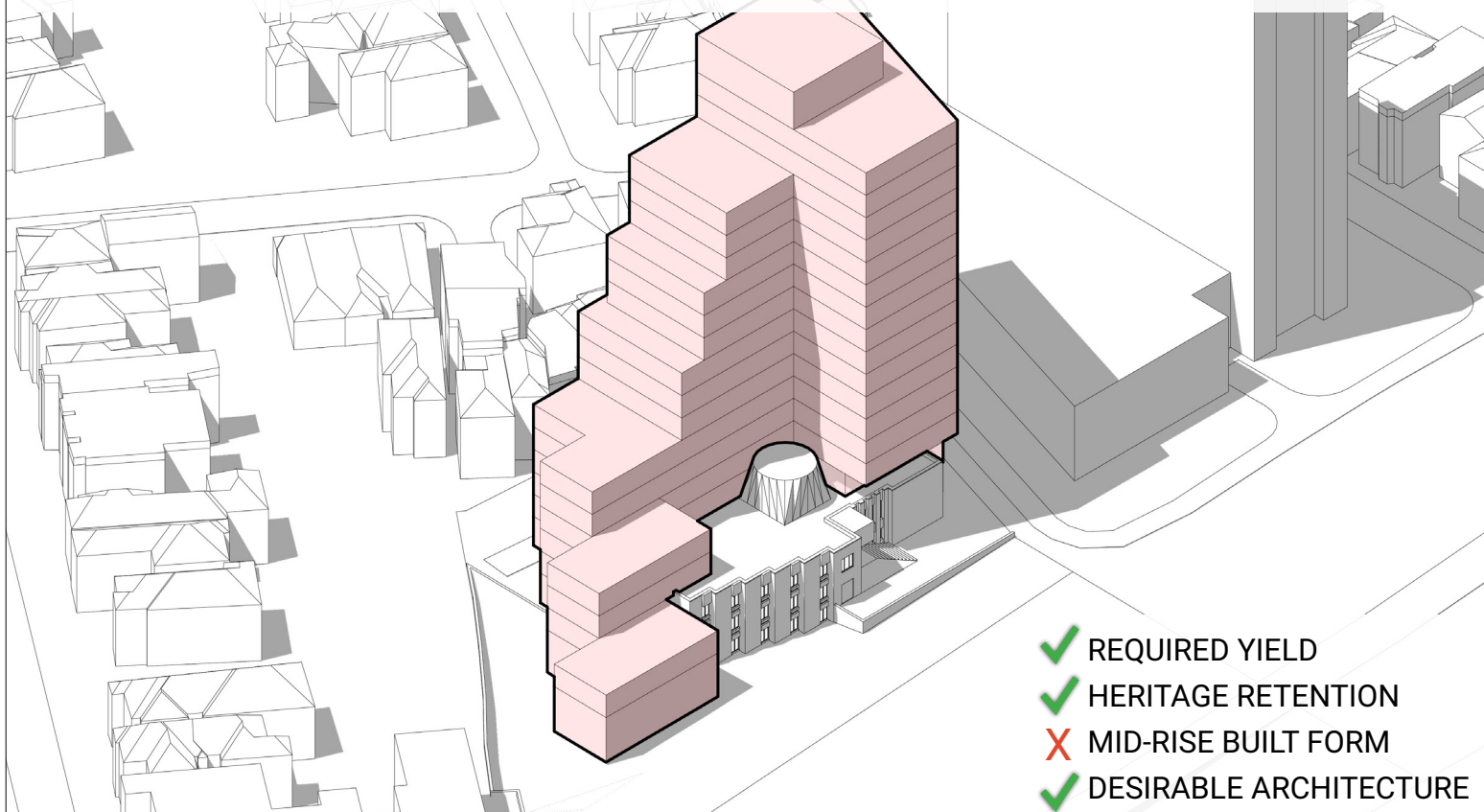
11 STOREYS



- ✓ REQUIRED YIELD
- ✓ HERITAGE RETENTION
- ✗ MID-RISE BUILT FORM
- ✓ DESIRABLE ARCHITECTURE

4 - BUILT FORM & HERITAGE

18 STOREYS



- ✓ REQUIRED YIELD
- ✓ HERITAGE RETENTION
- ✗ MID-RISE BUILT FORM
- ✓ DESIRABLE ARCHITECTURE

5 - NEW STRATEGY: HERITAGE RELOCATION

9 STOREYS + STEPPING

- ✓ REQUIRED YIELD
- ✓ HERITAGE RETENTION
- ✓ MID-RISE BUILT FORM
- ✓ DESIRABLE ARCHITECTURE



- BUILDING AERIALS -



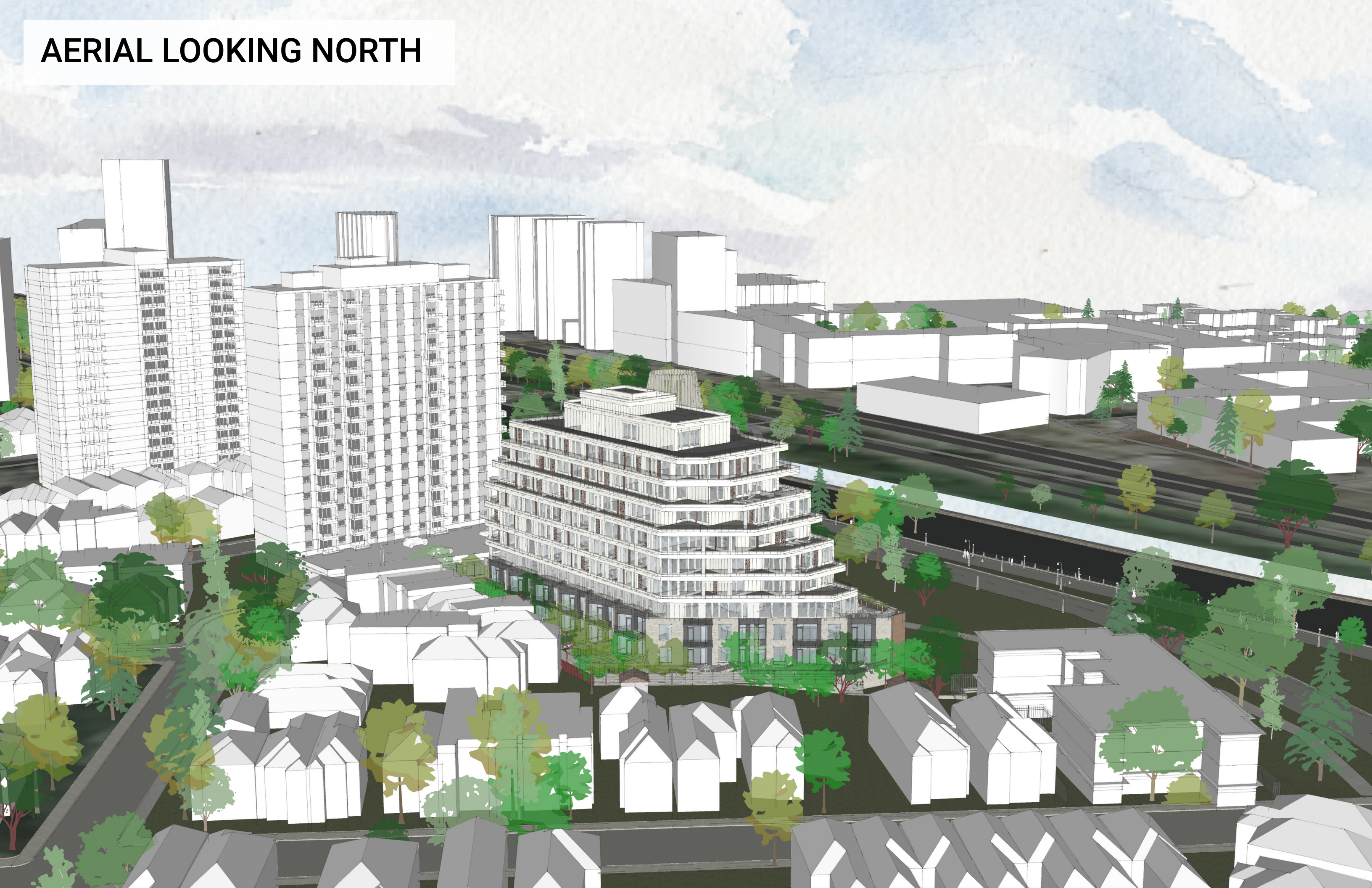
AERIAL LOOKING WEST



AERIAL VIEWING SOUTH



AERIAL VIEWING NORTH



AERIAL VIEW NORTH-WEST

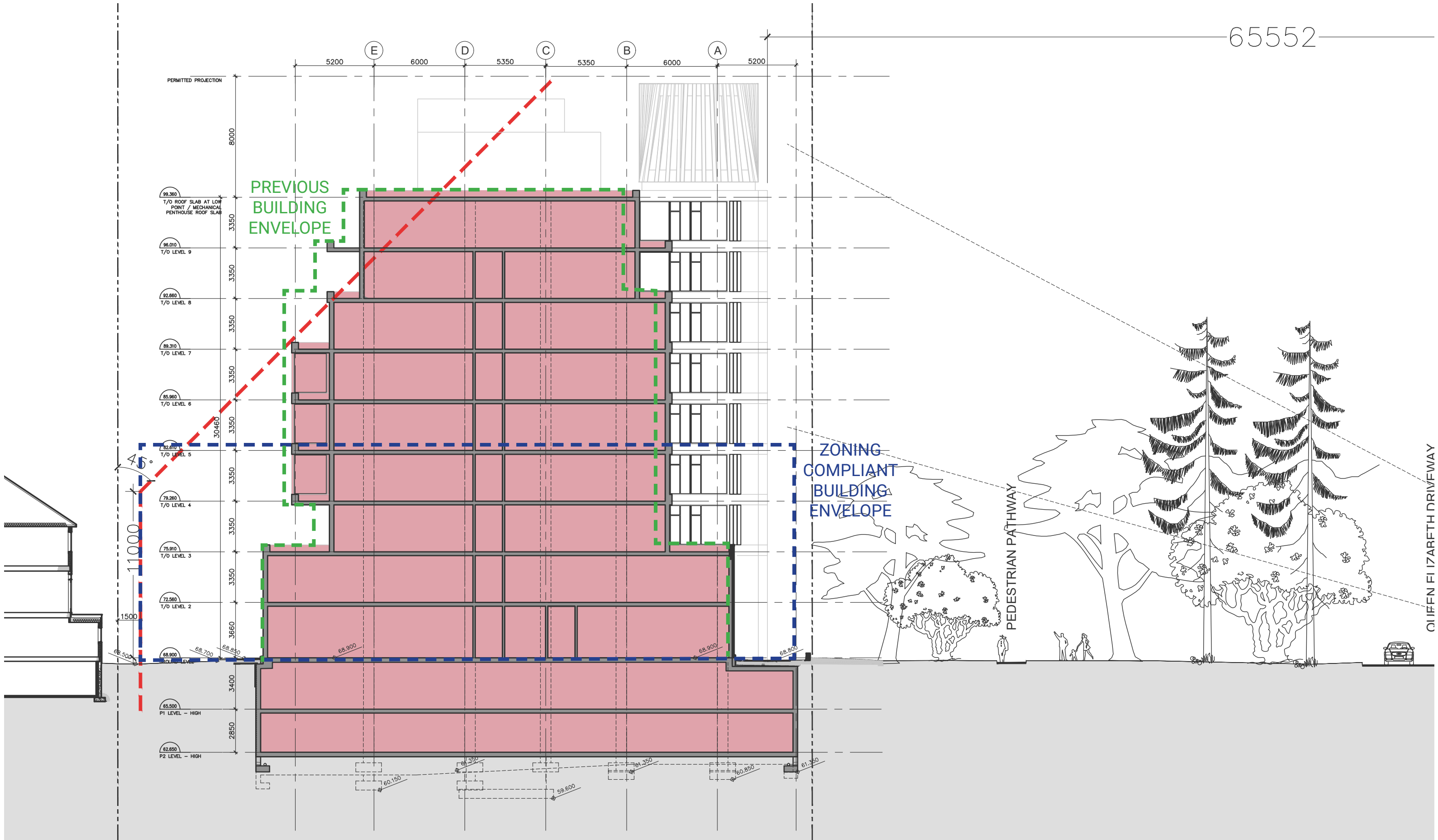


- SIDE YARD CONSIDERATIONS -

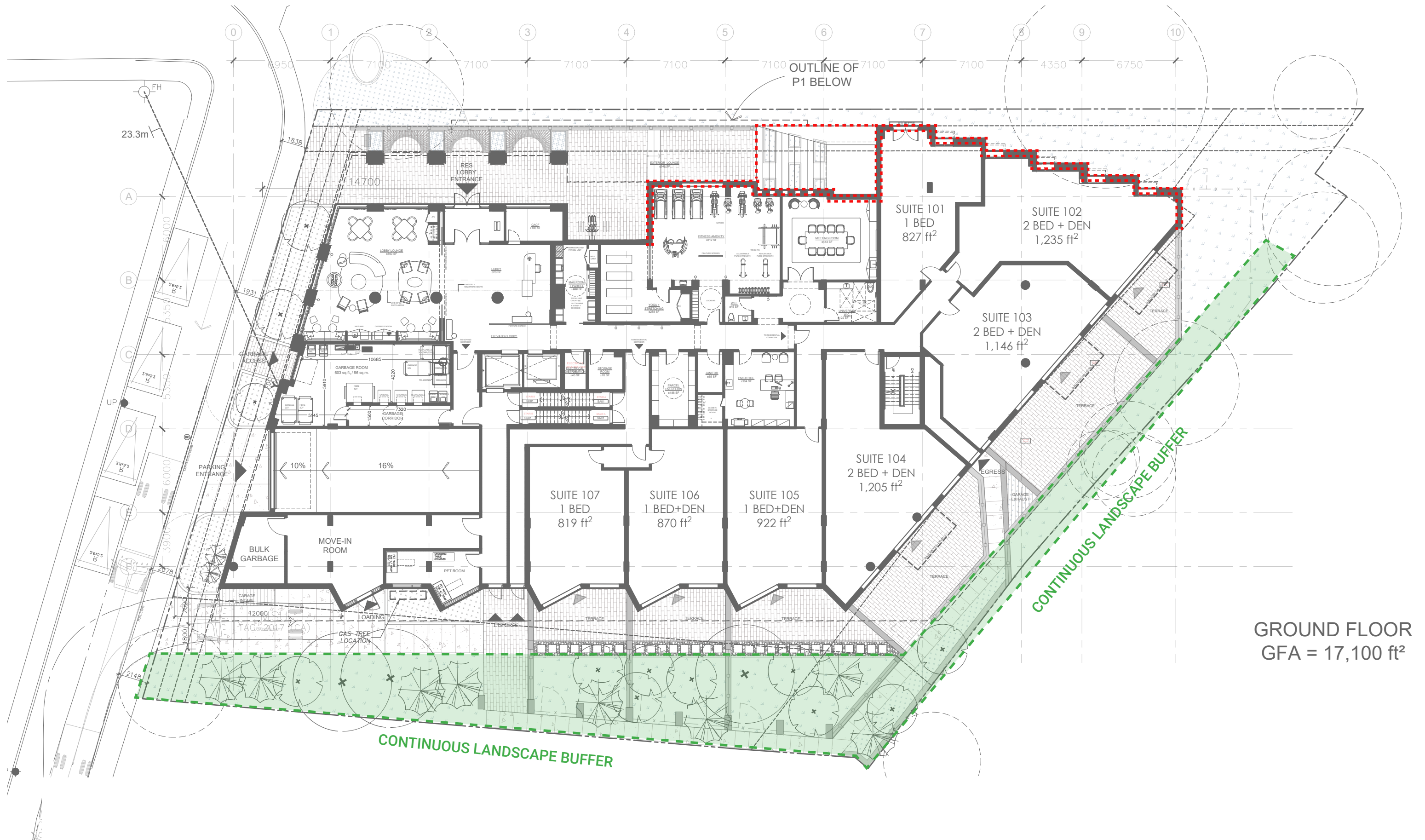


MASSING ALTERATIONS / ANGULAR PLANE

65552



ABUTTING TOWNHOMES / SIDE-YARD CONSIDERATIONS





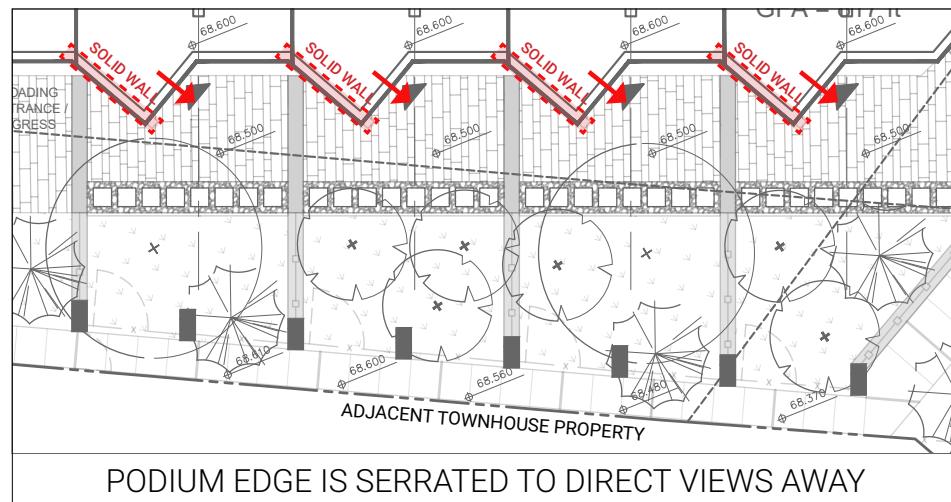
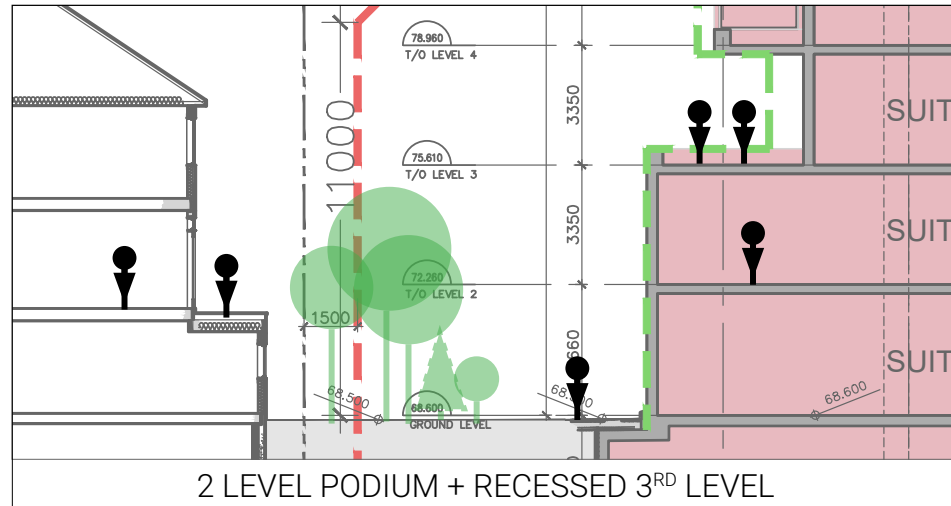
LANDSCAPE BUFFER

