

FENGATE/CANDEREL LIMITED PARTNERSHIP  
**1209 ST LAURENT BLVD.**

K1J 1A2, OTTAWA, ONTARIO

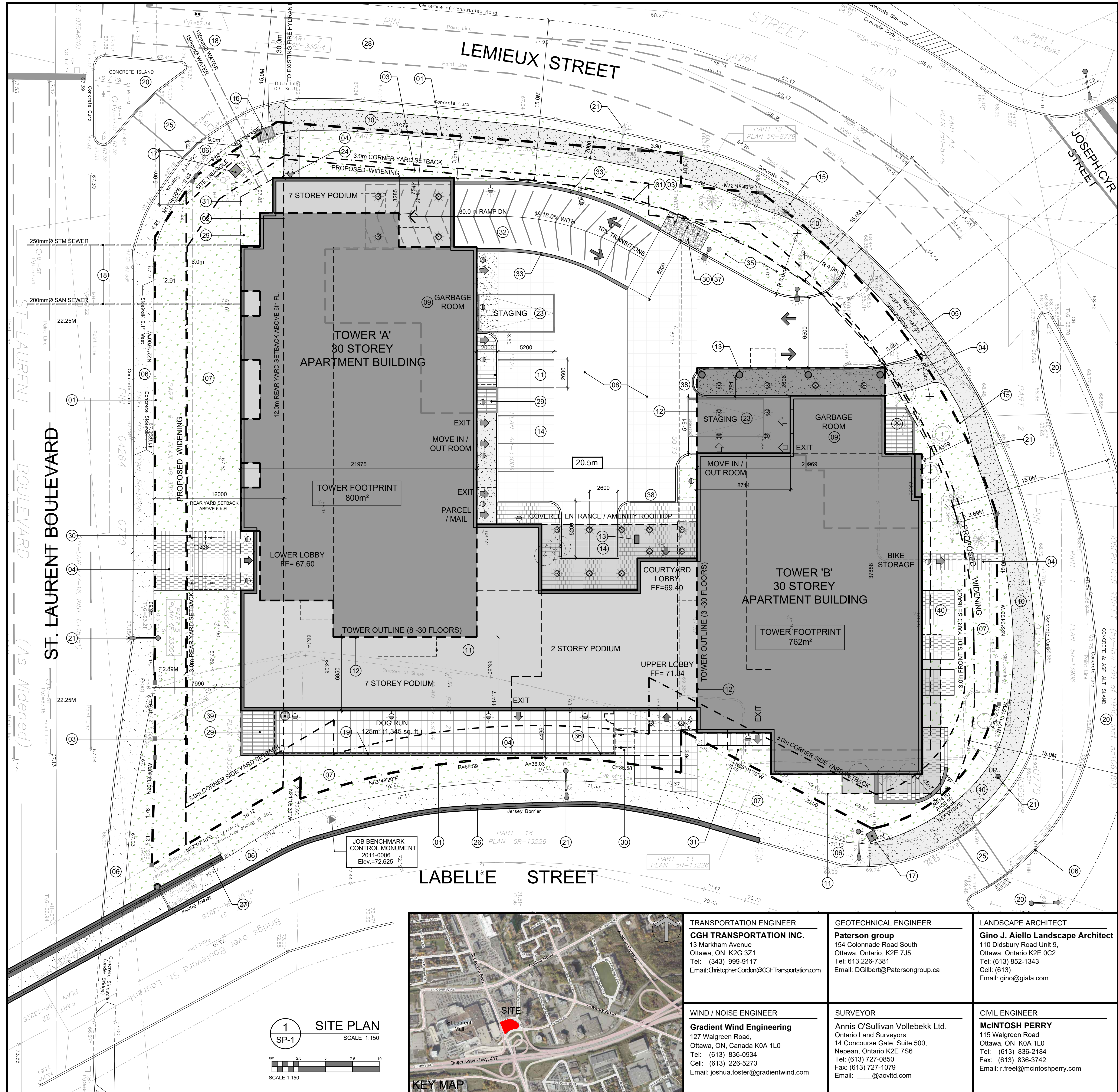
RLA PROJECT #: 2203

ISSUED FOR SPC 1st COMMENT RESPONSE

2022-12-14







### PROJECT INFORMATION

Zoning By-law 2006-250 Consolidation TD3 SITE AREA 0.428 ha, 4,279.77 sq. m, 31,388 sq. ft.

ZONING	REQUIRED	PROVIDED
BUILDING HEIGHT	30 STOREYS / 90.0m	30 STOREYS / 95.0m
GRADE (GEODETTIC ELEVATION - ASL)	69.20m ASL	69.20m ASL
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0m	4.6m
DENSITY - MINIMUM 350 units/hectare	122 UNITS	276 UNITS
TOWER SEPARATION	24.0m	20.5m
FRONT YARD SETBACK	3.0m	0.0m
CORNER YARD SETBACK (North - Lemieux / South - Labelle)	3.0m / 3.0m	3.0m / 0.0m
REAR YARD SETBACK (GROUND TO 5th FLOOR)	0.0m	8.0m
REAR YARD SETBACK (ABOVE 6th STOREY)	12.0m	8.0m
PUBLIC STREET SETBACK FOR BUILDINGS WITHIN 10m OF A LOT LINE AT EITHER 2nd THROUGH 7th FLOOR	2.5m	0.0m
AMENITY AREA - TOTAL PER UNIT	6.0m²	7.0m²
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0m²	3.2m²
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	85.6m²	125.0m²
VEHICLE PARKING - RESIDENTIAL (AREA "Z" - MIN. 0 / MAX. 1.75 PER UNIT)	NOT REQUIRED	299
VEHICLE PARKING - VISITOR ONLY (MAX. 30 PER BUILDING AFTER 12 UNITS)	60	60
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	322	658
BIKE STORAGE	322	658
BIKE STORAGE	322	658
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m
ACTIVE STREET FRONTAGE FOR ST. LAURENT (50% OF LOT WIDTH)	29.26m L	49.0m L

### DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACKS
- PROPOSED ROAD WIDENING
- HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
- DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, SEE CIVIL
- EXISTING STREET CURB AND SIDEWALK
- SOFT LANDSCAPING, SEE LANDSCAPE PLAN
- ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
- INTERNAL GARBAGE ROOM
- 2.0m WIDE CONCRETE SIDEWALK
- OUTLINE OF PRIVATE BALCONY ABOVE
- OUTLINE OF TOWER ABOVE
- STRUCTURAL SUPPORT FOR BUILDING ABOVE
- SURFACE PARKING SPACE 2.6 X 5.2 M
- EXISTING TREE TO BE REMOVED
- EXISTING STORM GRATE
- EXISTING UTILITY KIOSK
- PROPOSED SERVICES
- RETAINING WALL, SEE CIVIL FOR HEIGHT
- EXISTING CONCRETE / ASPHALT ISLAND
- EXISTING UTILITY / LIGHT POLE
- 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
- 3.5 X 7.0m LOADING SPACE
- SIAMSE CONNECTION
- EXISTING CROSSWALK WITH DEPRESSED CURBS
- EXISTING CONCRETE JERSEY BARRIER
- EXISTING CONCRETE OVERPASS GUARDRAIL WITH METAL PIPE RAILING
- EXISTING FIRE HYDRANT
- INTAKE / EXHAUST GRILL
- BICYCLE PARKING SPACE WITH RACK
- OUTLINE OF BELOW GRADE PARKING DECK
- HEATED GARAGE RAMP WITH TRENCH DRAIN
- CONCRETE RETAINING WALL WITH GUARD RAILING
- RELOCATE UTILITY / LIGHT POLE AS NEEDED
- TEMPORARY SNOW STORAGE - SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
- PRIVACY FENCE
- WASHED PEA-STONE SURFACE
- DEPRESSED CURB
- ACCESS TO INTERNAL CISTERN
- AT GRADE PRIVATE PATIOS

### GROSS BUILDING FLOOR AREA

(OTTAWA ZONING DEFINITION)

BELOW GRADE PARKING LEVEL	TOWER A	TOWER B	TOTAL
GROUND FLOOR	199.6 sq. m	2,149 sq. m	2,348.6 sq. m
2nd FLOOR - TOWER 'A'	694.6 sq. m	7,477 sq. m	8,171.6 sq. m
2nd FLOOR - TOWER 'B'	485.5 sq. m	5,226 sq. m	5,711.5 sq. m
3rd - 7th FLOOR - TOWER 'A'	5 x 864.9 sq. m	4,324.6 sq. m	4,650.9 sq. m
3rd - 7th FLOOR - TOWER 'B'	5 x 9,310 sq. m	46,550 sq. m	51,860 sq. m
8th FLOOR - TOWER 'A'	5 x 644.8 sq. m	3,224.2 sq. m	3,769 sq. m
8th FLOOR - TOWER 'B'	5 x 644.8 sq. m	3,224.2 sq. m	3,769 sq. m
9th - 20th FLOOR - TOWER 'A'	12 x 622.8 sq. m	7,473.8 sq. m	8,096.6 sq. m
9th - 20th FLOOR - TOWER 'B'	12 x 6,704 sq. m	80,448 sq. m	86,152 sq. m
21st - 30th FLOOR - TOWER 'A'	10 x 626.8 sq. m	6,268.8 sq. m	6,895.6 sq. m
21st - 30th FLOOR - TOWER 'B'	10 x 6,981 sq. m	69,810 sq. m	76,791 sq. m
9th - 30th FLOOR - TOWER 'B'	22 x 587.3 sq. m	12,921.3 sq. m	13,508.6 sq. m
9th - 30th FLOOR - TOWER 'A'	22 x 6,322 sq. m	139,084 sq. m	145,406 sq. m
TOTAL AREA ABOVE GRADE	36,797.9 sq. m	396,089 sq. m	432,887 sq. m

### UNIT STATISTICS

	TOWER A	TOWER B	TOTAL
STUDIO	15	18	33
1 BEDROOM UNIT	184	164	348
2 BEDROOM UNIT	136	127	263
TOTAL	335	309	644

### CAR PARKING

REQUIRED: 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)

	REQUIRED	PROVIDED
VISITOR - TOWER A	-0.1 PER UNIT AFTER 12 UNITS	30
VISITOR - TOWER B	-0.1 PER UNIT AFTER 12 UNITS	30
TOTAL	60	60
MAXIMUM PARKING AS PER TABLE 103 + 1.75 PER UNIT	1,175	

### BICYCLE PARKING

REQUIRED: 0.5 PER UNIT (644 UNITS) 322

PROVIDED: INTERIOR 622, EXTERIOR 14

### AMENITY AREA

	REQUIRED	PROVIDED
GRADE EXTERIOR - COMMUNAL	125.0 sq. m	546.0 sq. m
1st FLOOR INTERIOR - COMMUNAL	546.0 sq. m	467.0 sq. m
2nd FLOOR INTERIOR - COMMUNAL	467.0 sq. m	114.0 sq. m
2nd FLOOR TERRACE - COMMUNAL	245.0 sq. m	548.0 sq. m
31st FLOOR INTERIOR - COMMUNAL	548.0 sq. m	2,500 sq. m
BALCONIES / TERRACE - PRIVATE	2,500 sq. m	4,545.0 sq. m
TOTAL	4,545.0 sq. m	2,045.0 sq. m

REQUIRED (644 UNITS X 6 m²) = 3,864 sq. m  
REQUIRED COMMUNAL @ 50% = 1,932 sq. m

### SITE COVERAGE

	REQUIRED	PROVIDED
BUILDING FOOTPRINT	46.3%	1,879.5 sq. m
DRIVING SURFACE	17.9%	766.4 sq. m
LANDSCAPE AREA	35.8%	1,533.9 sq. m
TOTAL	100.0%	4,279.77 sq. m

