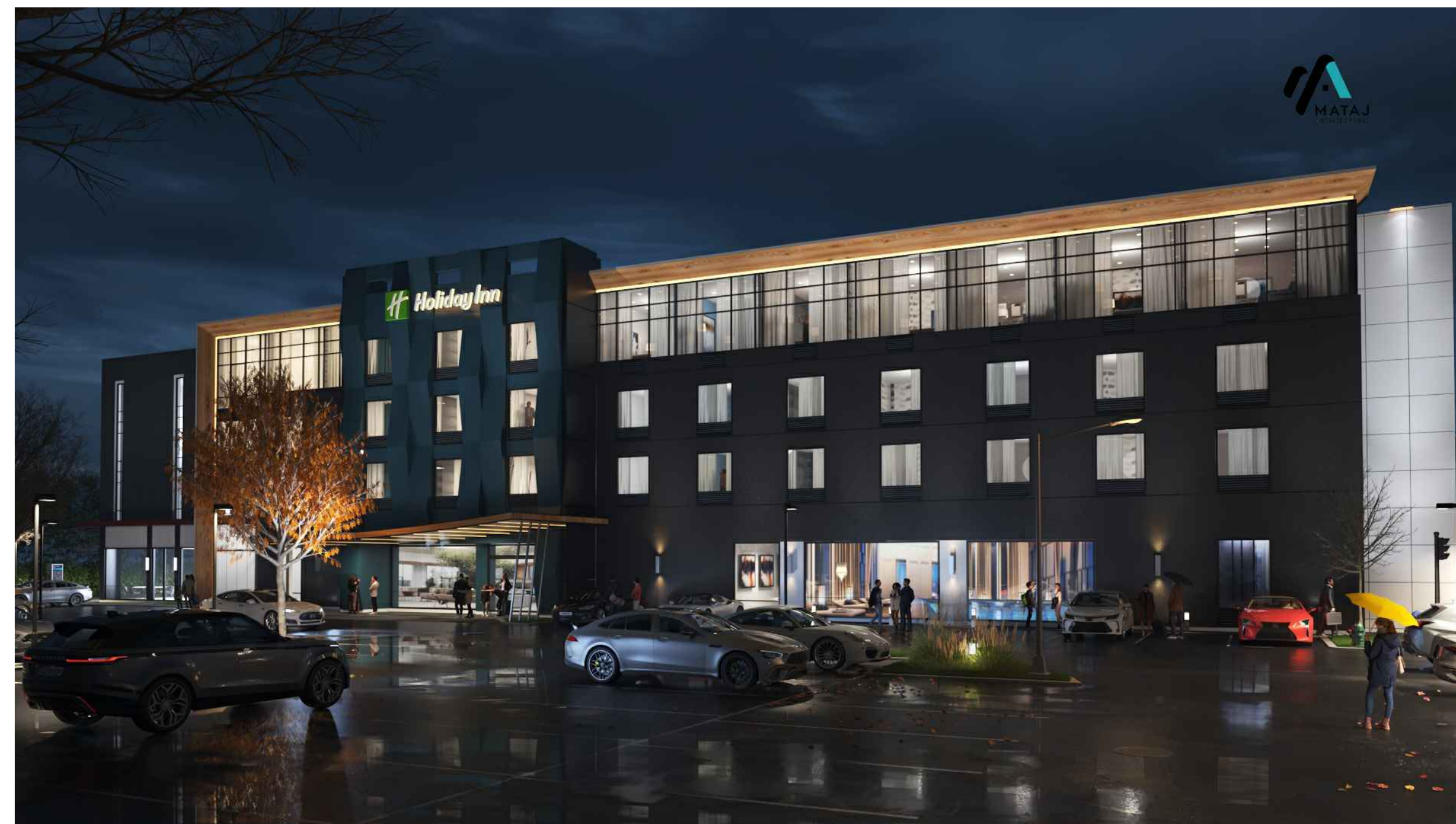


HOLIDAY INN OTTAWA

ADDRESS: 140 Lusk St, Ottawa, ON

ISSUED FOR SITE PLAN APPLICATION - DECEMBER 09, 2022

ARCHITECTURAL	
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ASP-2	SITE PLAN-DETAILS
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A202	GROUND FLOOR PLAN
A203	TYPICAL FLOOR PLAN (2ND-3RD)
A204	TOP FLOOR PLAN (4TH)
A205	ROOF PLAN & MECH. PENTHOUSE
A300	3D RENDER
A301	PROPOSED SOUTH ELEVATIONS
A302	PROPOSED EAST & WEST ELEVATIONS
A303	PROPOSED NORTH ELEVATIONS
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E102	Site Plan -Photometrics
LANDSCAPE DRAWING LIST	
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CIVIL DRAWING LIST	
C1.1	EXISTING CONDITIONS PLAN
C2.1	SITE GRADING
C2.2	SITE SERVICING PLAN
C2.3	NOTES AND DETAILS



CLIENT:

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OTTAWA, ON K2J 5T3

Dr. Sandra Iroakazi
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Mike Lennox
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phone: 613.722.5168



CIVIL ENGINEER:

MTE Consultants Inc.
520 Bingham Centre Drive,
Kitchener, Ontario N2B 3X9

Jeff Lerch,
email: JLerch@mte85.com
phone: 519-743-6500 x1307



COVER SHEET



SITE STATISTICS		
ZONING	IP - BUSINESS PARK INDUSTRIAL	
	IP [2245]H(12)	
SETBACKS		
FRONT YARD	MIN REQ'D (m)	PROVIDED (m)
REAR YARD	6.0	35.16
INTERIOR SIDE	6.0	6.00
INTERIOR SIDE	3.0	3.00
INTERIOR SIDE	3.0	3.00
WIDTH OF LANDSCAPE STRIP		
ABUTTING A STREET	3.0	3.0
MAXIMUM FLOOR SPACE INDEX	2	1