LANDSCAPE BUFFER



LEVELS 1, 2 & 3

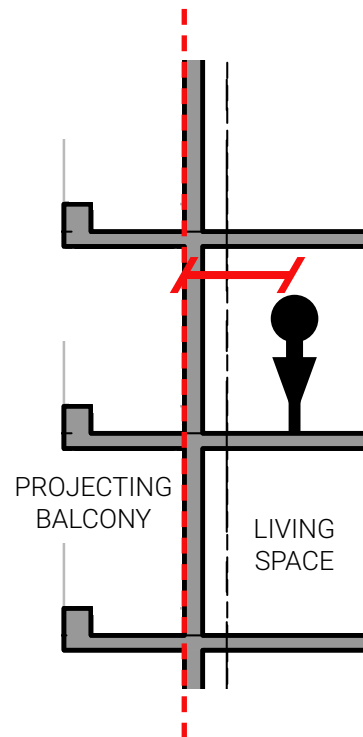
SCALED TO REFLECT THE LOW-RISE FABRIC OF ADJACENT PROPERTIES. OVERLOOK ISSUES ARE MITIGATED THROUGH AMPLE VEGETATION AND BUILDING ARTICULATION



LEVELS 4, 5 & 6

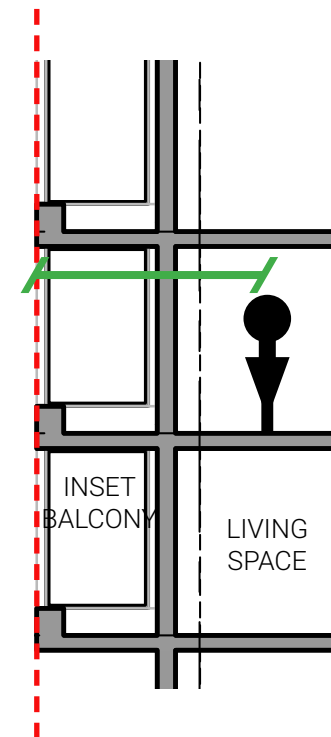
CONTAIN NO PROJECTING BALCONIES OR TERRACES; INSET BALCONIES PROVIDE AN EXTRA LAYER OF SEPARATION AS THEY EFFECTIVELY PUSH BACK THE EXTERIOR ENVELOPE AND LIVING SPACES BECOME FURTHER REMOVED FROM THE BUILDING FACE

PROJECTING BALCONY



BUILDING FACE

INSET BALCONY

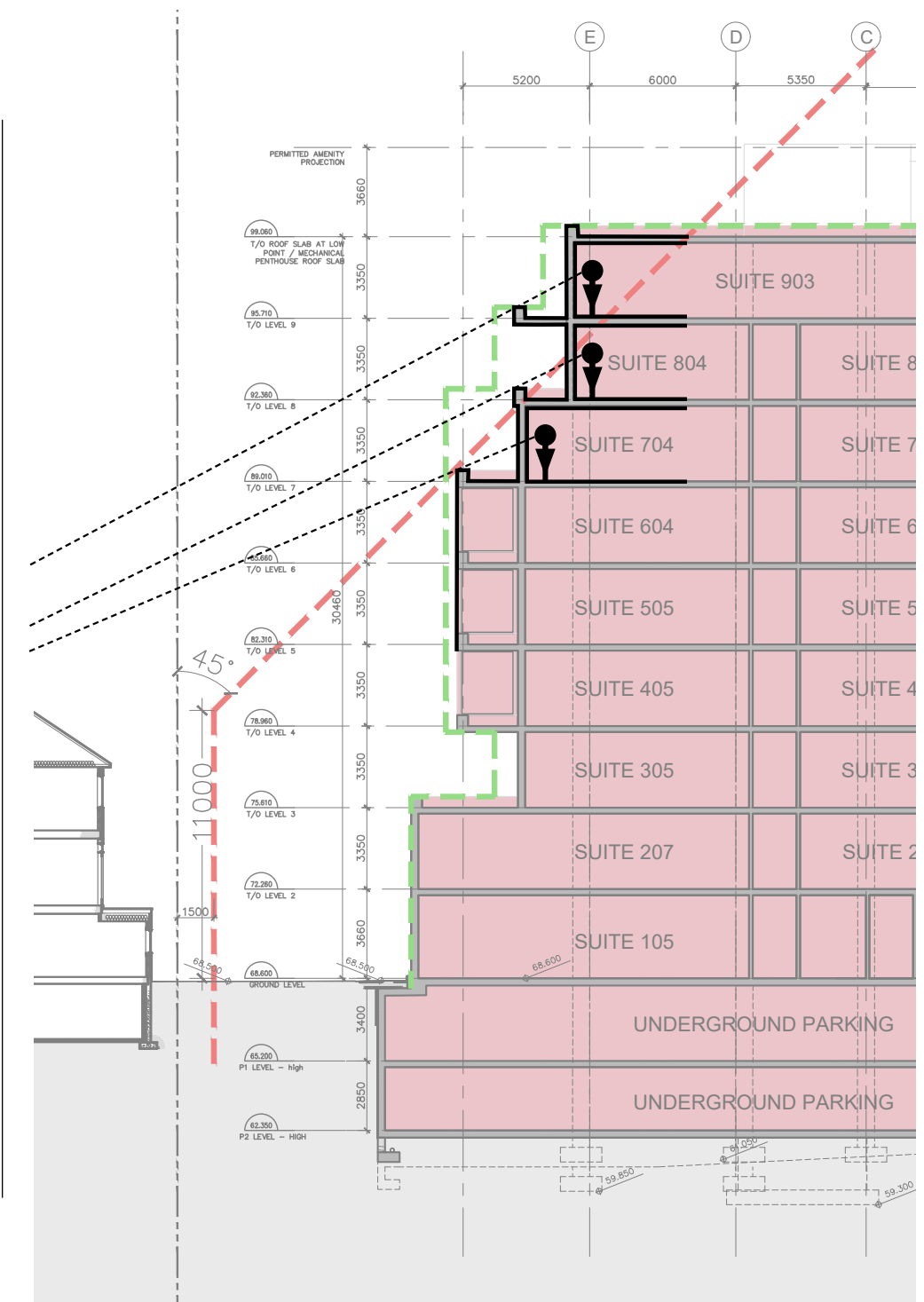


BUILDING FACE

VS

LEVELS 7, 8 & 9

COMPRISED OF MUCH LARGER UNITS AS THE BUILDING STEPS BACK. THESE UNITS BENEFIT FROM TERRACES THAT STEP AWAY FROM THE PROPERTY LINE AND ELIMINATE OVERLOOK FROM WITHIN THE UNIT



MITIGATION OF OVERLOOK

- DESIGN VIEWS -



CANAL LOOKING NORTH-WEST



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



50

PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



PEDESTRIAN EXPERIENCE



- KEY PLANS, SECTIONS & ELEVATIONS





50 THE DRIVEWAY

BUILDING SUMMARY

JANUARY 13TH, 2023

2051

1 BUILDING AREA SUMMARY

BUILDING AREA	17,988	SQ.FT.	
NUMBER OF STOREYS ABOVE GRADE	9	STOREYS	
TOTAL GROSS AREA	123,495	SQ.FT.	(**EXCLUDES AREA BELOW GRADE)
TOTAL NET/LEASEABLE AREA			
RESIDENTIAL	100,488	SQ.FT.	
COM/RET	-	SQ.FT.	
TOTAL GFA (AS PER CITY DEF.)	95,658	SQ.FT.	

2 UNIT SUMMARY

TOTAL UNITS **77** QTY. RATIO %

SUITE TYPE	QTY	RATIO %	QTY	RATIO %	
SMALL SUITES (≤ 850 SQ.FT)	15	19%	1 BED	7	9%
			1 BED + DEN	8	10%
MEDIUM SUITES (850 - 1,400 SQ.FT)	34	44%	1 BED + DEN	8	10%
			2 BED	13	17%
LARGE SUITES (≥1,400 SQ.FT)	28	36%	2 BEDROOM + DEN	13	17%
			2 BEDROOM + DEN (1,400 - 1,800 SQ.FT)	16	21%
			2 BEDROOM + DEN (OVER 1,800 SQ.FT)	12	16%

AVERAGE UNIT SIZE 1,305 SQ.FT.

3 PARKING REQUIREMENTS (ZBL)

RES TOTAL PARKING REQUIRED (ZBL) 39 SPACES
TOTAL PARKING PROVIDED **77 SPACES**
PARKING RATE 1.00 /UNIT

VIS TOTAL VISITOR PARKING REQUIRED 8 SPACES
TOTAL VISITOR PROVIDED **20 SPACES**
PARKING RATE PROVIDED 0.26 /UNIT

4 TOTAL AMENITY SPACE REQUIRED (ZBL)

TOTAL AMENITY SPACE REQUIRED 4,971 SQ.FT.
TOTAL SHARED AMENITY SPACE REQUIRED 2,486 SQ.FT.
TOTAL SHARED AMENITY SPACE PROVIDED **3,126 SQ.FT.**

5 BICYCLE PARKING REQUIREMENTS (ZBL)

TOTAL BIKE PARKING SPACES REQUIRED 39 SPACES
RATE/UNIT 0.5 /UNIT
TOTAL BIKE PARKING SPACES PROVIDED **77 SPACES**
RATE/UNIT 1.00 /UNIT



50 THE DRIVEWAY

PROJECT STATS

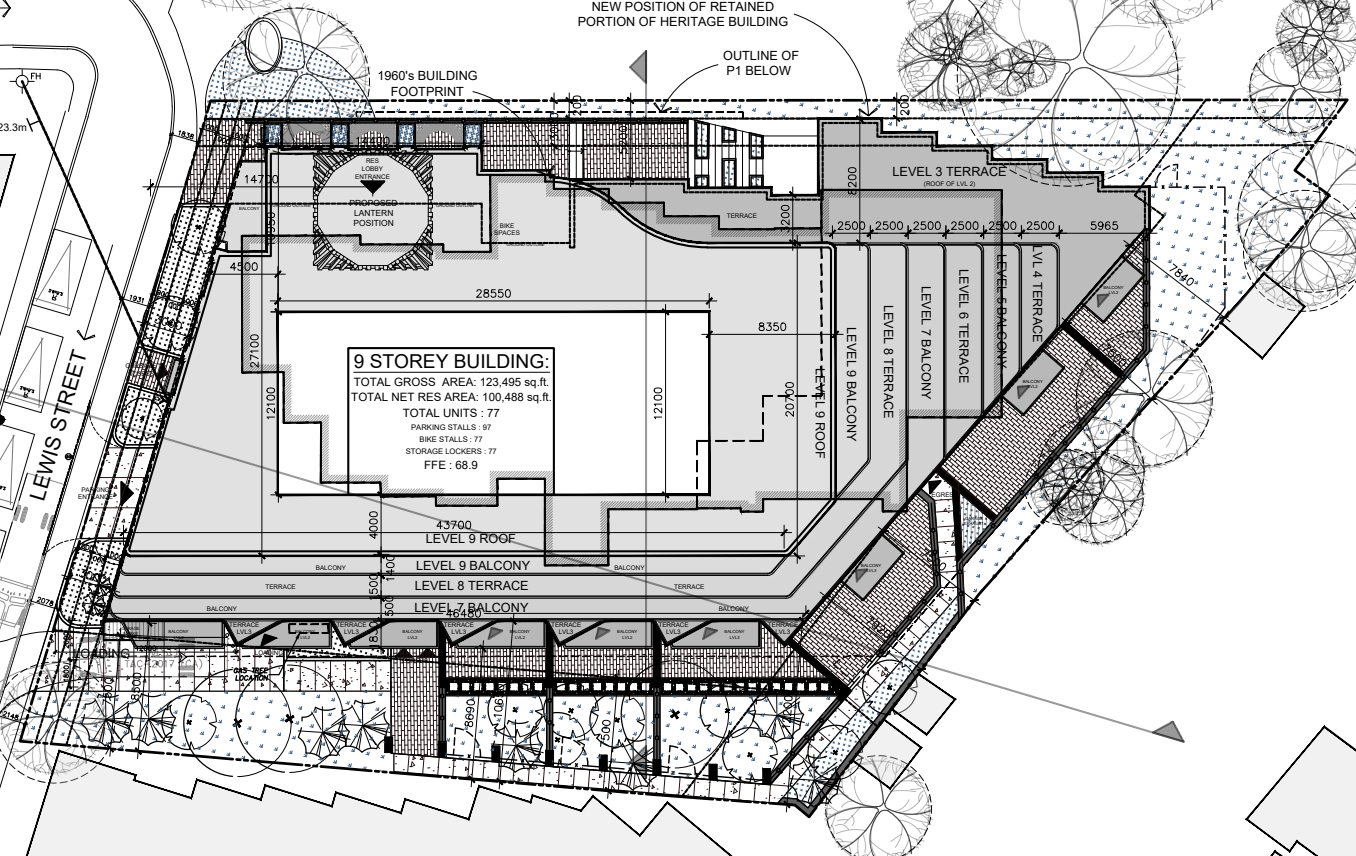
SCALE: N/A

JANUARY 13th 2023

RIDEAU CANAL

QUEEN ELIZABETH DRIVE

THE DRIVEWAY



9 STOREY BUILDING:
 TOTAL GROSS AREA: 123,495 sq.ft.
 TOTAL NET RES AREA: 100,488 sq.ft.
 TOTAL UNITS: 77
 PARKING STALLS: 77
 BIKE STALLS: 77
 STORAGE LOCKERS: 77
 FFE: 68.9