### REFUGES REQUIREMENT (644 UNITS)

	REQUIRED	PROVIDED
GARBAGE	-0.11 PER UNIT	71 YARDS
RECYCLING GMP	-0.018 PER UNIT	12 YARDS
RECYCLING FIBER	-0.038 PER UNIT	25 YARDS
COMPOST	-240L PER 50 UNITS	7

### SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- PROPOSED CONCRETE SURFACE
- SOFT LANDSCAPING
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- UNIT BALCONY DOOR / FIRE EXIT
- PROPERTY LINE
- PROPOSED WIDENING
- EXISTING TREE TO BE REMOVED

### REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC ROUND 1 CITY COMMENT	Dec. 14, 22
2	REVISED AS PER OWNER REQUEST	Nov. 11, 22
3	ISSUED FOR GENERAL UPDATES	July 12, 22
4	ISSUED FOR SPC APPLICATION	May 20, 22
5	ISSUED FOR OWNER / CONSULTANT REVIEW	May 18, 22
6	ISSUED FOR OWNER / CONSULTANT REVIEW	May 13, 22
7	ISSUED FOR OWNER / CONSULTANT REVIEW	Apr. 27, 22
8	ISSUED FOR DESIGN CONCEPT	Apr. 12, 22

### CLIENT:

**FENGATE**  
Asset Management

**Canderel**

ARCHITECT:  
**RODERICK LAHEY ARCHITECT INC.**  
56 Beech Street, Ottawa, Ontario K1S 3J6  
1.613.724.9932 1.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**1209 ST LAURENT BLVD.**

OTTAWA ONTARIO

SHEET TITLE:  
**SITE PLAN**

DRAWN: RV CHECKED: R.I.  
SCALE: 1:150 SHEET No.: SP-1  
PROJECT No.: 2203


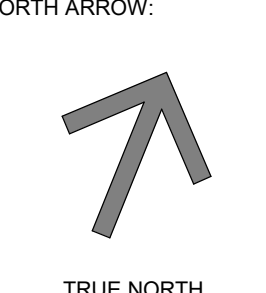




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No.	DESCRIPTION	DDMMYY
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW: 

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PROJECT TITLE:  
**1209 ST LAURENT BLVD.**

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SHEET TITLE:  
**P2-4 PLAN**


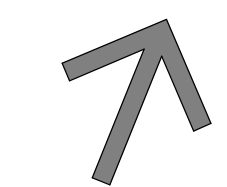
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
10	FOR COORD	22-11-29
1	SITE PLAN CONTROL	22-05-24

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**P1 PLAN**

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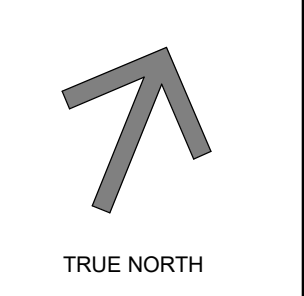


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11	FOR COORD	22-12-12

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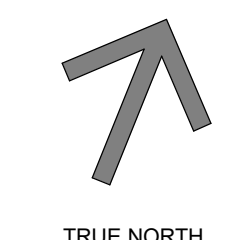
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
10	FOR COORD	22-11-29
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:  
**1209 ST LAURENT BLVD.**  
 K1J 1A2

SHEET TITLE:  
**GROUND FLOOR PLAN**

DRAWN: RIB	CHECKED: RV
SCALE: 1 : 125	SHEET No: <b>6</b>
PROJECT No: 2203	

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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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**1209 ST LAURENT BLVD.**

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SHEET TITLE:

**L2 PLAN**

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PROJECT No: 2203	

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JOSEPH CYR ST.

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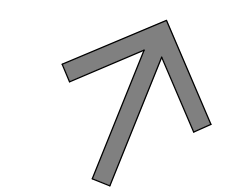




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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:

1209 ST LAURENT BLVD.

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SHEET TITLE:

L3-L7- TYPICAL PODIUM PLAN

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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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SHEET TITLE:  
**L8 PLAN**

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PROJECT No: 2203	

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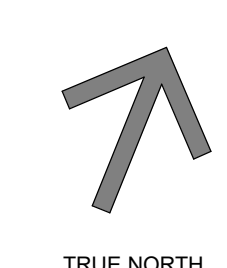




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PROJECT TITLE:

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SHEET TITLE:

**TYPICAL TOWER PLAN 1**

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SCALE: 1 : 125	SHEET No: <b>10</b>
PROJECT No: 2203	

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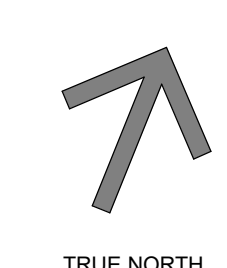




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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:

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K1J 1A2

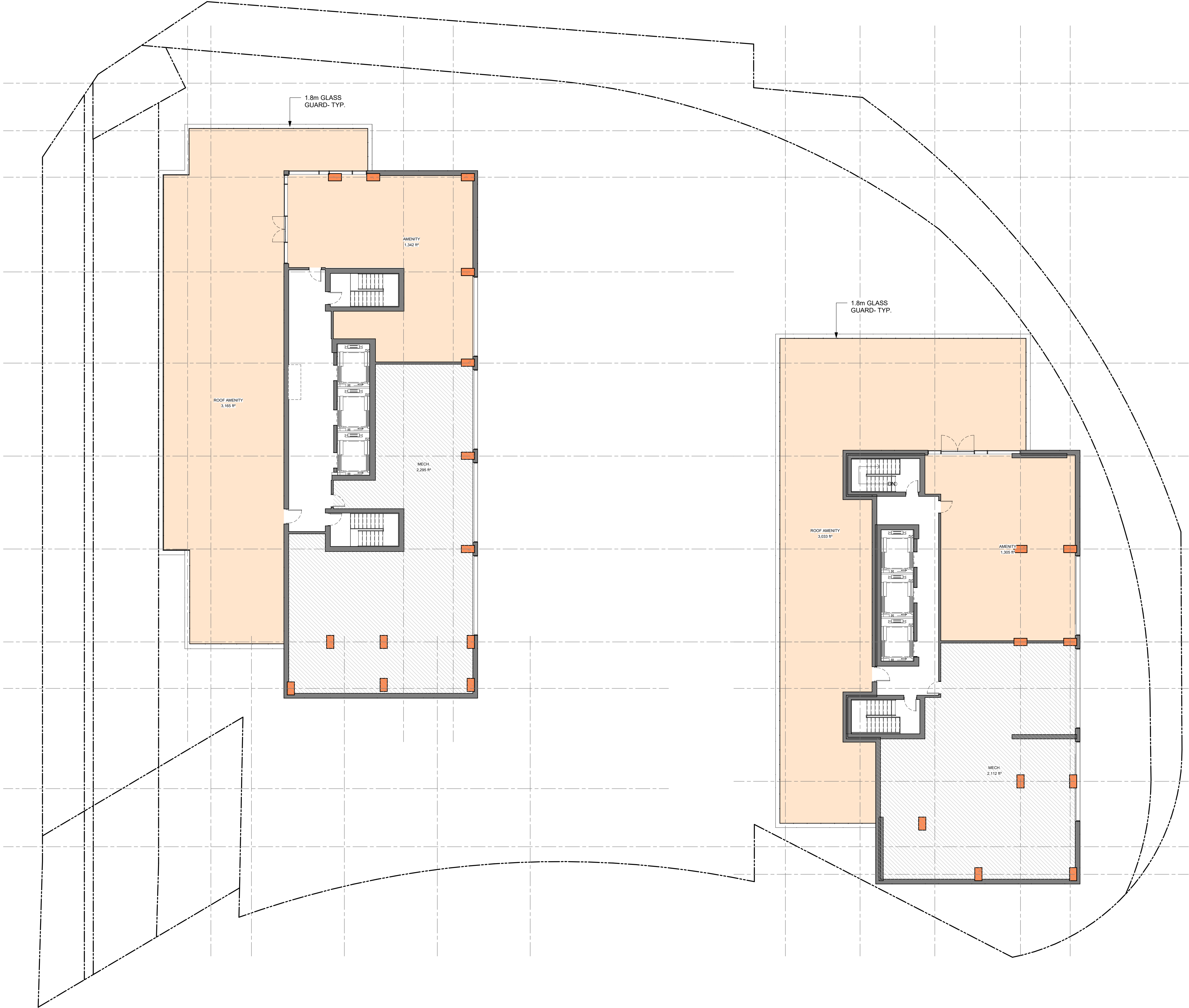
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TYPICAL TOWER PLAN 2

DRAWN: RIB	CHECKED: RV
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PROJECT No: 2203	


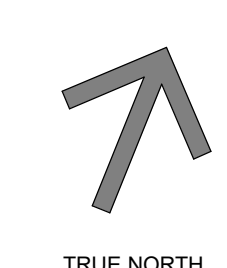
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No.	DESCRIPTION	DDMMYY
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12

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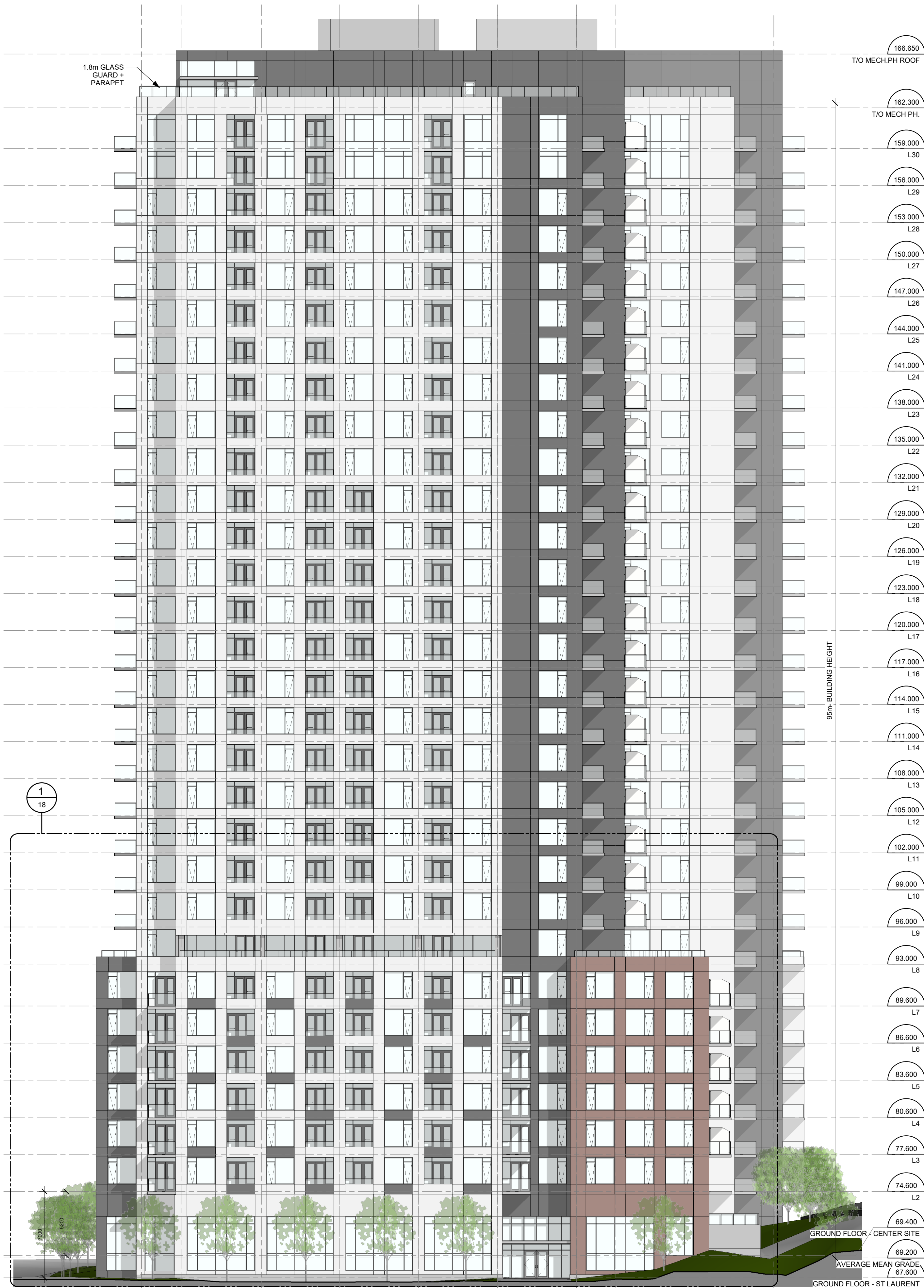
SHEET TITLE:  
 ROOF AMENITY & MECH. PH