HEIGHT OF BUILDING		
BUILDING HEIGHT (MEASURED FROM GRADE TO T/O ROOF DECK)	MAX	PROVIDED
	12m	14.17m
CONSTRUCTION AREAS GROSS FLOOR AREA (GFA)		
GROUND FLOOR-BANQUET HALL (140 PERS ON)	SM	SF
GROUND FLOOR-PRE FUNCTION	172	1,851
GROUND FLOOR-HOTEL	42	452
2ND FLOOR	1,049	11,291
3RD FLOOR	1,284	13,821
4TH FLOOR	1,284	13,821
TOTAL CONSTRUCTION AREA	5,115	55,057
PARKING REQUIREMENTS (BASED ON TABLE 101; AREA "C" ON SCHEDULE 1A)		
- SPACES @ 2.6W x 5.2L	REQ'D	PROVIDED
- 50% of stalls are compact stalls (size at 2.4W x 4.6L per zoning standards)		
HOTEL: 1 SPACE PER GUEST UNIT (88 ROOMS)	88	88
PLACE OF ASSEMBLY (110 PER 100sqm OF GFA OF ASSEMBLY AREA)	20	20
BANQUET HALL + PRE FUNCTION AREA (200 SQ M)		
REDUCED PARKING SPACES (COMPACT STALLS) UP TO 50% OF THE PARKING SPACES		51
TYPICAL PARKING STALLS PROVIDED		52
ACC TYPICAL PARKING STALLS PROVIDED		5
TOTAL NO. OF SPACES	108	108
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)		
101-133 PARKING SPACES, THEN 5 ACCESSIBLE SPACES REQ'D	REQ'D	PROVIDED
TYPE A (VAN), MIN WIDTH=3400	5	5
TYPE B, MIN WIDTH=2400	2	2
	3	3
BICYCLE PARKING (BASED ON TABLE 111A (g)&(h))		
HOTEL = 1 PER 100sqm OF GFA	REQ'D	PROVIDED
ALL OTHER (i.e. PLACE OF ASSEMBLY) = 1 PER 1500sqm OF GFA	5	5
	1	1
TOTAL NO. OF SPACES	6	6
DRIVEWAYS AND AISLE REQUIREMENTS (SECTION 107)		
TWO-WAY DRIVEWAY	REQ'D (MIN)	PROVIDED
	6.7	6.7
TWO-WAY PARKING AISLE	6.7	6.7
LOADING REQUIREMENTS (SECTION 113)		
(SIZE: 3.5Wx9.0L PARALLEL; 3.5Wx7.0 OTHER; 4.2M VERT CLR)	REQ'D	PROVIDED
LOADING SPACE	2	0



