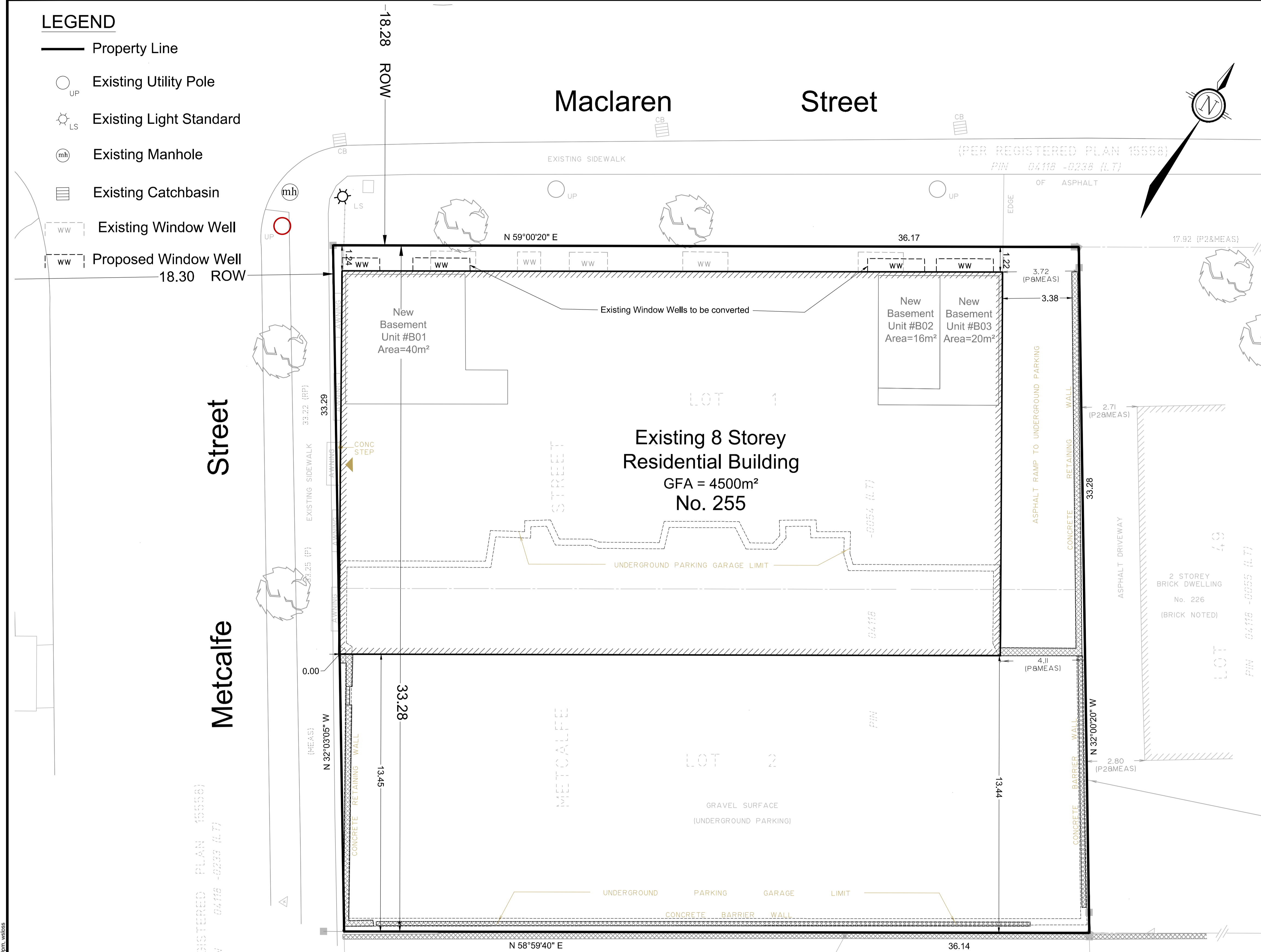


**LEGEND**

- Property Line
- UP Existing Utility Pole
- ☀ LS Existing Light Standard
- ⊙ mh Existing Manhole
- ▢ CB Existing Catchbasin
- ▭ ww Existing Window Well
- - - ww Proposed Window Well



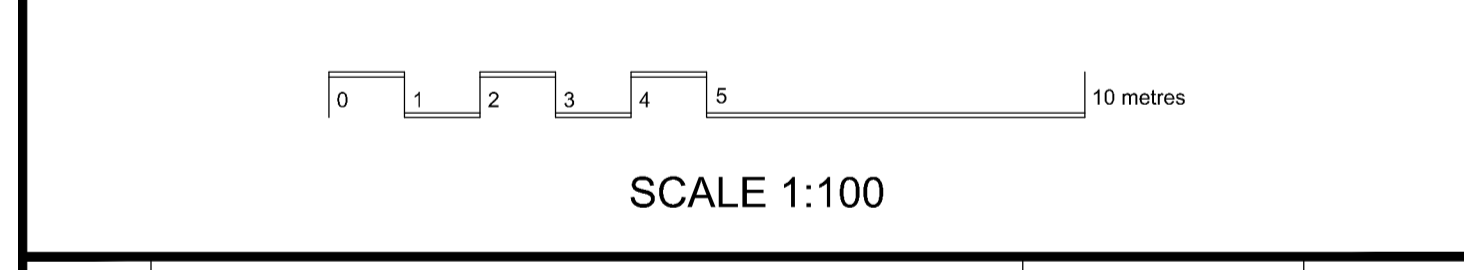
KEYPLAN  
NOT TO SCALE

# SITE PLAN

## 255 METCALFE STREET

LOTS 1 AND 2  
(East Side of Metcalfe Street)  
REGISTERED PLAN 15558  
CITY OF OTTAWA

Falsetto Homes Inc.  
52 Sullivan Drive  
Ottawa, Ont  
K2G 1V2



No.	REVISION	DATE	BY
3	REVISED PER CITY COMMENTS	DEC 08/22	SS
2	REVISED PER CITY COMMENTS	NOV 11/22	SS
1	ISSUED FOR SITE PLAN APPROVAL	OCT 14/22	SS

Residential Fifth Density Zone R5B [479] H (19)		
Zoning Provision	Required	Provided
Minimum Lot Area (m <sup>2</sup> )	675 m <sup>2</sup>	1203.1 m <sup>2</sup>
Minimum Lot Width (m)	22.5 m	33.2 m
Minimum Front Yard Setback (m)	3 m	0 m
Min Interior Yard Setback (m)	7.5 m	13.4 m
Minimum Corner Yard Setback (m)	3 m	1.2 m
Minimum Rear Yard Setback (m)	25% of the lot depth but not more than 7.5 m	3.7 m
Maximum Building Height (m)	19 m	8 storeys

**SOURCE REFERENCE:**  
 Legal / Topographic Information: *Surveyors Real Property Report (Ref: 21-10-068-00)*  
*J. D. Barnes Ltd. / July 26, 2021 / MTM Zone 9, NAD 83 CSRS*  
 Topographic Information: 1:1000  
*City of Ottawa / 2017 / MTM Zone 9, NAD 83 ORIG*

**NOVATECH**  
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 Telephone: (613) 254-9643  
 Facsimile: (613) 254-5867  
 Website: www.novatech-eng.com

ISSUED  
 DECEMBER, 2022  
 PROJECT No.  
 121185  
 DRAWING No.  
 121185-SP

M:\2021\121185\CAD\Planning\Site Plans\121185-SP.dwg, SP-A1, Dec 08, 2022, 1:00pm, warkiss

D07-12-22-0143

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