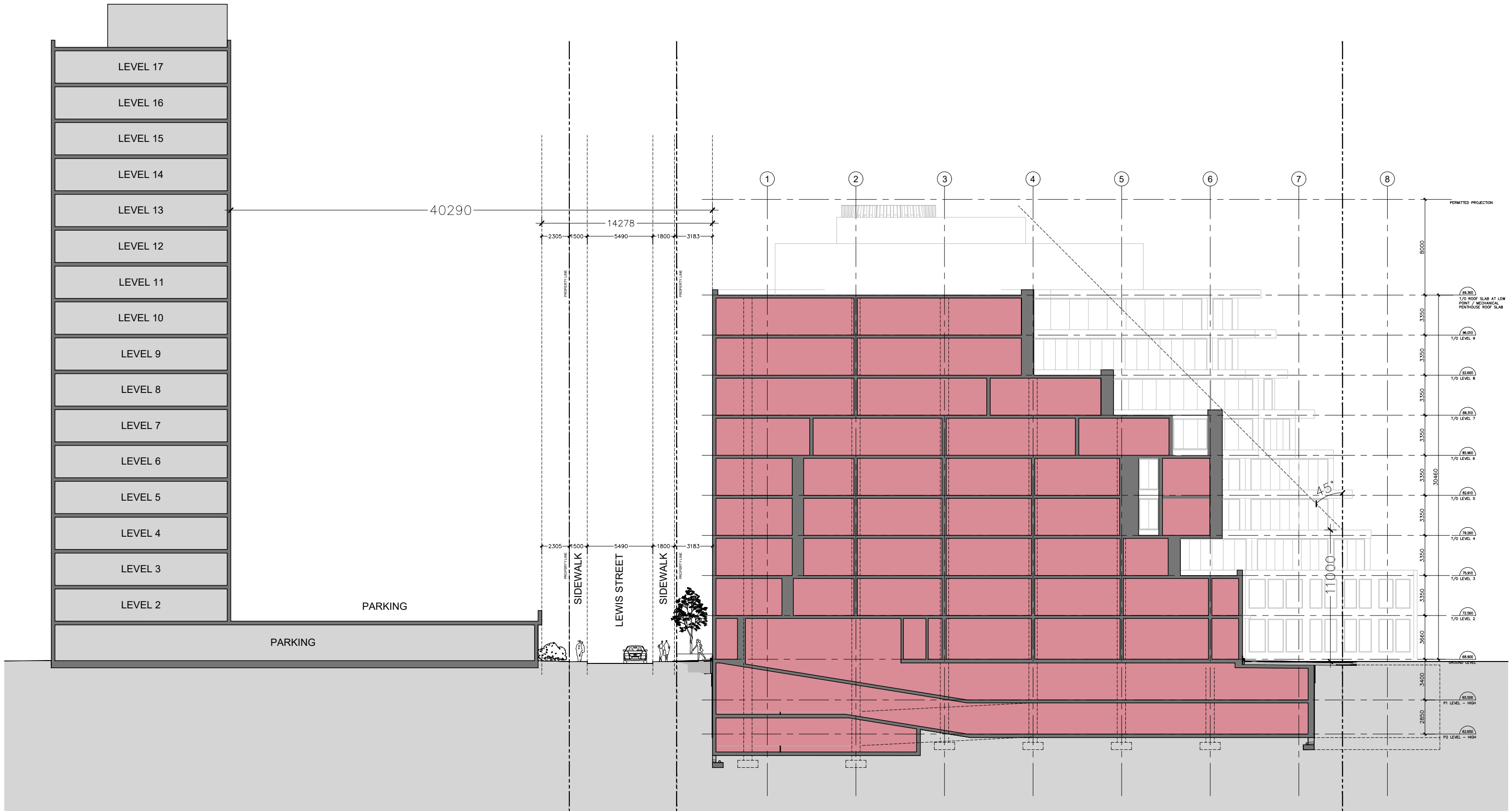


50 THE DRIVEWAY

SITE PLAN

SCALE: 1:500

JANUARY 13th 2023

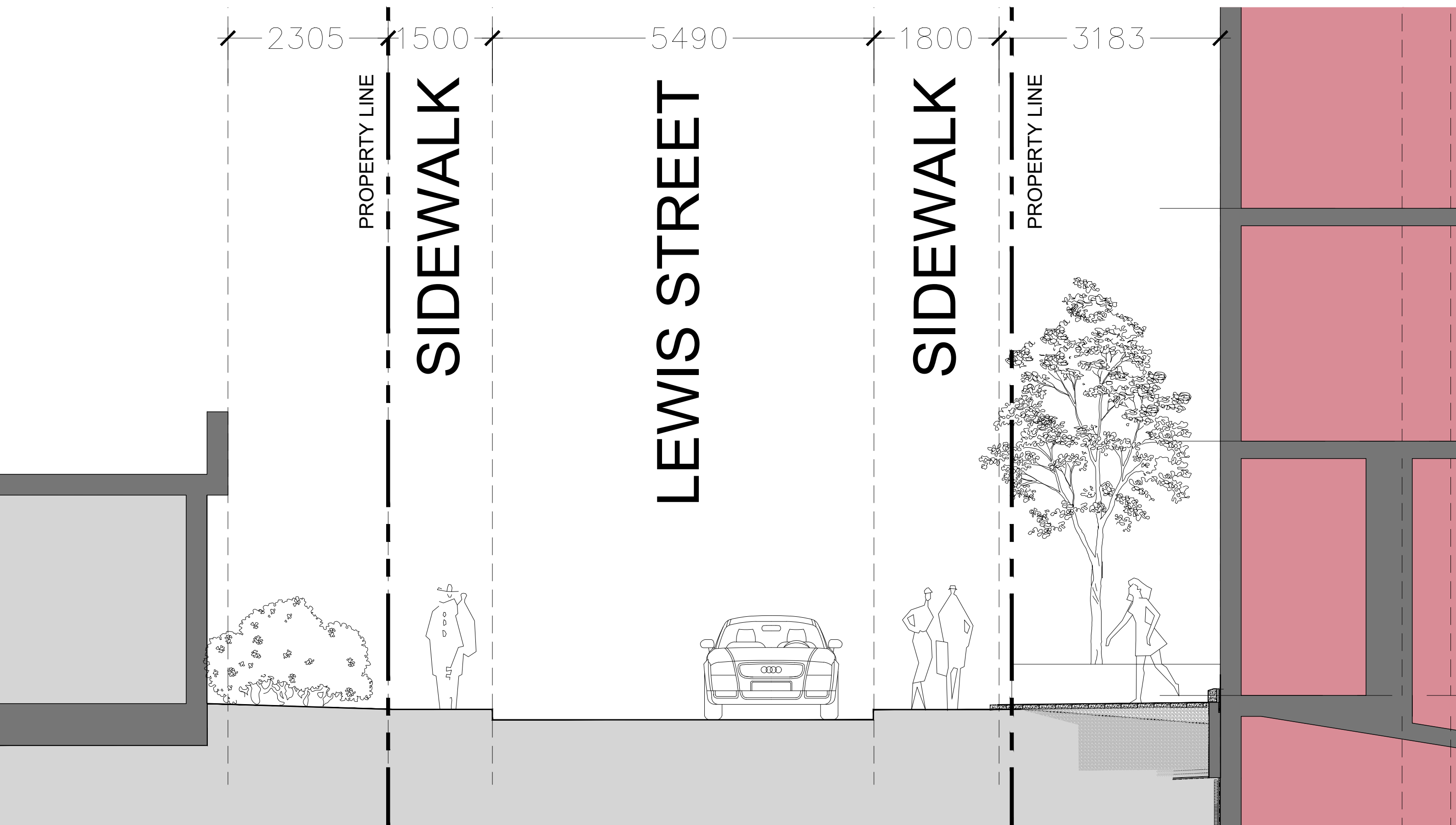


50 THE DRIVEWAY

LEWIS STREET SCHEMATIC SECTION

SCALE: 1:300

JANUARY 13th 2023



2305

1500

5490

1800

3183

PROPERTY LINE

SIDEWALK

LEWIS STREET

SIDEWALK

PROPERTY LINE

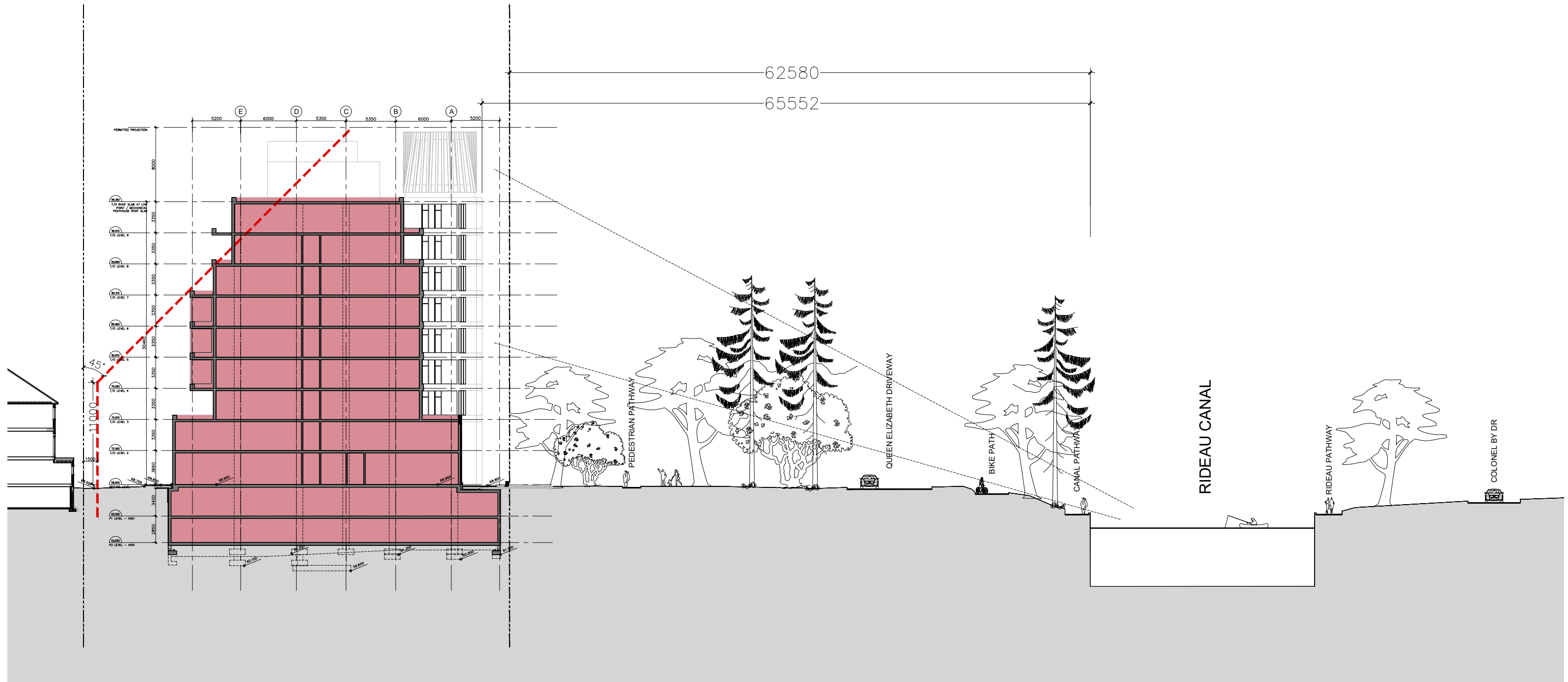


50 THE DRIVEWAY

LEWIS STREET SCHEMATIC SECTION

SCALE: 1:50

JANUARY 13th 2023



50 THE DRIVEWAY

SITE SCHEMATIC SECTION

SCALE: 1:400

JANUARY 13th 2023



1 NORTH ELEVATION

A3.00 Scale: 1: 200



2 WEST ELEVATION

A3.00 Scale: 1: 200

LEGEND:

HERITAGE		MA-1	MASONRY VENEER 1
		PC	PRECAST CONCRETE
		VG	VISION GLASS
NEW BUILD		PC-1	PRECAST CONCRETE 1
		PC-2	PRECAST CONCRETE 2
		CP-1	COPPER PANEL 1
		CP-2	COPPER PANEL 2
		GR	GLASS RAILING
		MS-1	METAL SIDING 1
		MS-2	METAL SIDING 2
		SP	SPANDREL PANEL
		STC	STEEL COLUMN
		BV-1	STONE VENEER 1
		VG	VISION GLASS

MINIMUM GLASS ANGLE CITY SPECIFIC TO DIVISION 2, TYPICAL MINIMUM ANGLE IS 10°. GLASS SPECIFIED TO BE ON REFLECTIVITY CATEGORY 1.4. GLASS FIT FOR ALL BALCONY RAILINGS ONLY. GLASS FIT FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS.

no.	date	revision
6	230113	re-issued for SPC
5	220919	issued for Heritage Easement
4	220614	issued for SPC
3	220119	re-issued for rezoning
2	211206	re-issued for rezoning
1	210716	issued for rezoning

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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ARCHITECTURE

PROJECT/LOCATION:
50 THE DRIVEWAY

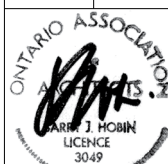
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ELEVATIONS

DRAWN BY: DA DATE: 230113 SCALE: 1:200

PROJECT: 2051

DRAWING NO.: A3-00

REVISION NO.:





1 EAST ELEVATION

A3.01 Scale: 1: 200



2 SOUTH ELEVATION

A3.01 Scale: 1: 200

LEGEND:

MS-1	MASONRY VENEER 1
PC	PRECAST CONCRETE
VG	VISION GLASS
NEW BUILD:	
PC-1	PRECAST CONCRETE 1
PC-2	PRECAST CONCRETE 2
CP-1	COPPER PANEL 1
CP-2	COPPER PANEL 2
GR	GLASS RAILING
MS-1	METAL SILING-1
MS-2	METAL SILING-2
SP	SPANDREL PANEL
STC	STEEL COLUMN
BV-1	STONE VENEER 1
VG	VISION GLASS

1. GLASS SPECIFIED TO BE LOW REFLECTIVITY ONLY T-4
 2. GLASS FIT FOR ALL BALCONY RAILINGS ONLY T-4
 3. GLASS FIT FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

no.	date	revision
6	230113	re-issued for SPC
5	220919	issued for Heritage Easement
4	220614	issued for SPC
3	220119	re-issued for rezoning
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ARCHITECTURE

PROJECT/LOCATION:
50 THE DRIVEWAY

DRAWING TITLE:
ELEVATIONS

DRAWN BY: DA DATE: 230113 SCALE: 1:200

PROJECT: 2051

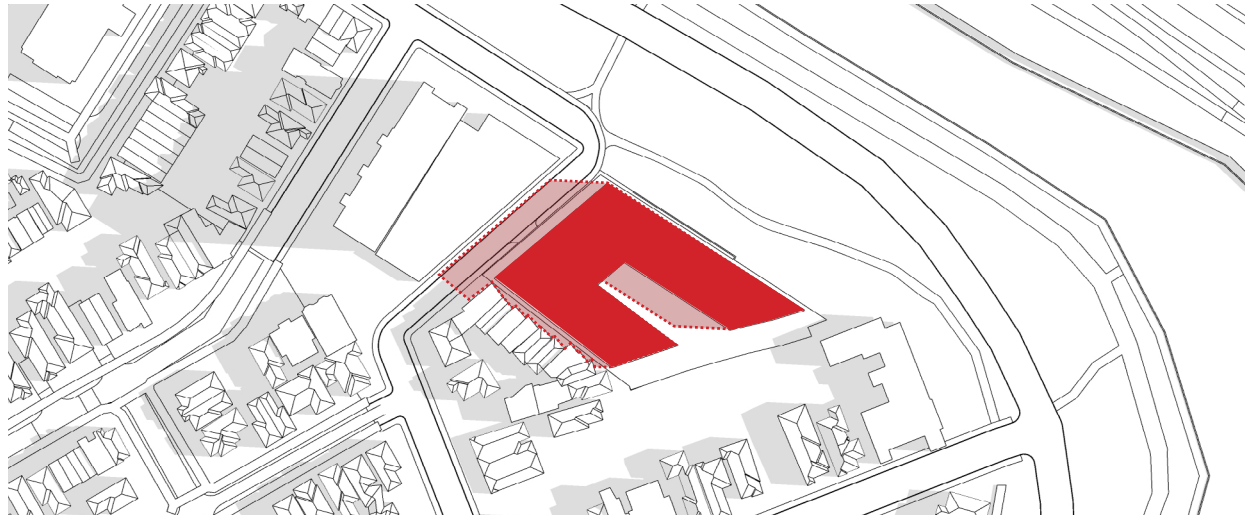
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REVISION NO.:

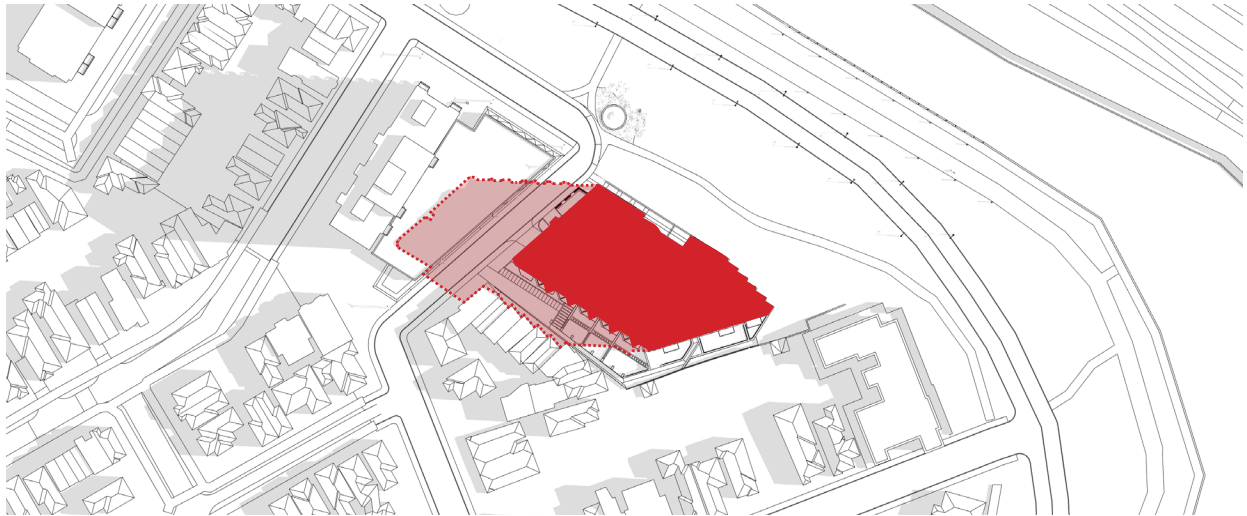
SUN & SHADOW STUDY - KEY COMPARISONS

JUNE 21

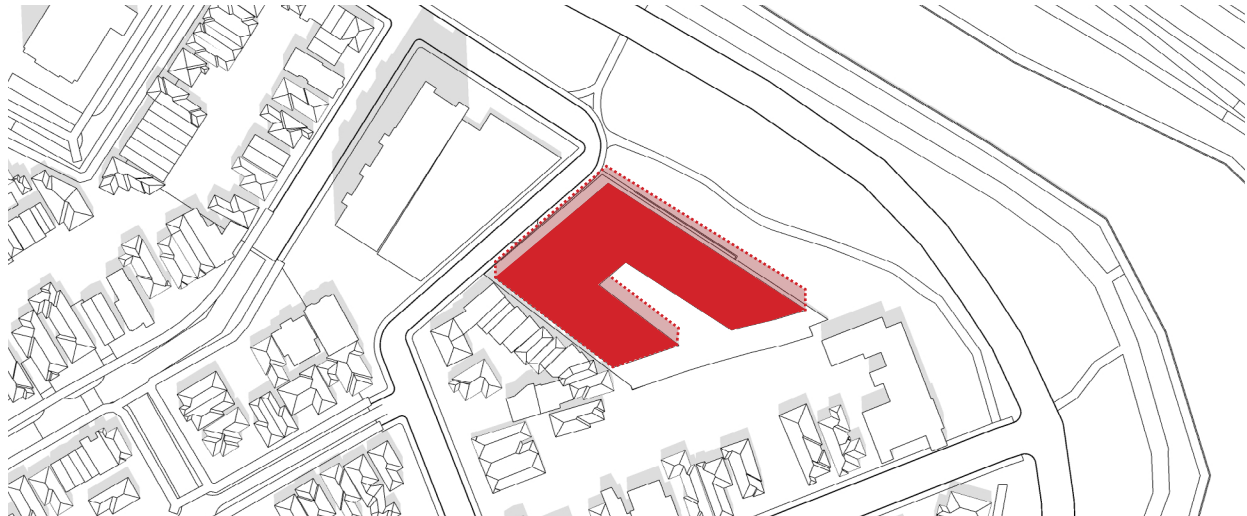
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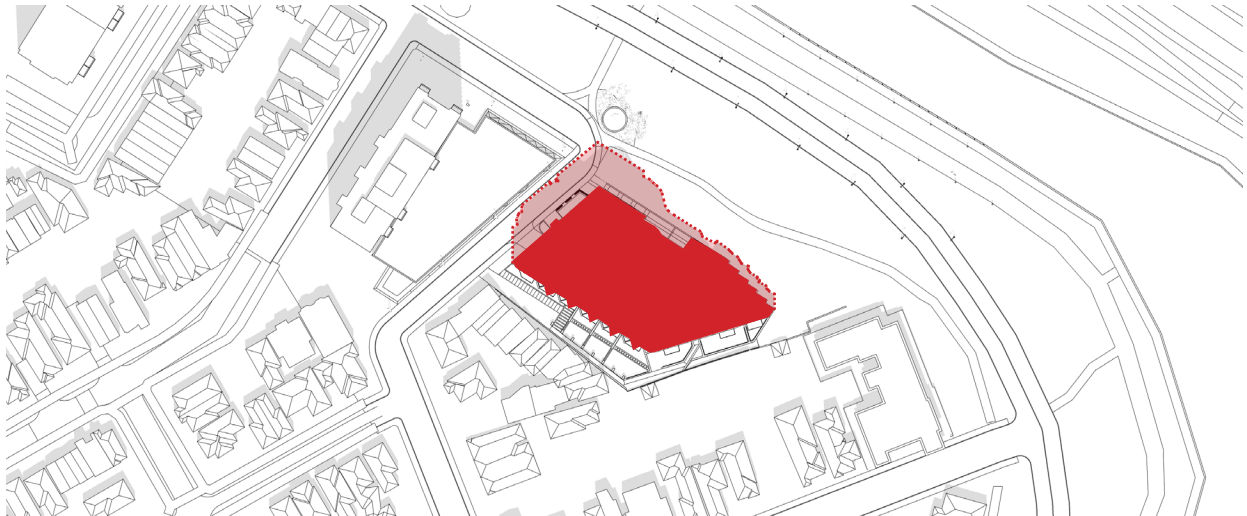
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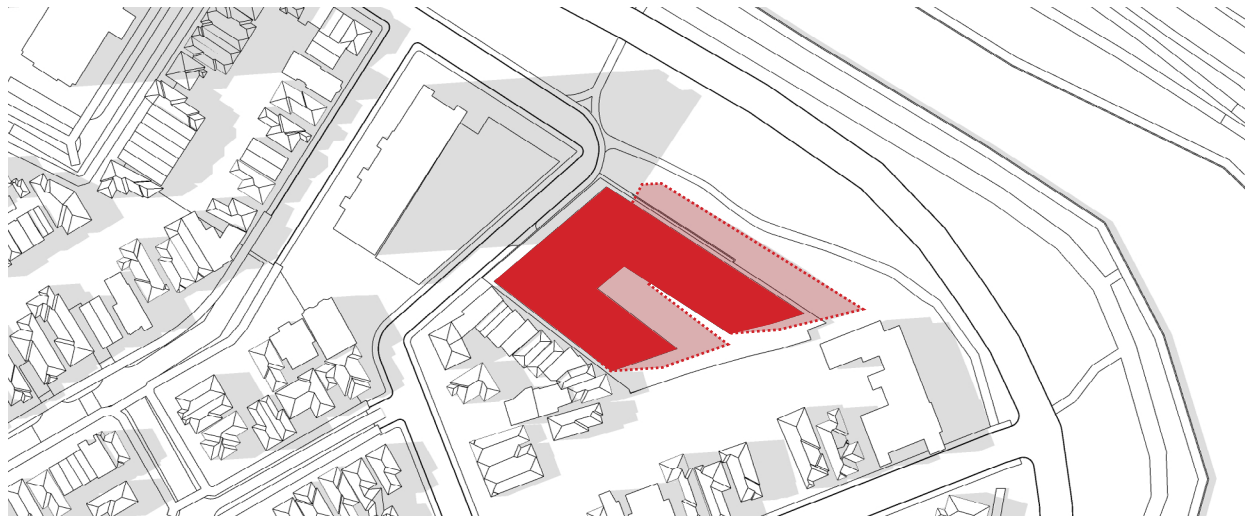
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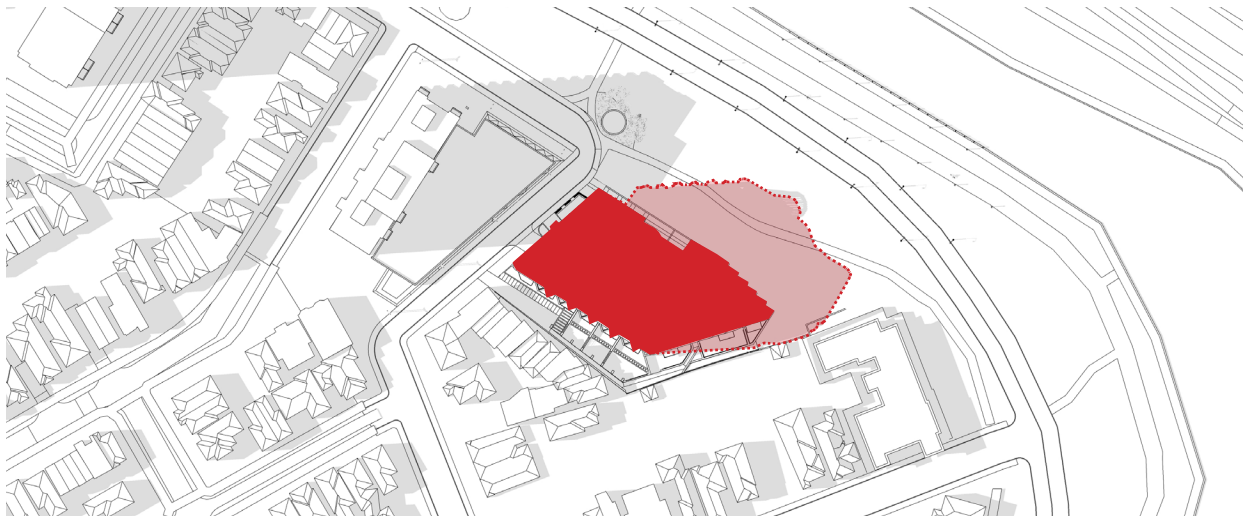
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1600



1600



AS OF RIGHT

PROPOSED 9 STOREY BUILDING

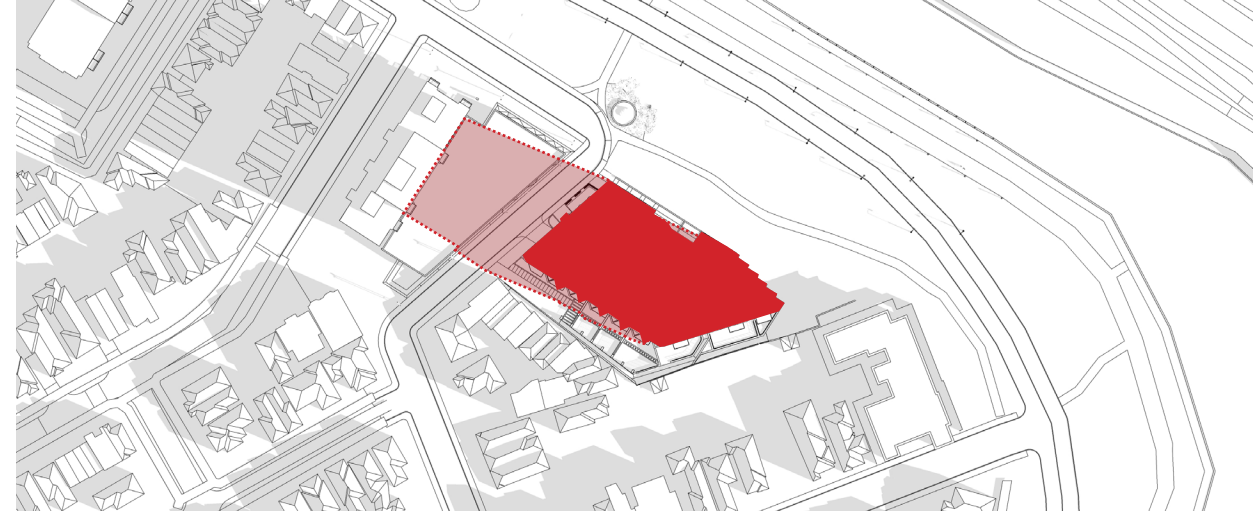
SUN & SHADOW STUDY - KEY COMPARISONS

SEPTEMBER/MARCH 21

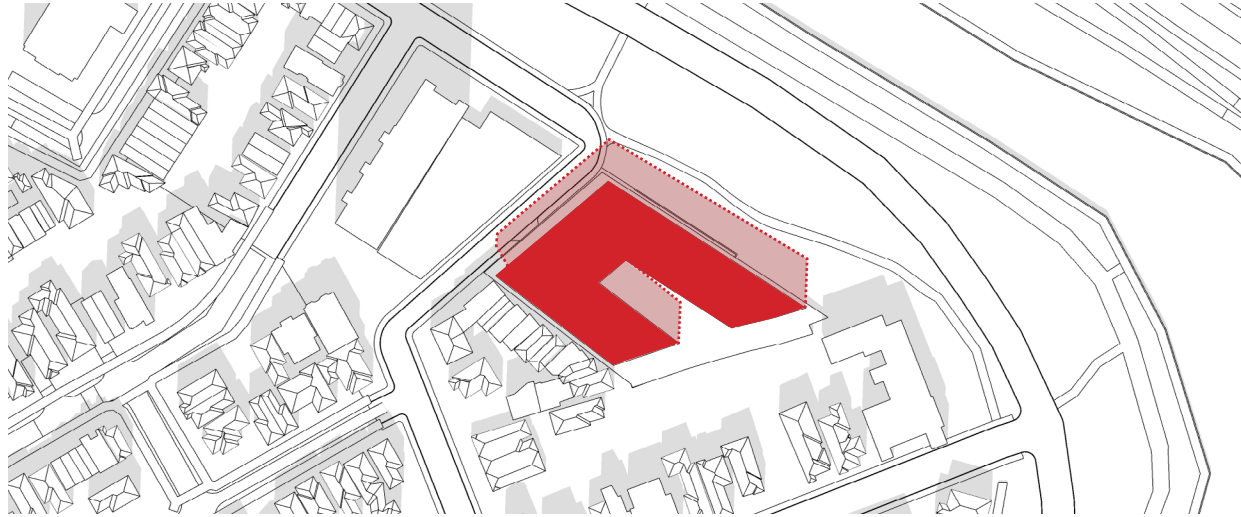
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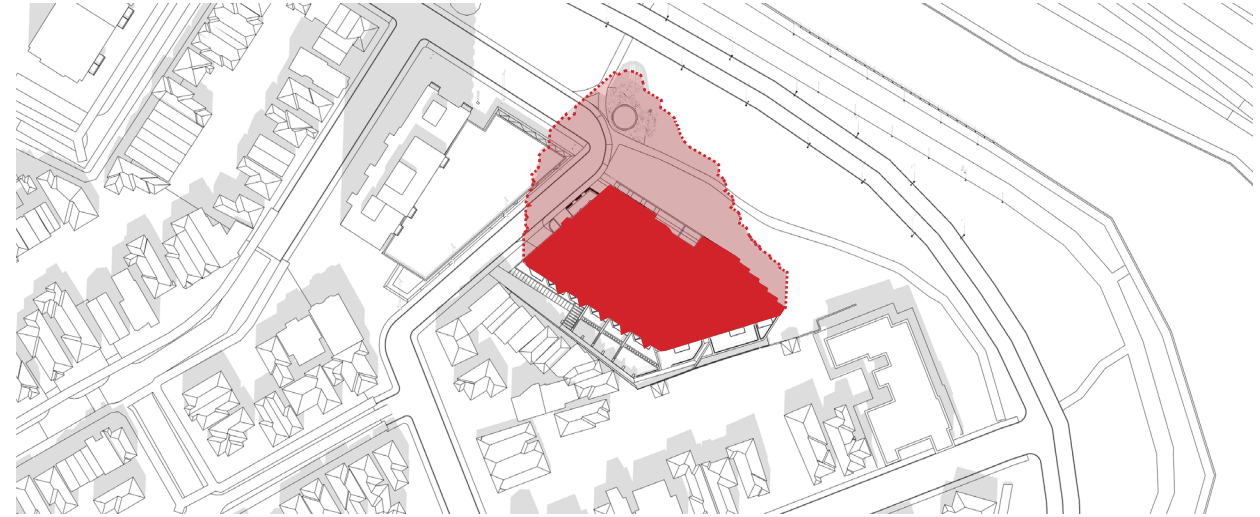
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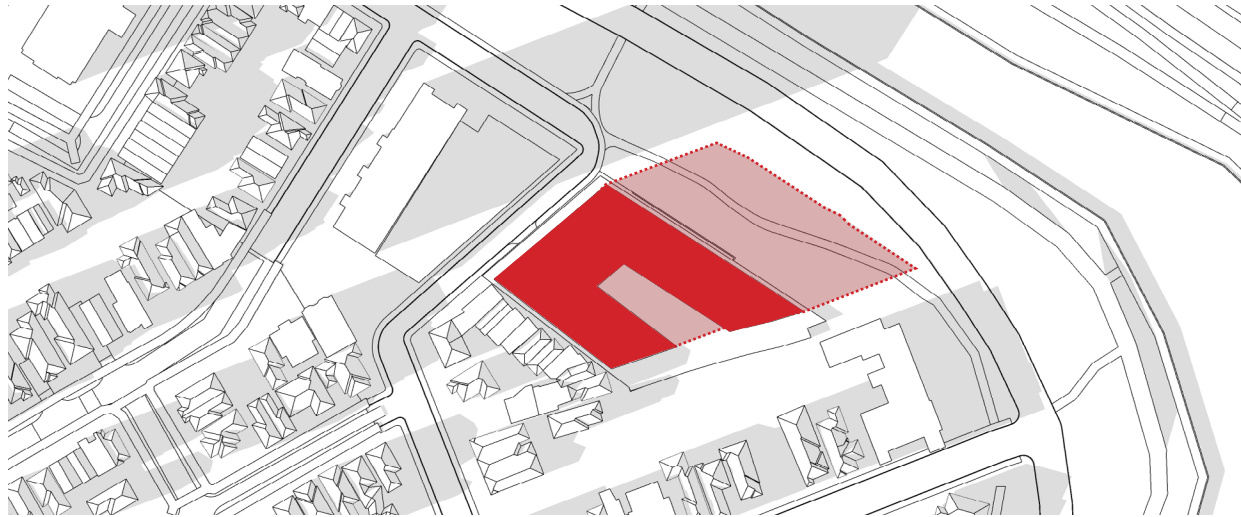
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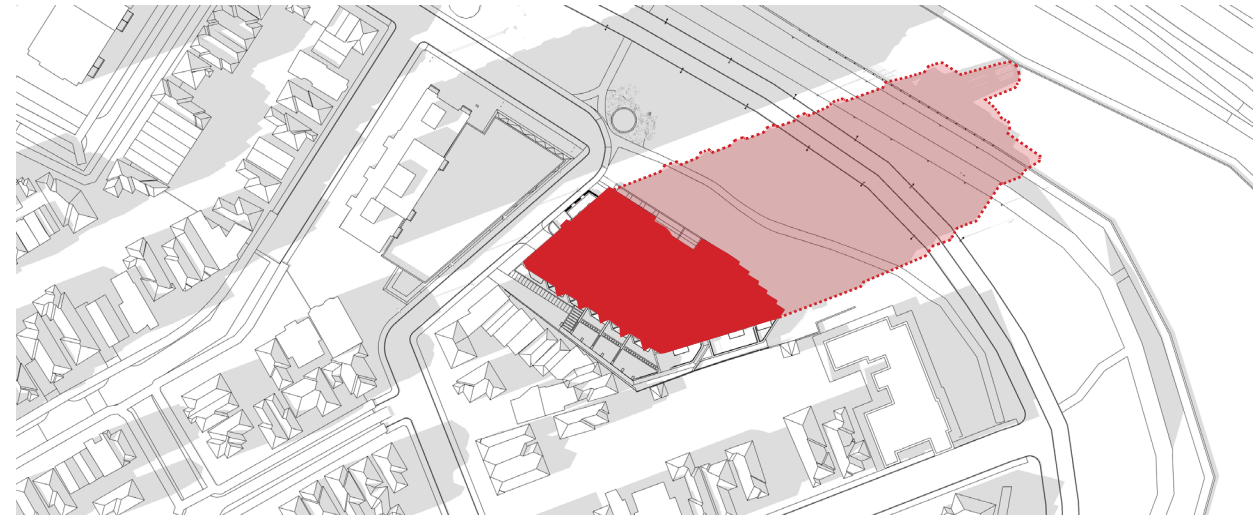
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1600