3 SITE LOCATION
N.T.S.

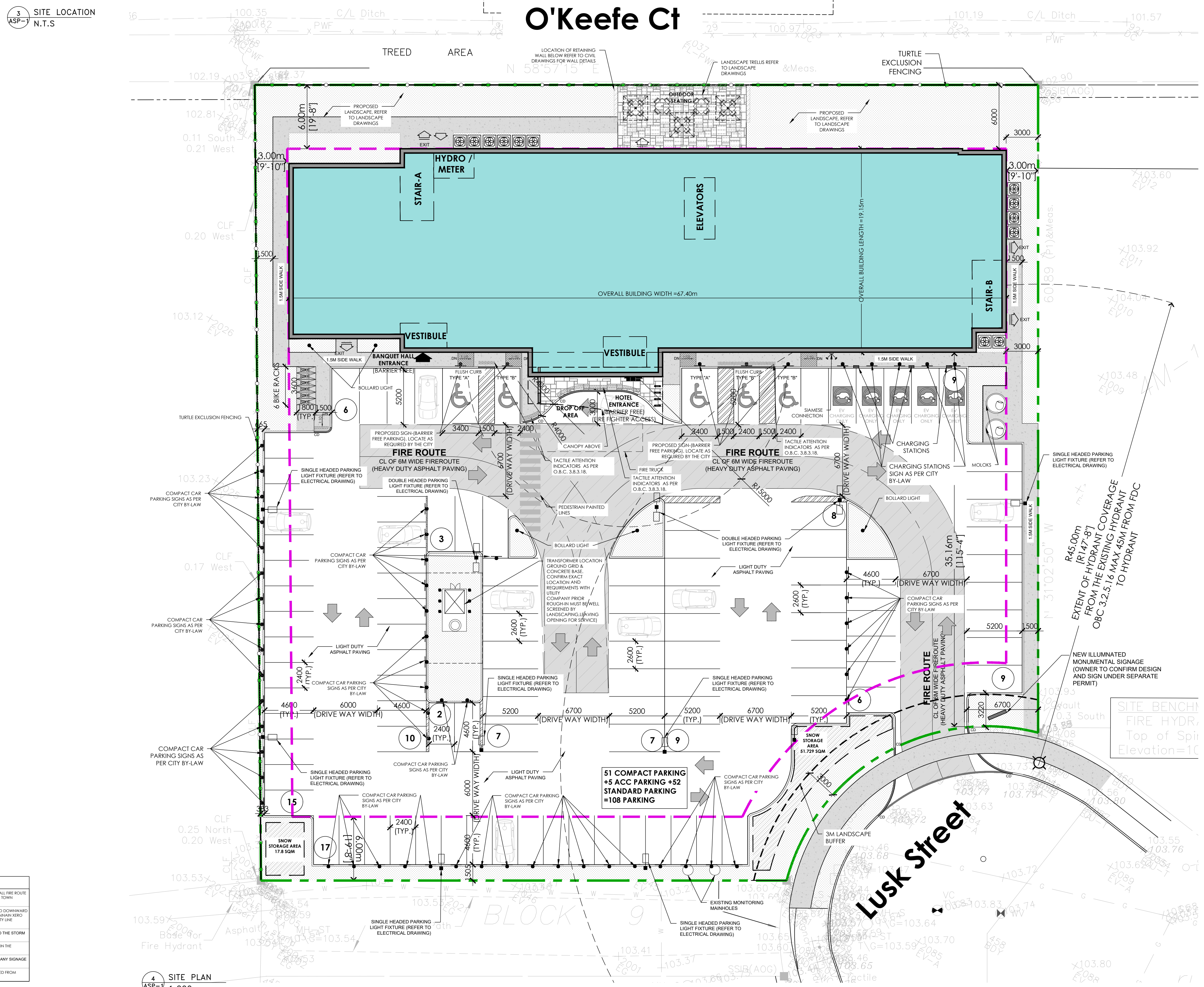
1 SITE STATS
N.T.S.