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 125	SHEET No: <b>11.1</b>
PROJECT No: 2203	

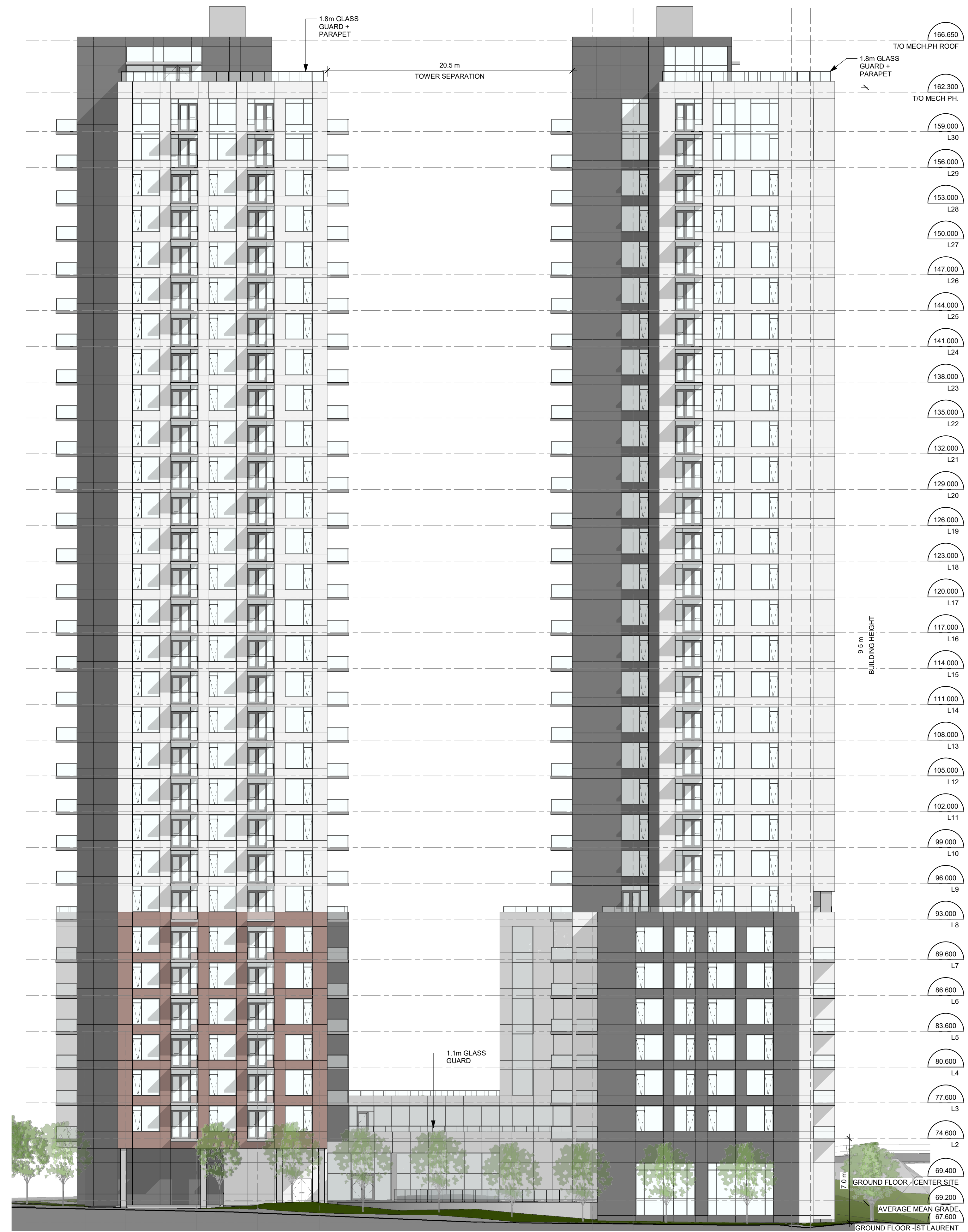
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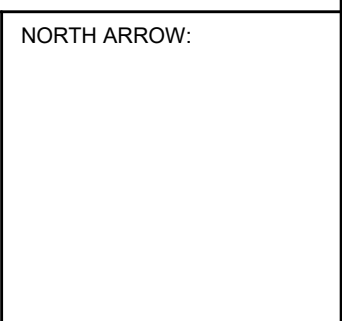


WEST ELEVATION - ST LAURENT



NORTH ELEVATION - LEMIEUX

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **FENGATE** Asset Management  
**Canderel**

ARCHITECT: **rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**1209 ST LAURENT BLVD.**  
**K1J 1A2**