1600



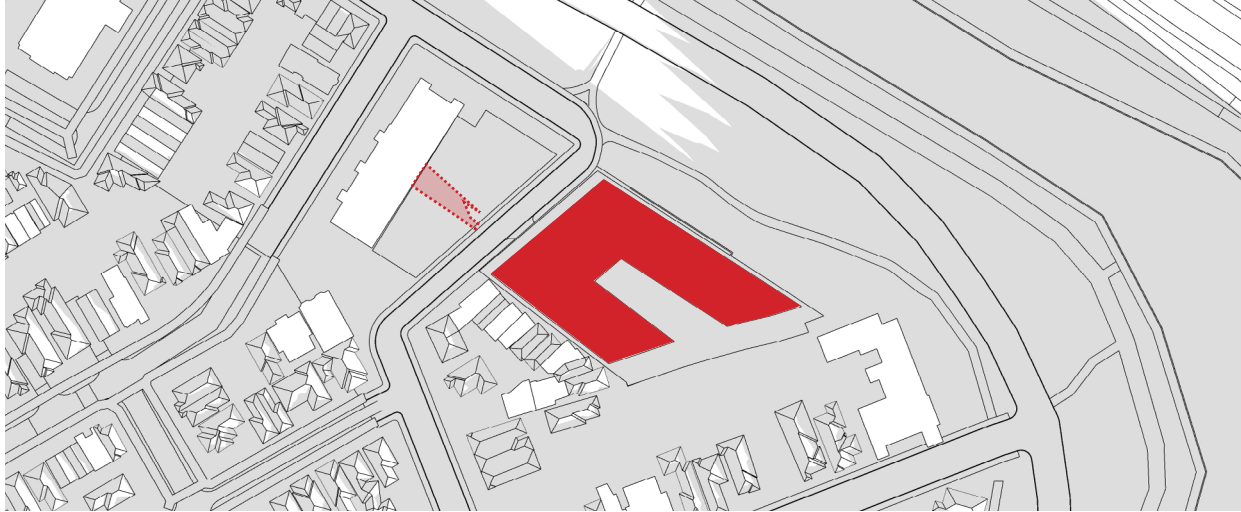
AS OF RIGHT

PROPOSED 9 STOREY BUILDING

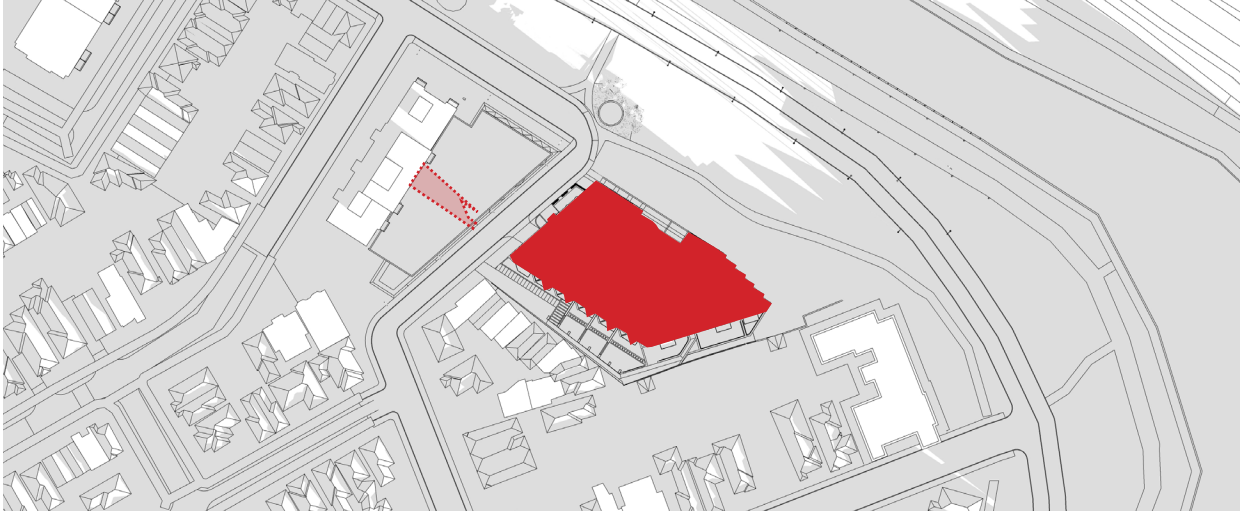
SUN & SHADOW STUDY - KEY COMPARISONS

DECEMBER 21

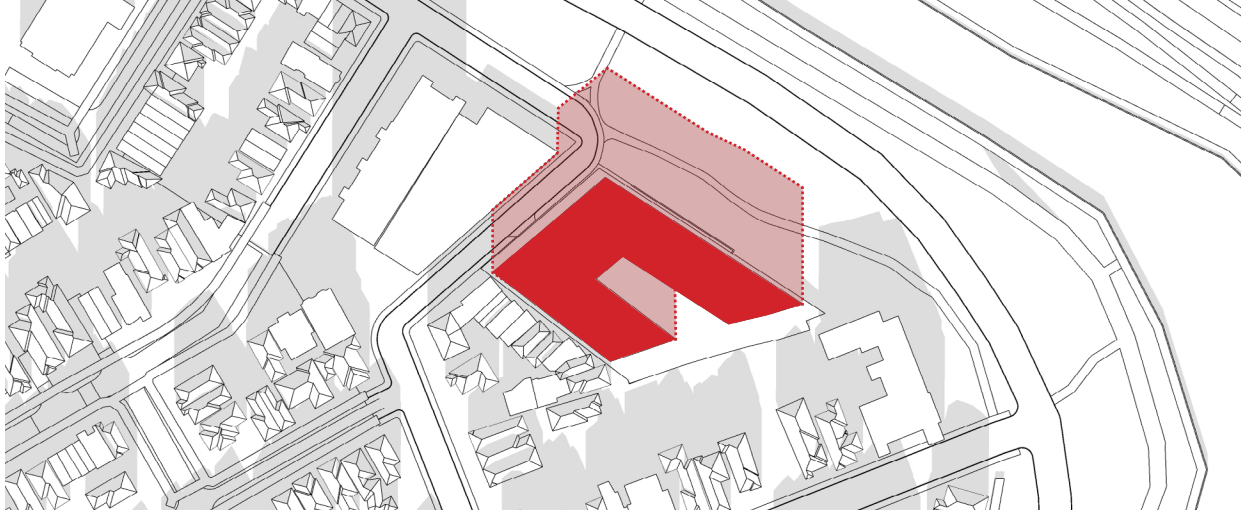
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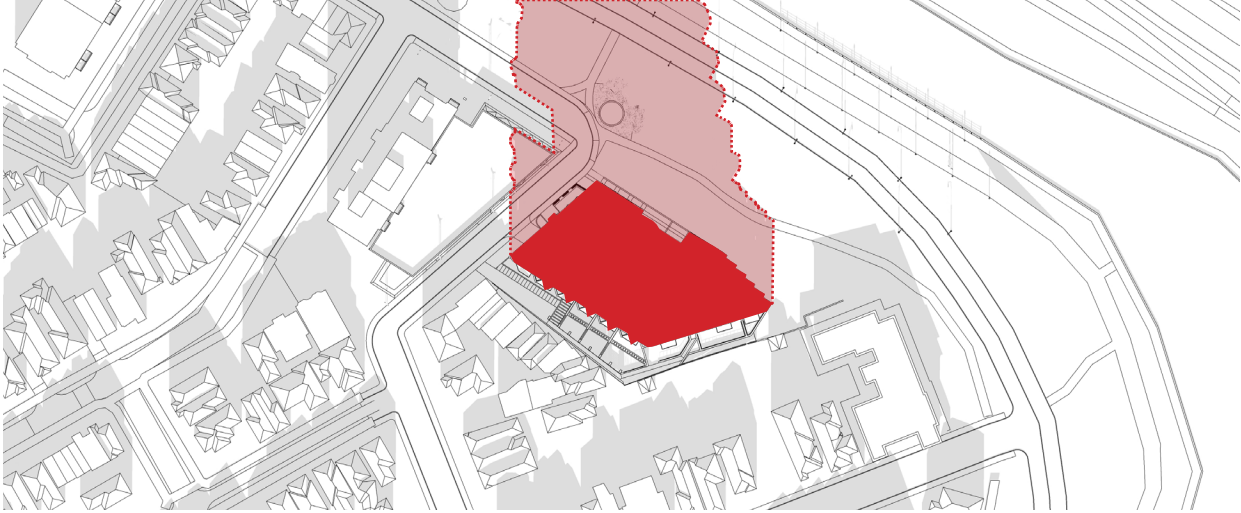
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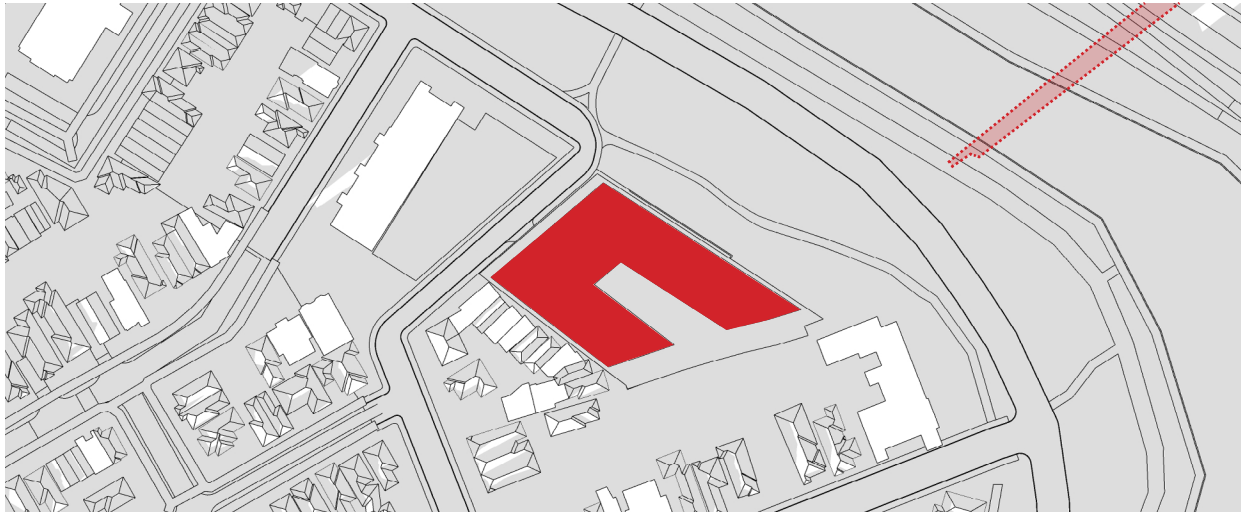
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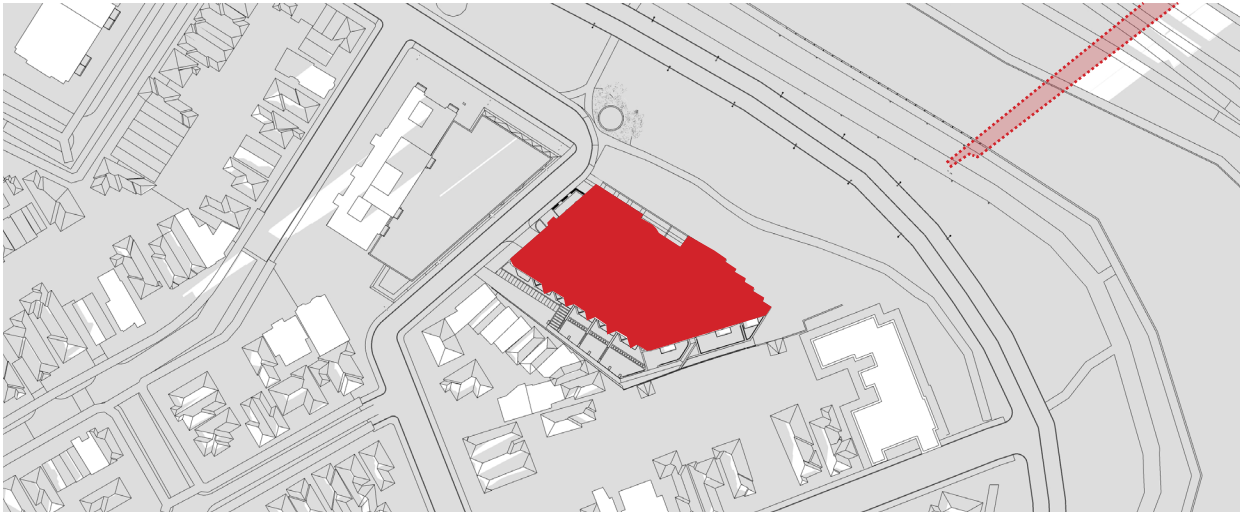
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1600



1600

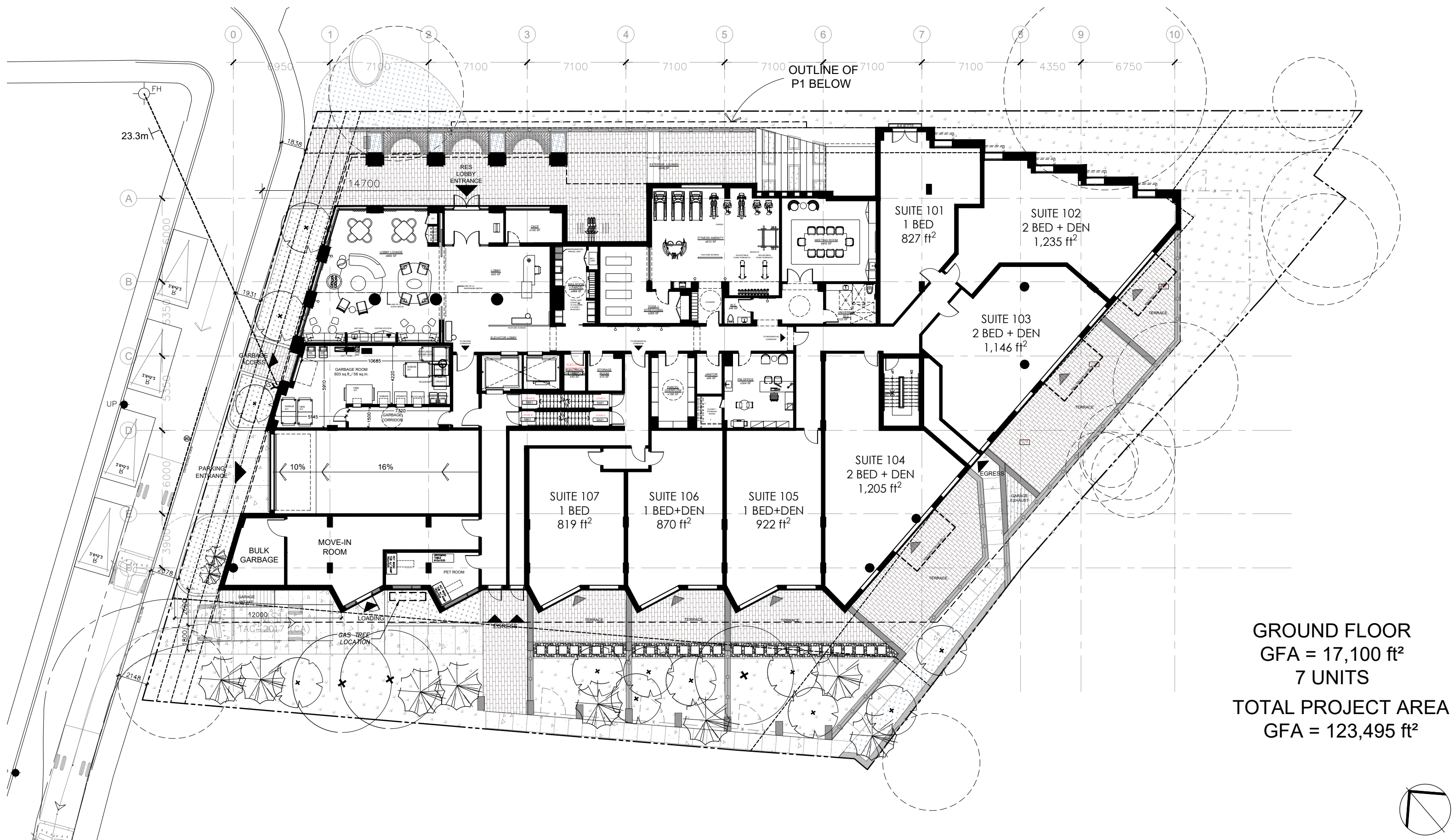


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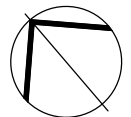
PROPOSED 9 STOREY BUILDING