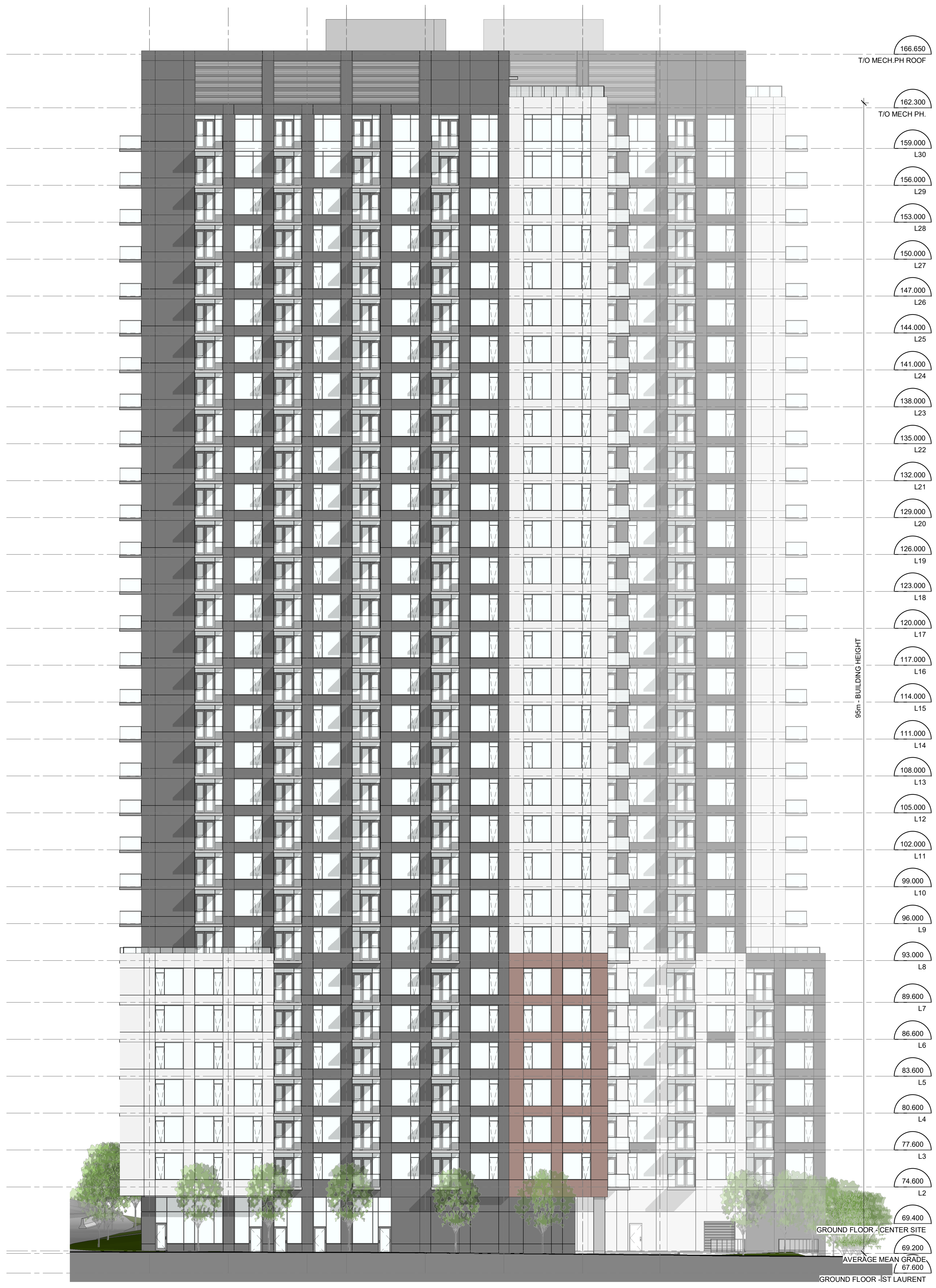
SHEET TITLE:  
**WEST AND NORTH ELEVATIONS**

DRAWN: RIB	CHECKED: RV
SCALE: 1 : 200	SHEET No: <b>12</b>
PROJECT No: 2203	

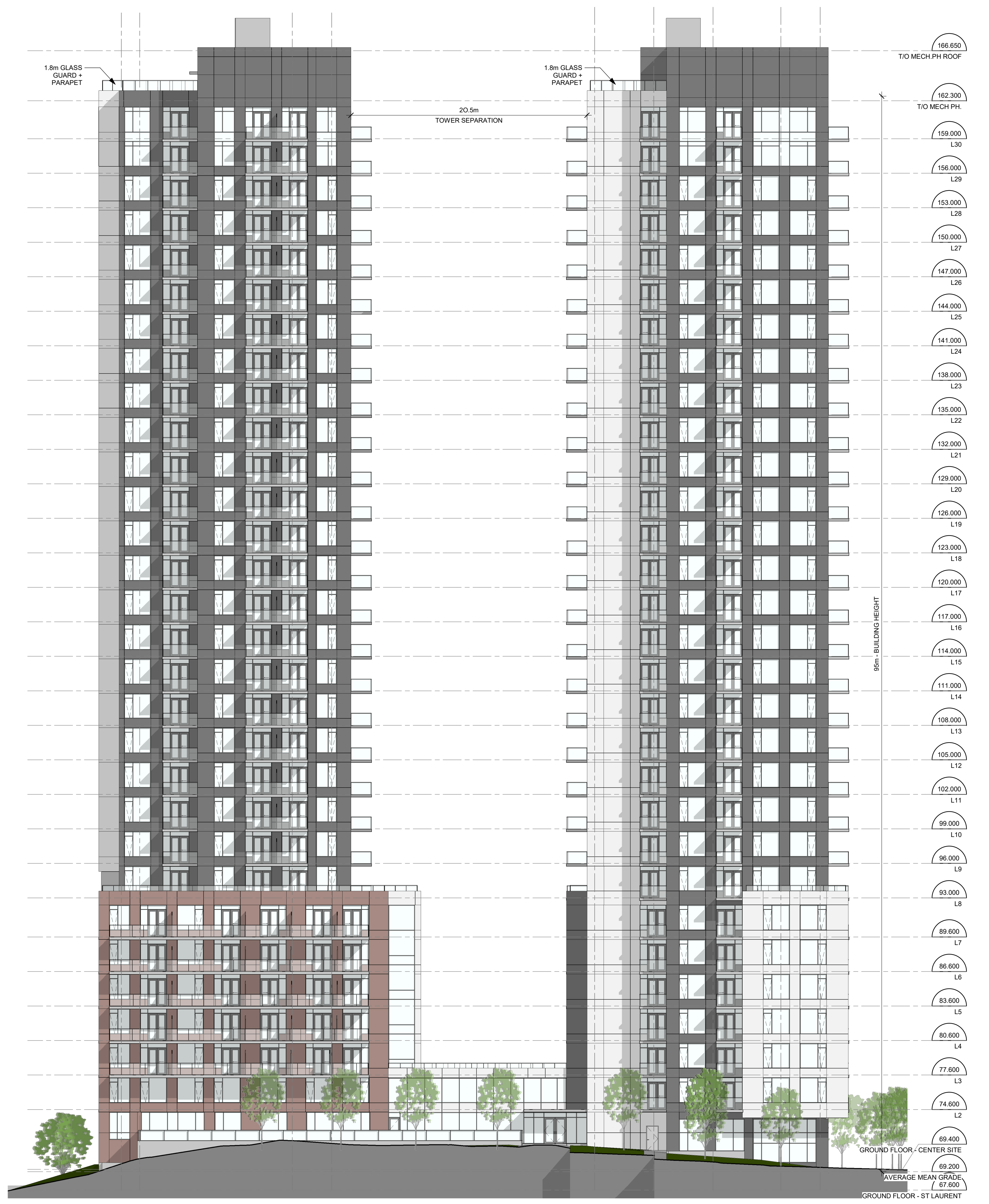
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EAST ELEVATION - LEMIEUX