- APPENDIX -





GROUND FLOOR
 GFA = 17,100 ft²
 7 UNITS
 TOTAL PROJECT AREA
 GFA = 123,495 ft²

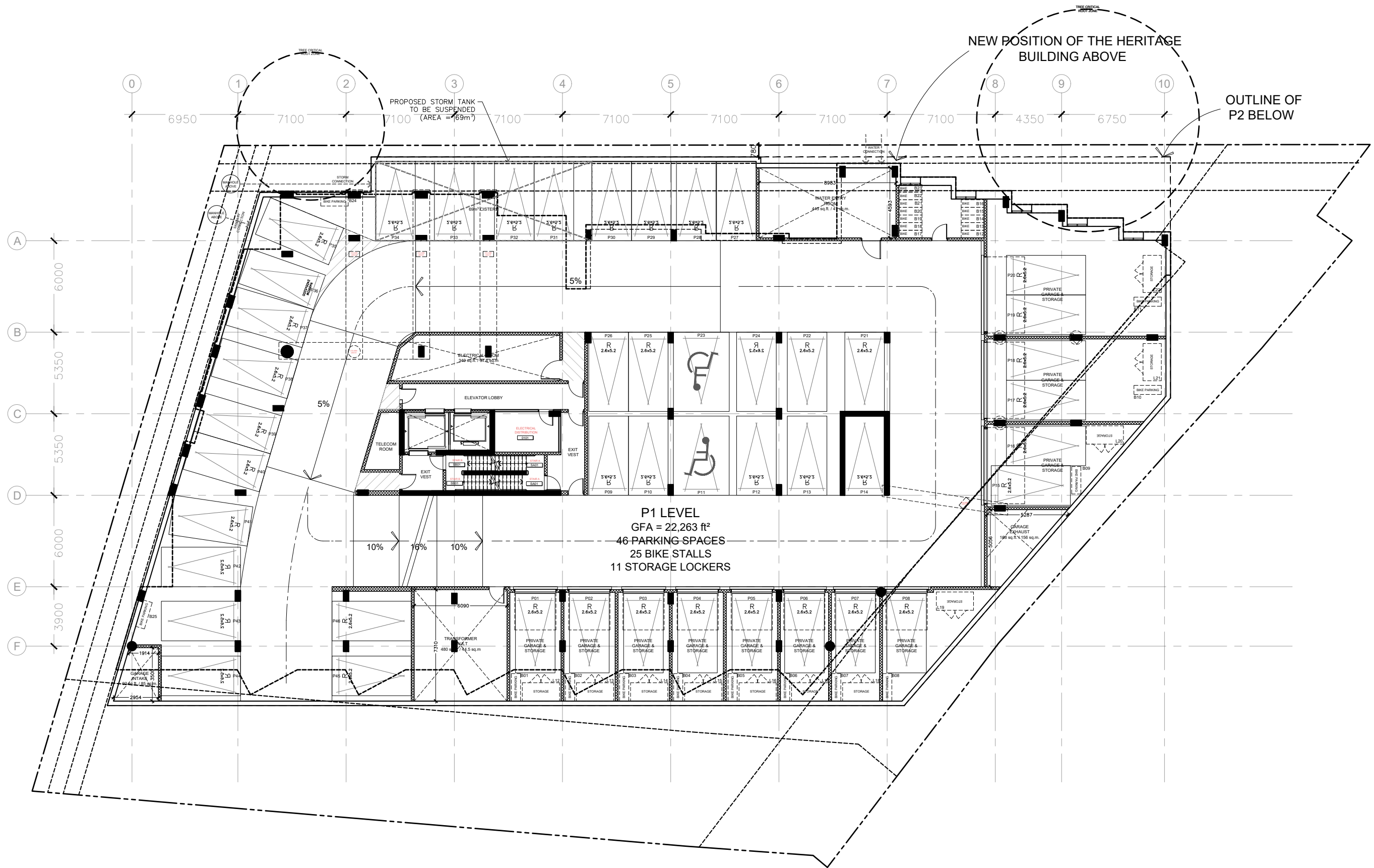


50 THE DRIVEWAY

GROUND LEVEL

SCALE: 1:250

JANUARY 13th 2023

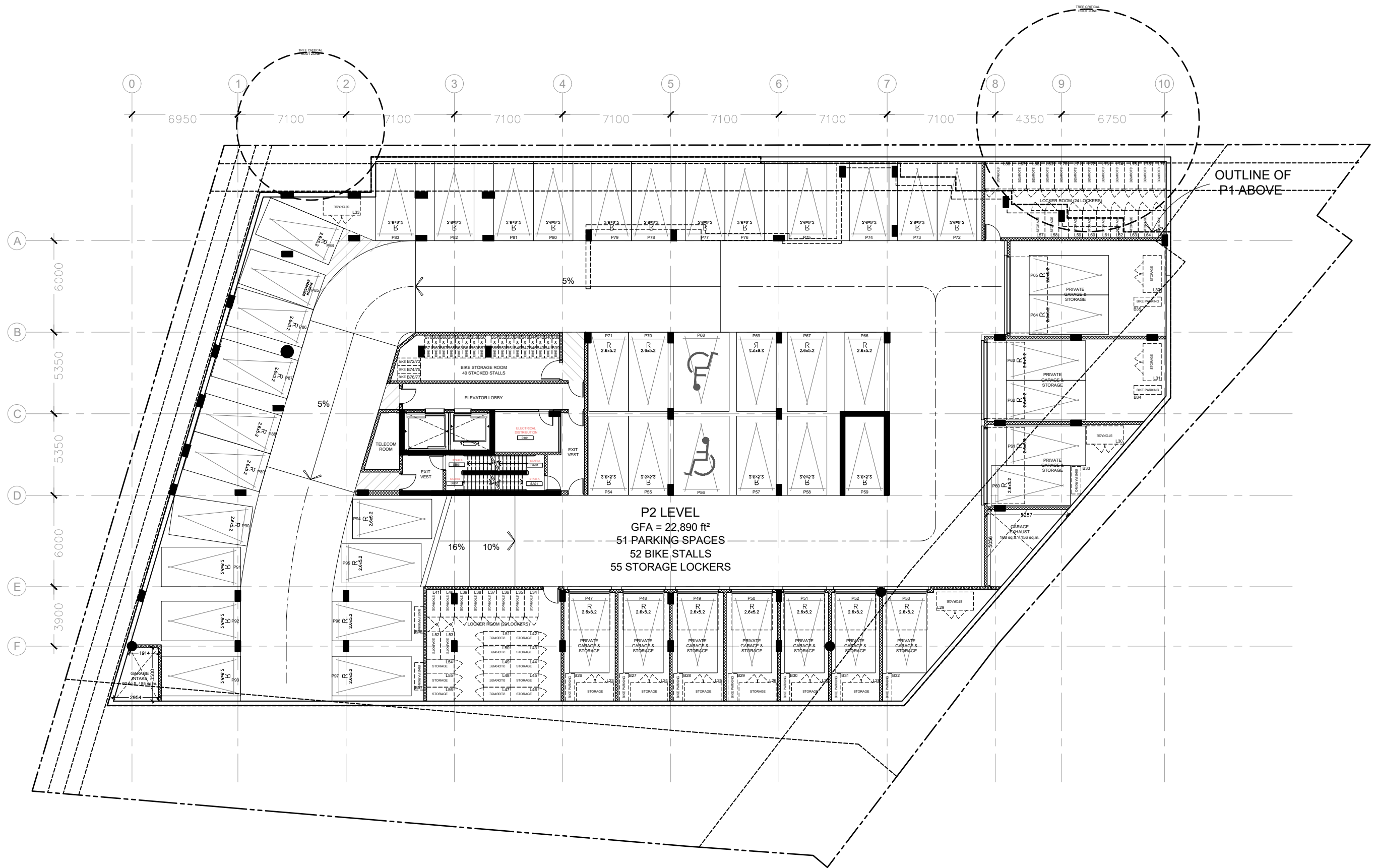


50 THE DRIVEWAY

PARKING LEVEL 1

SCALE: 1:250

JANUARY 13th 2023



P2 LEVEL
 GFA = 22,890 ft²
 51 PARKING SPACES
 52 BIKE STALLS
 55 STORAGE LOCKERS

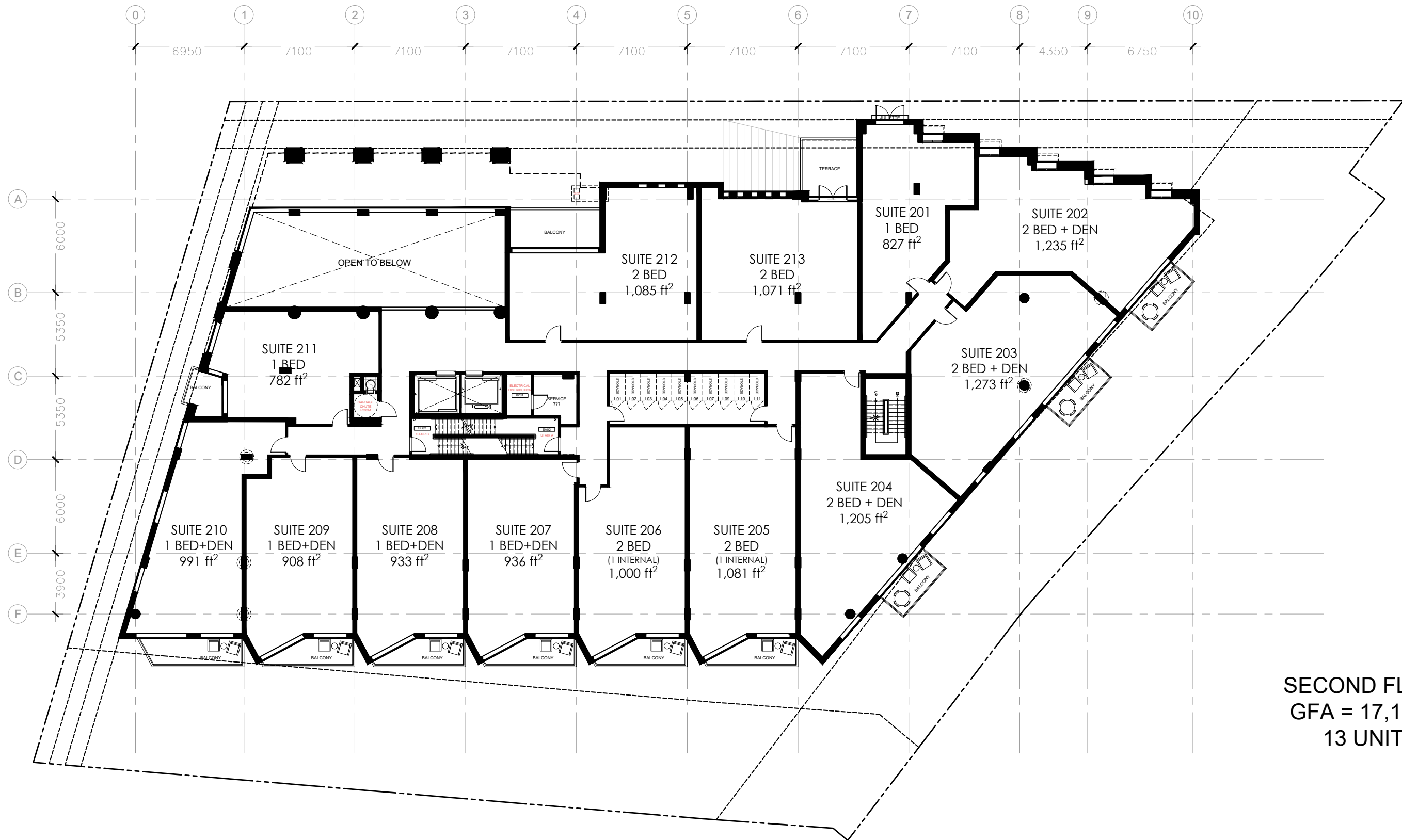


50 THE DRIVEWAY

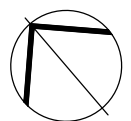
PARKING LEVEL 2

SCALE: 1:250

JANUARY 13th 2023



SECOND FLOOR
 GFA = 17,138 ft²
 13 UNITS

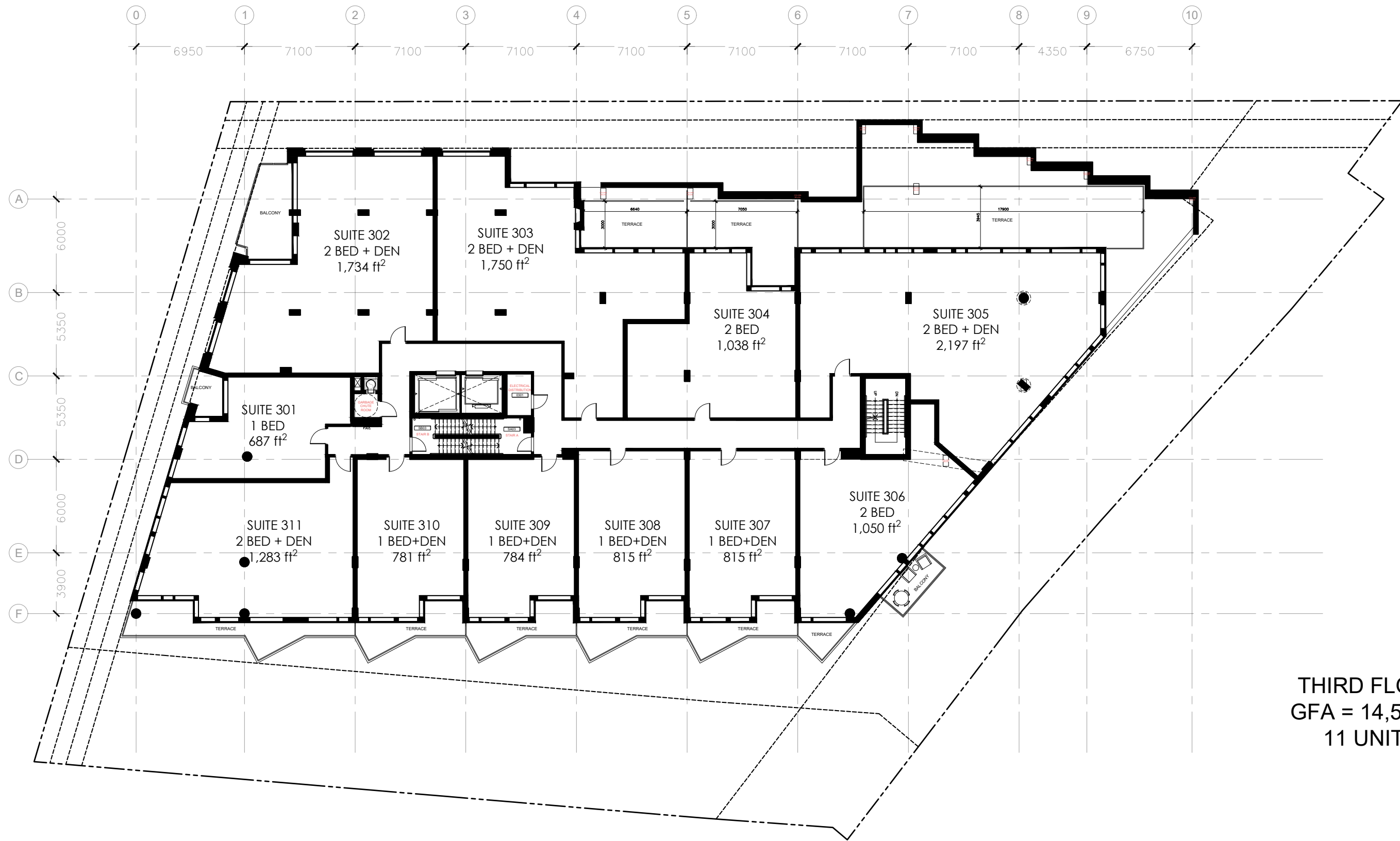


50 THE DRIVEWAY

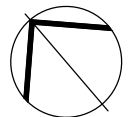
LEVEL 2

SCALE: 1:250

JANUARY 13th 2023



THIRD FLOOR
 GFA = 14,535 ft²
 11 UNITS



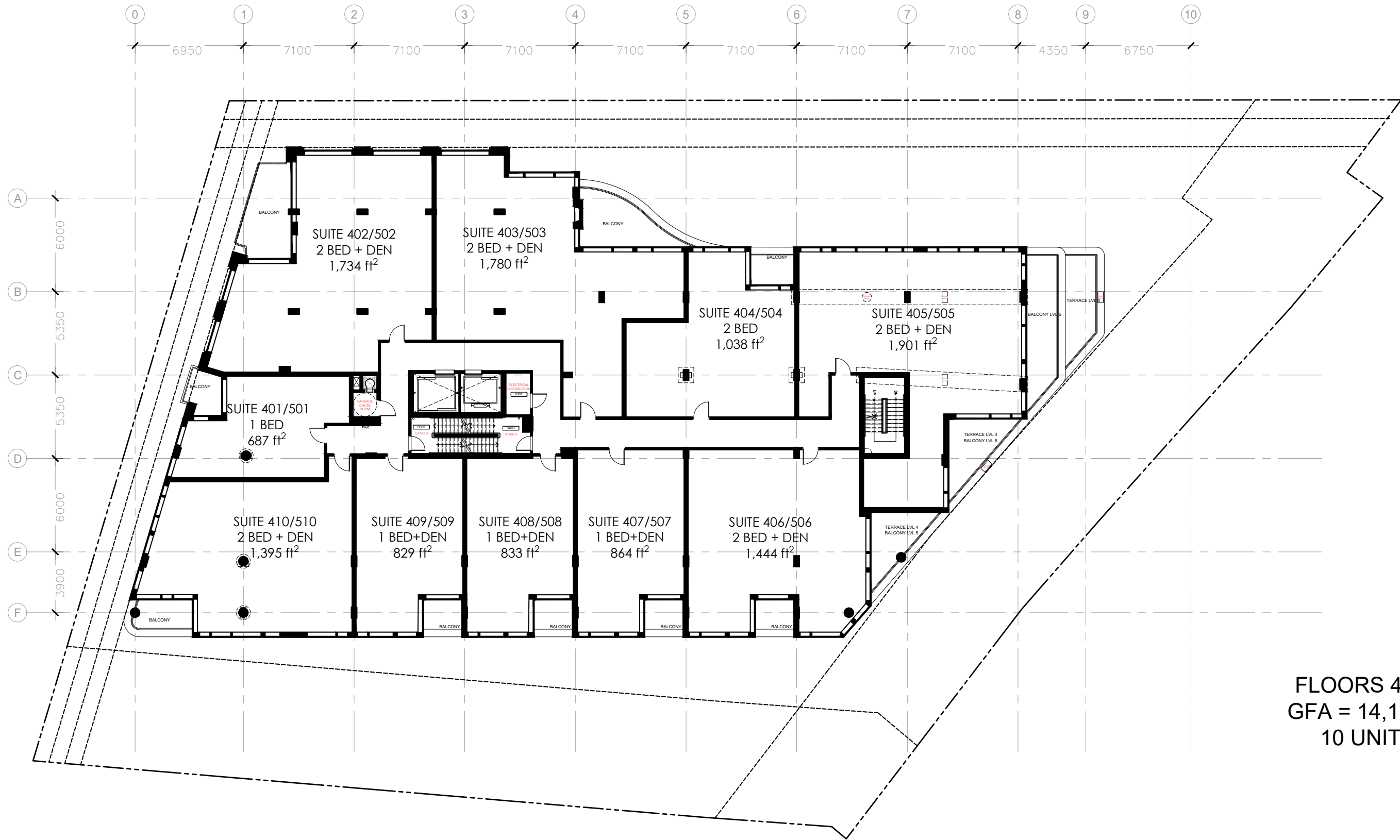
HOBIN

50 THE DRIVEWAY

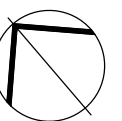
LEVEL 3

SCALE: 1:250

JANUARY 13th 2023



FLOORS 4 & 5
 GFA = 14,107 ft²
 10 UNITS

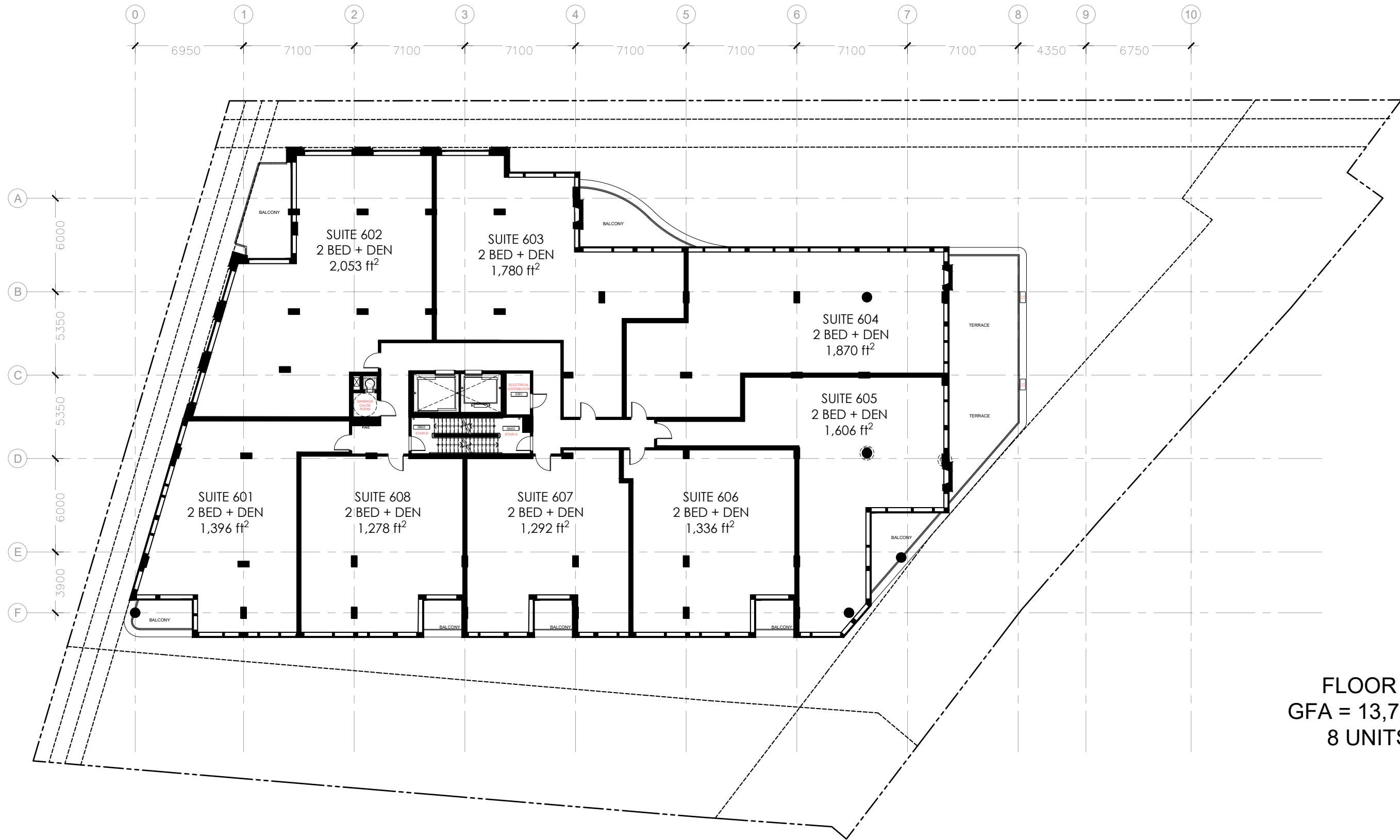


50 THE DRIVEWAY

LEVELS 4 & 5

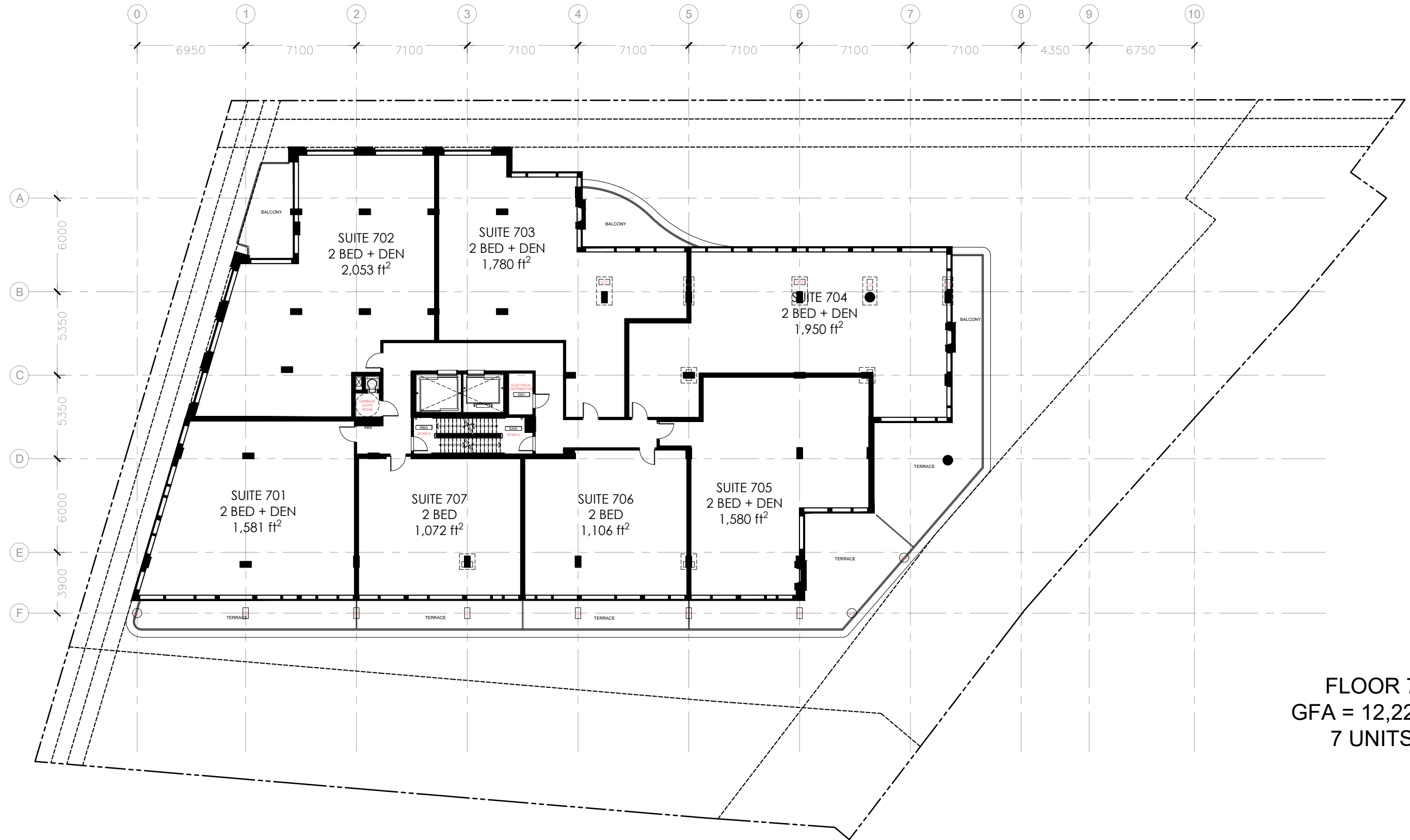
SCALE: 1:250

JANUARY 13th 2023

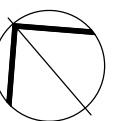


FLOOR 6
GFA = 13,712 ft²
8 UNITS





FLOOR 7
 GFA = 12,220 ft²
 7 UNITS

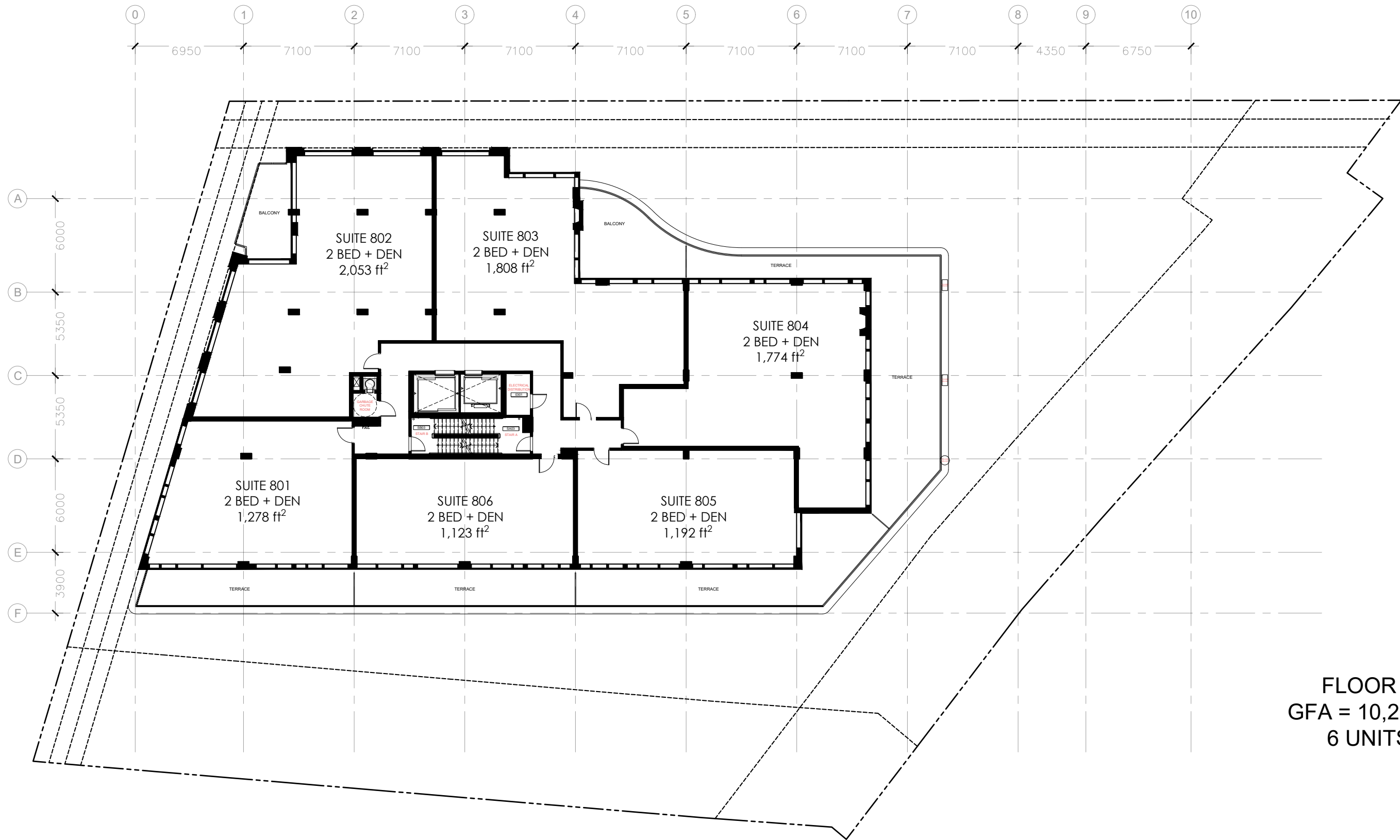


50 THE DRIVEWAY

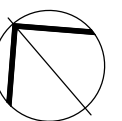
LEVEL 7

SCALE: 1:250

JANUARY 13th 2023



FLOOR 8