SOUTH ELEVATION - QUEENSWAY

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **FENGATE** Asset Management  
**Canderel**

ARCHITECT: **rla/architecture**  
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PROJECT TITLE:  
**1209 ST LAURENT BLVD.**  
 K1J 1A2

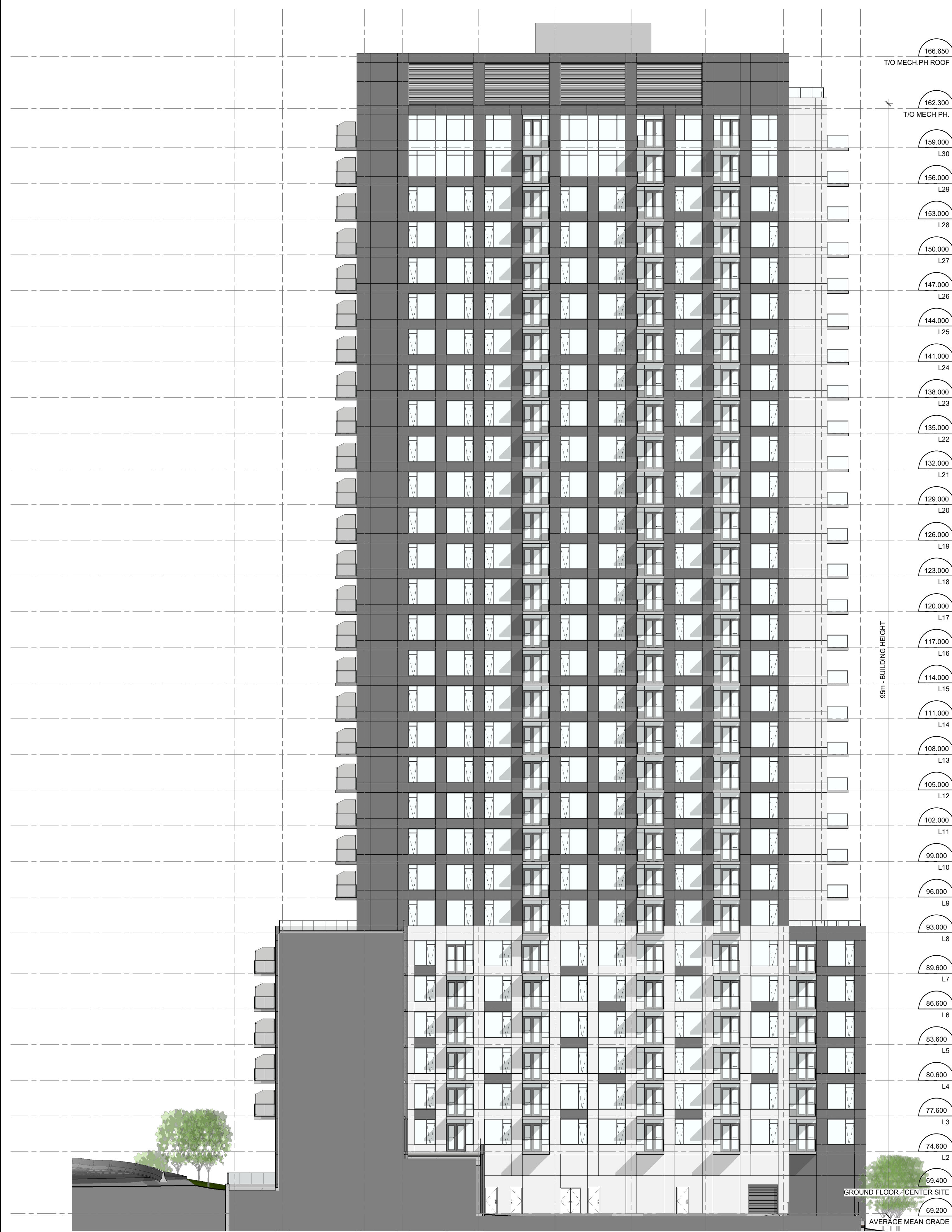
SHEET TITLE:  
**EAST AND SOUTH ELEVATIONS**

DRAWN: RIB	CHECKED: RV
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PROJECT No: 2203	