 GFA = 10,288 ft²
 6 UNITS



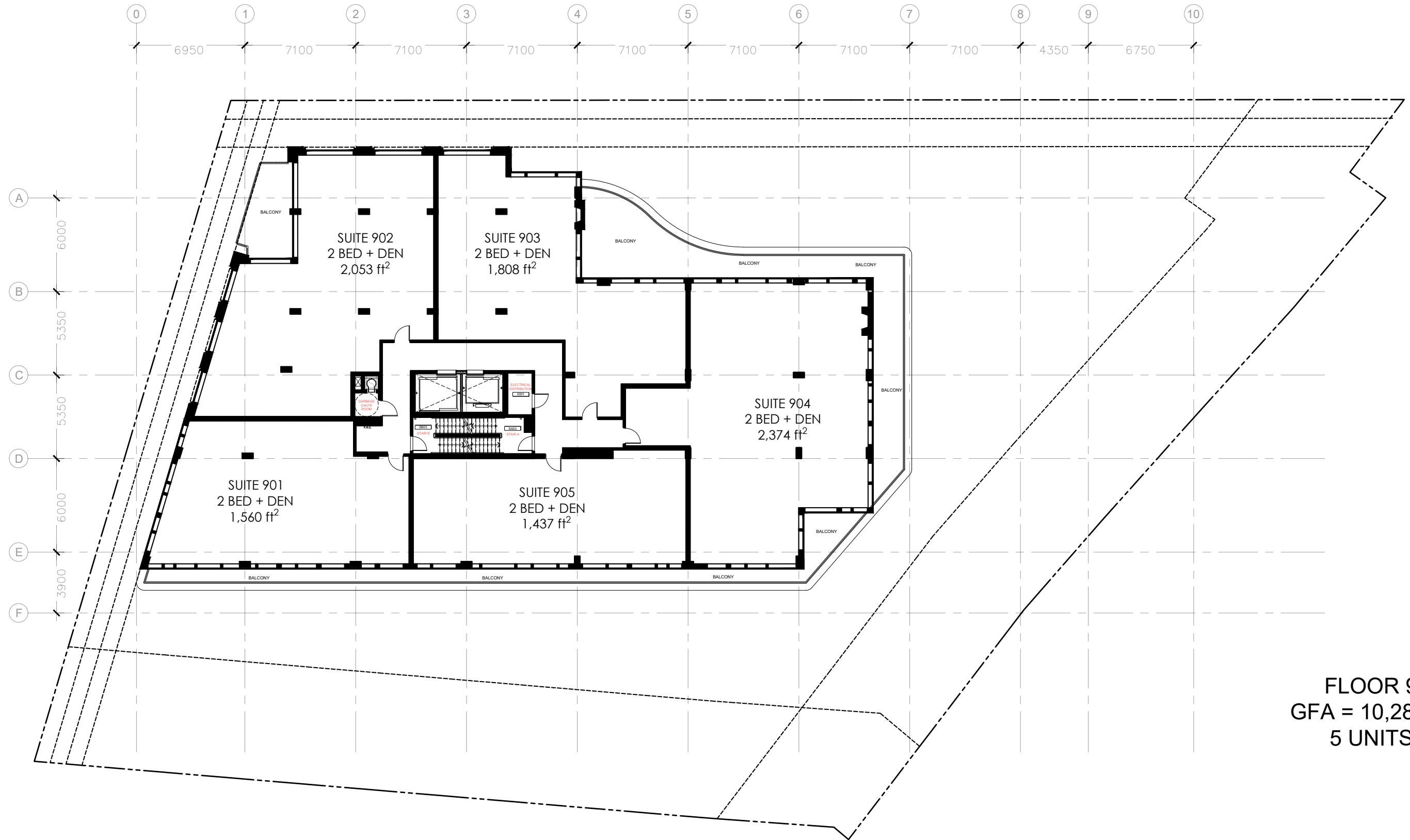
HOBIN

50 THE DRIVEWAY

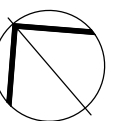
LEVEL 8

SCALE: 1:250

JANUARY 13th 2023



FLOOR 9
 GFA = 10,288 ft²
 5 UNITS

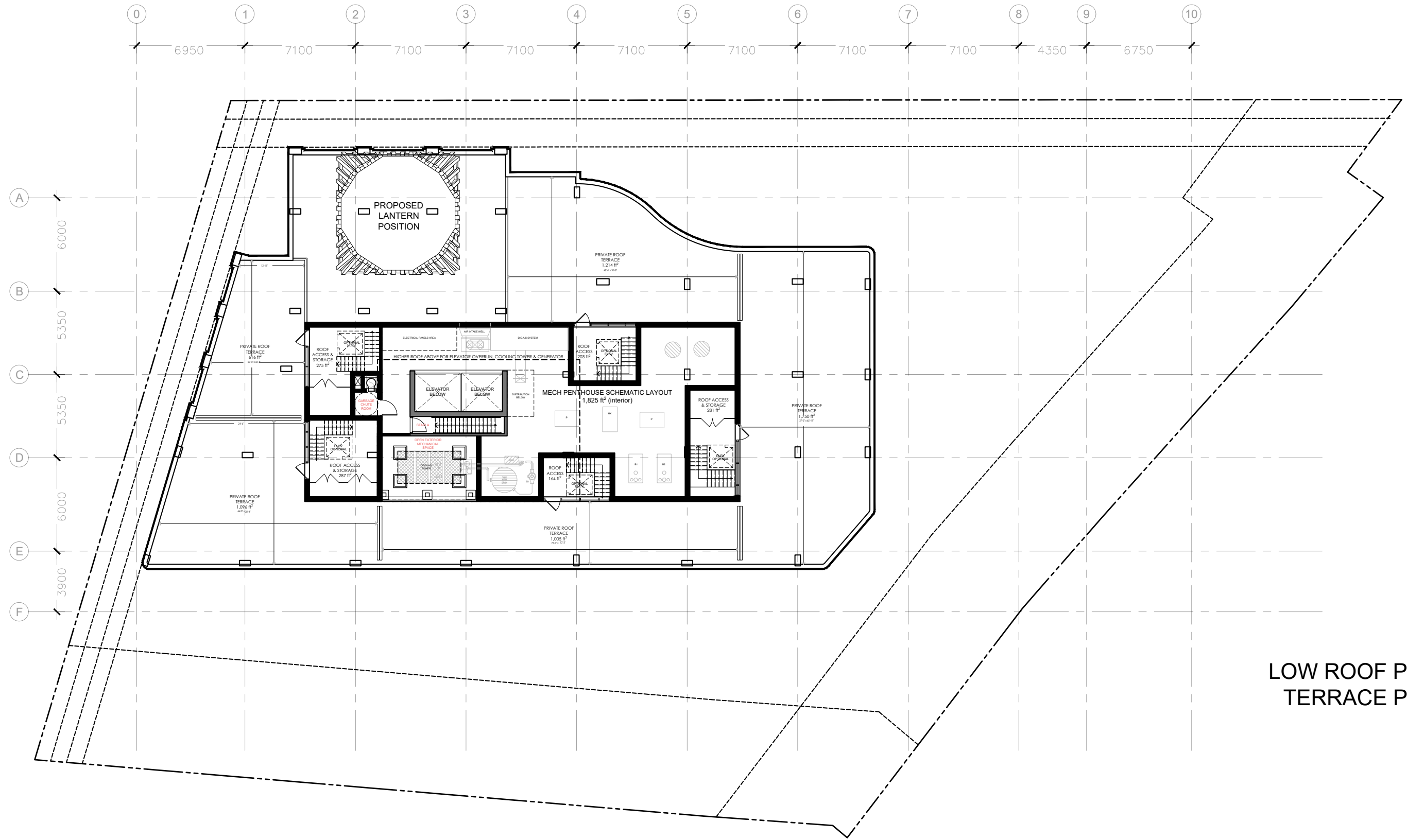


50 THE DRIVEWAY

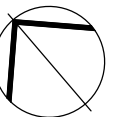
LEVEL 9

SCALE: 1:250

JANUARY 13th 2023



LOW ROOF PLAN /
TERRACE PLAN

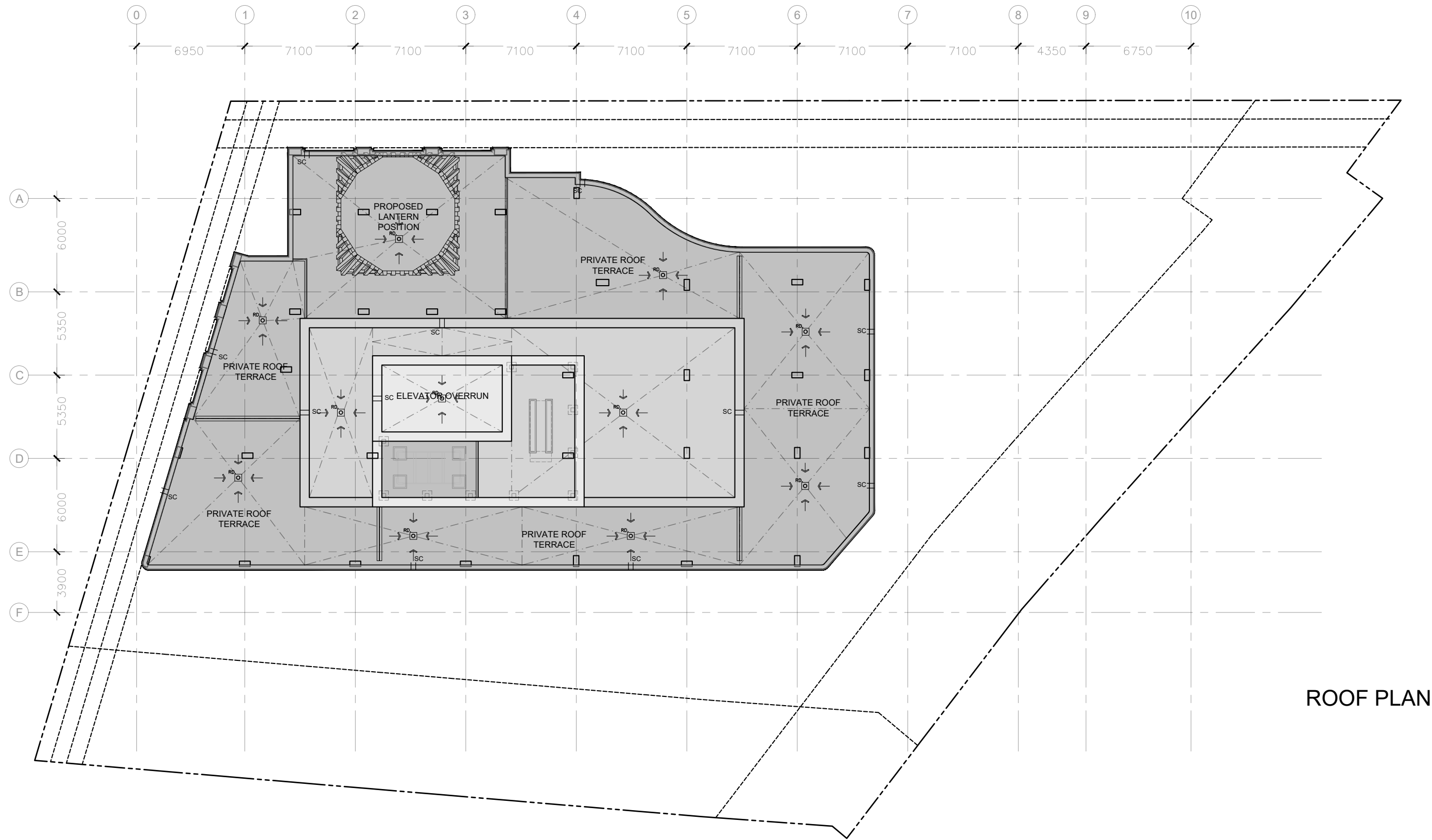


50 THE DRIVEWAY

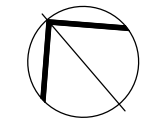
LOW ROOF LEVEL (TERRACES)

SCALE: 1:250

JANUARY 13th 2023



ROOF PLAN



50 THE DRIVEWAY

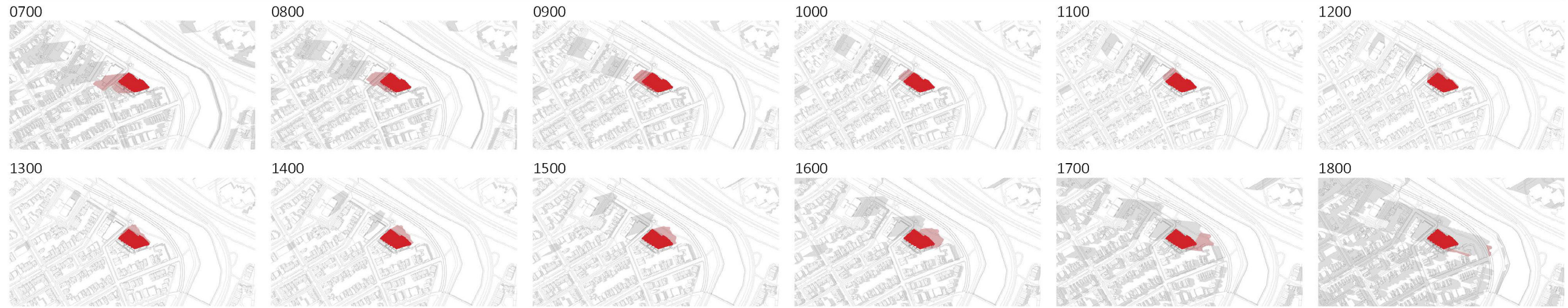
ROOF LEVEL

SCALE: 1:250

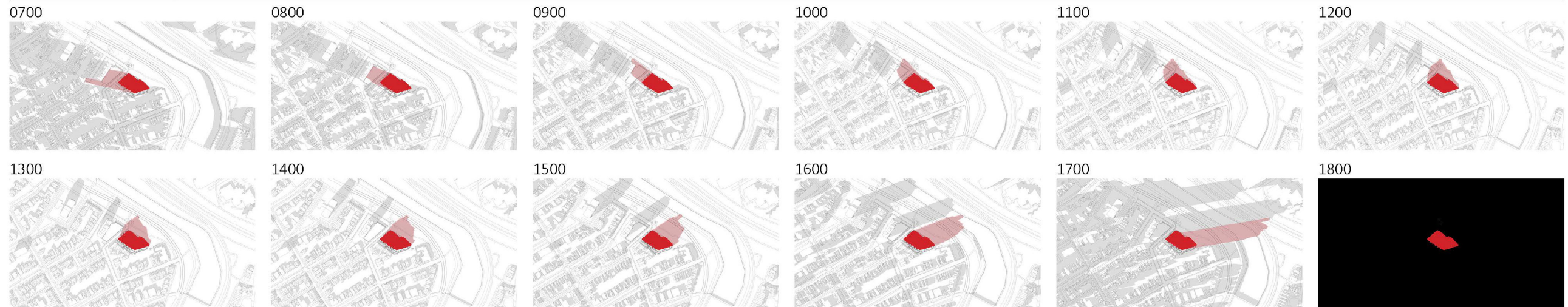
JANUARY 13th 2023

SUN & SHADOW STUDY - PROPOSED 9 STOREY BUILDING

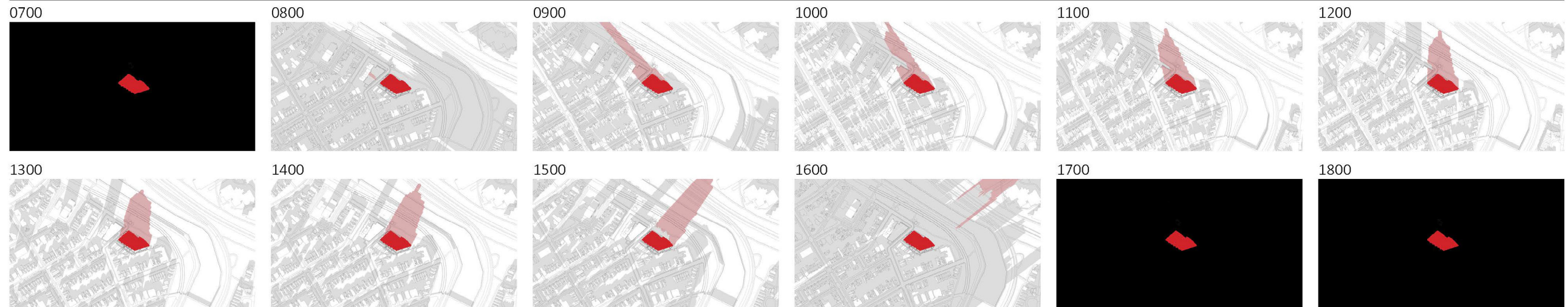
JUNE 21



SEPTEMBER / MARCH 21



DECEMBER 21



6	230113	re-issued for SPC
5	220919	issued for Heritage Easement
4	220614	issued for SPC
3	220119	re-issued for rezoning
2	211206	re-issued for rezoning
1	210716	issued for rezoning

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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HOBIN
ARCHITECTURE

PROJECT LOCATION:
50 THE DRIVEWAY

DRAWING TITLE:
SUN/SHADOW STUDY

DRAWN BY: DA DATE: 230113 SCALE: N/A

PROJECT: 2051 DRAWING NO.: A-001

ONTARIO ASSOCIATION OF ARCHITECTS
PARR J. HOBIN
LICENCE 3049

REVISION NO.:

THANK YOU!