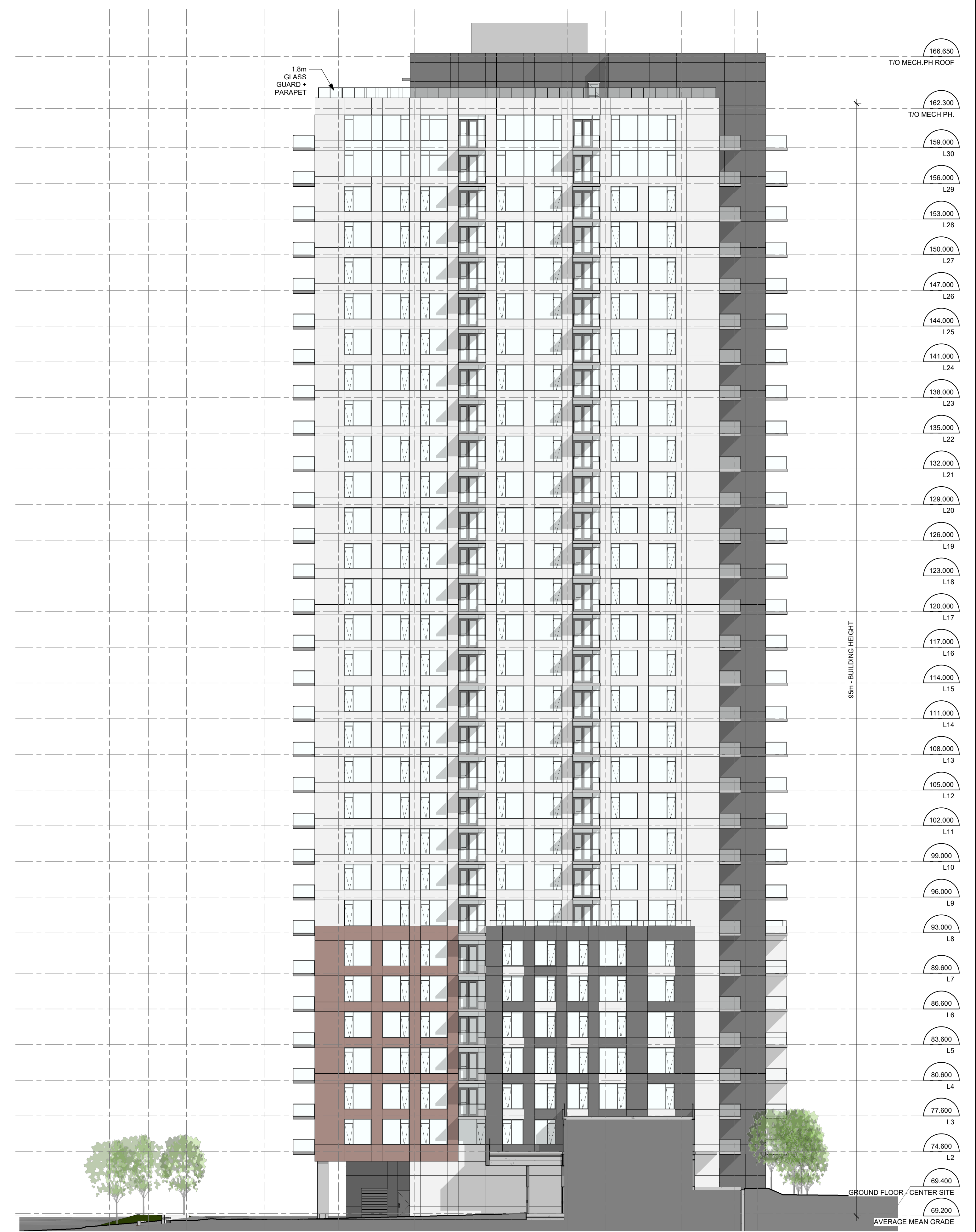
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INTERNAL ELEVATION - TOWER A



INTERNAL ELEVATION - TOWER B

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

**FENGATE**  
Asset Management

**Canderel**

ARCHITECT:

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PROJECT TITLE:

**1209 ST LAURENT BLVD.**

K1J 1A2

SHEET TITLE:

**INTERNAL COURTYARD ELEVATIONS**

DRAWN: RIB	CHECKED: RV
SCALE: 1 : 200	SHEET No: <b>14</b>
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm) PLOT SCALE: 1:1



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No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

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ARCHITECT:

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PROJECT TITLE:

1209 ST LAURENT BLVD.

K1J 1A2

SHEET TITLE:

MATERIALS

DRAWN: RIB	CHECKED: RV/RL
SCALE: 1 : 100	SHEET No: <b>18</b>
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm)  
 PLOT SCALE: 1:1  
 PLOT DATE: 12/13/2022 11:00:29 AM





VIEW SOUTH FROM ST LAURENT



VIEW NORTH FROM THE QUEENSWAY



VIEW SOUTH FROM JOSEPH CYR

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No.	DESCRIPTION	DDMMYY
12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL: 	NORTH ARROW: 
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CLIENT:

**FENGATE**  
Asset Management

**Canderel**

ARCHITECT:

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PROJECT TITLE:

1209 ST LAURENT BLVD.  
K1J 1A2

SHEET TITLE:

PERSPECTIVES

DRAWN: RIB	CHECKED: RV
SCALE:	SHEET No: <b>19</b>
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm)

PLOT SCALE: 1:1

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PLOT DATE: 12/13/2022 11:04:42 AM



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VIEW NORTH-EAST OVER BRIDGE



VIEW NORTH-WEST FROM LEMIEUX/LABELLE



VIEW SOUTH FROM ST LAURENT



VIEW SOUTH-WEST FROM JOSEPH CYR

12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24
No.	DESCRIPTION	DDMMYY

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:  
**FENGATE**  
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**Canderel**

ARCHITECT:  
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PROJECT TITLE:  
**1209 ST LAURENT BLVD.**  
 K1J 1A2  
 SHEET TITLE:  
**PERSPECTIVES**

DRAWN: RIB	CHECKED: RV
SCALE:	SHEET No: <b>20</b>
PROJECT No: 2203	

PAPER SIZE: ISO Full (Sheet B1) (707.00 x 1000.00mm)  
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