HOLIDAY INN OTTAWA- ROOM MIX							
	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL	PERCENTAGE	MIX
KING	3	6	6	6	21	24%	32%
ACC KING	1	2	2	2	7	8%	
QQ	0	15	15	15	45	51%	51%
ACC JUNIOR SUITE	0	1	1	0	2	2%	
JUNIOR SUITE	0	4	4	5	15	15%	17%
TOTAL	4	28	28	28	88	100%	100%
TOTAL ACC. ROOMS	1	3	3	2	9	10%	100%

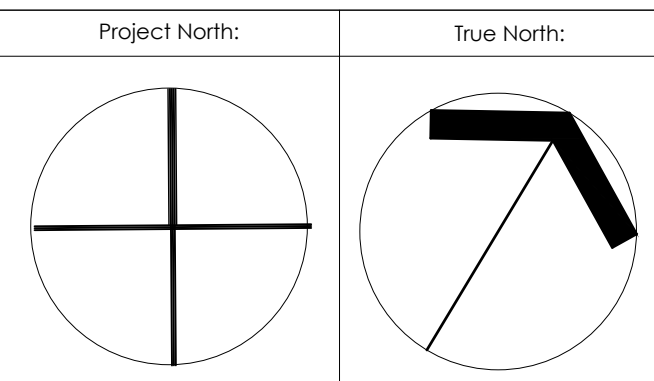
2 ROOM MIX
N.T.S.

SITE PLAN LEGEND	
PROPERTY LINE	RECESSED EXTERIOR LIGHT FIXTURE & SORFT & PROTE COCHERE REFER TO ELECTRICAL DWGS
BUILDING SETBACK LINE	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
LANDSCAPE BUFFER	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)
CURB DEPRESSION	LANDSCAPED AREA
ENTRY/EXIT ACCESS POINTS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
EXTENDING TOWN HYDRANT	STEEL BOLLARD (REFER TO DETAIL XXX)
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS	PARKING COUNT
FIRE DEPARTMENT CONNECTION	FIRS
HOSE BIB (REFER TO MECHANICAL DWGS)	PROPOSED GRADING (REFER TO CIVIL DWGS)
PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)
DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	

CREDIT NOTES:		CREDIT NOTES:	
THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROJECT. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SURVEYED AND SUCH DATA IS NOT INCLUDED UNDER STALLS OF CONSTRUCTION, IF ANY.	TOPO SURVEYORS INFO: ANNIE O'SULLIVAN, VOLLEBECK LTD. 14 CONCOURSE GATE, SUITE 500 MERRIDALE, ONT. L6R 7R4 PHONE: (416) 727-8850 / FAX: (416) 727-0274 EMAIL: NEPAL@MATAJARCHITECTS.COM	1 ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND DISCRETELY AREAS DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE TOWN	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER FREE SIGNS AS SET OUT IN THE TOWN OF OTTAWA DESIGN CRITERIA
LEGAL LAND DESCRIPTION: BLOCK 3 REGISTERED PLAN 4M-1434 CITY OF OTTAWA	2 A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIGNALLS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR PRIOR TO A SETBACK OF 1.0M. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER	6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CURB CUT LIGHT DISTRIBUTION AT THE PROPERTY LINE	7 ALL DOWNSPROUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM
	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.	8 ALL CONCRETE UNITS TO BE SCREENED ON THE GROUND FLOOR	8 ALL CONCRETE UNITS TO BE SCREENED ON THE GROUND FLOOR
	4 ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C.'S.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY
		10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION



4 SITE PLAN
1:200

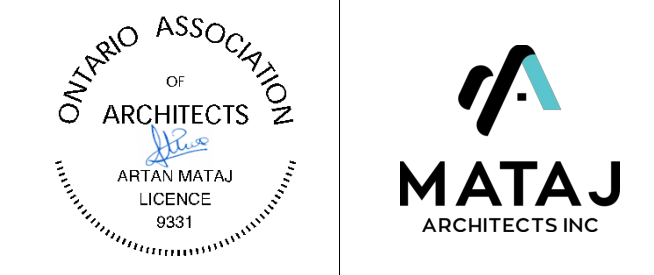


Key Plan:

No.	Date	Issue/Revision	By:
1	2022-12-09	ISSUED FOR SPA	

Drawing Issues/Revisions:

Note:
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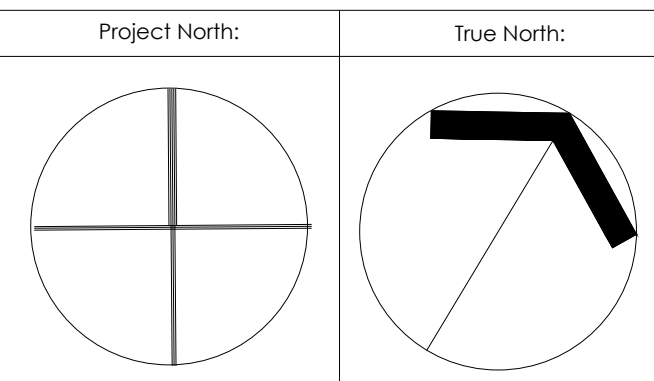
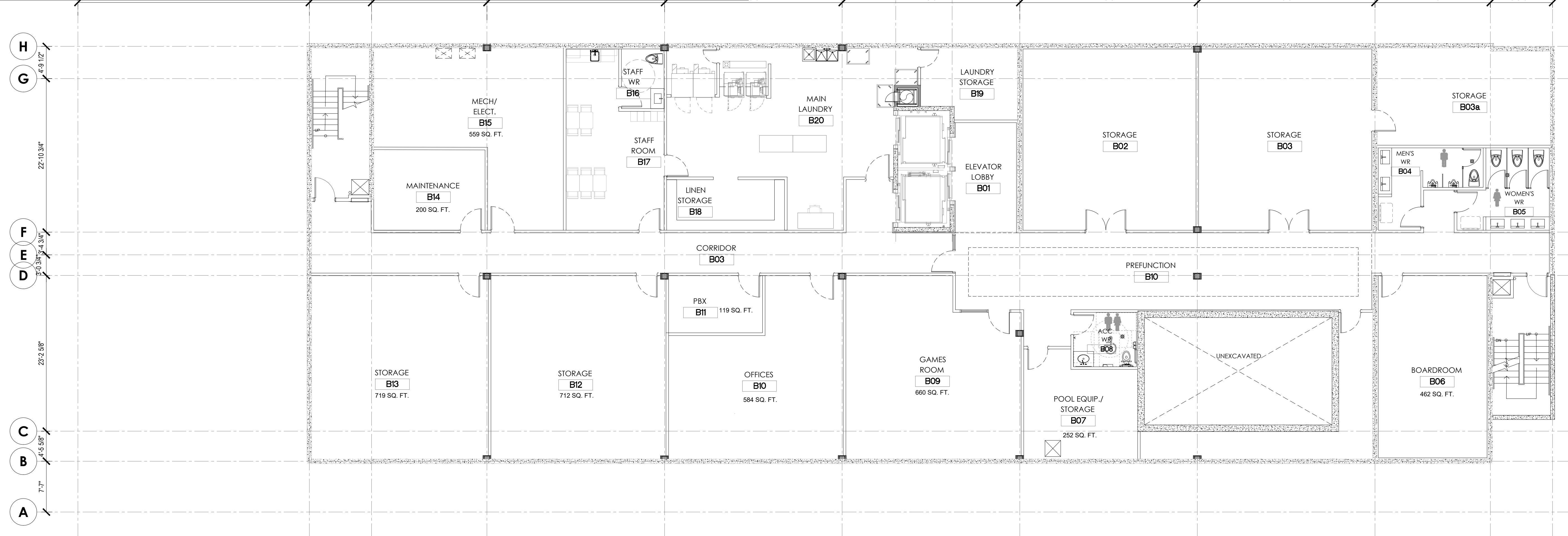
Project:
HOLIDAY INN OTTAWA
140 Lusk St, Ottawa, ON

Sheet Title:
HOLIDAY INN - SITE PLAN

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: AS SHOWN	Date: 22-10-15	Project No.: 22-027
Drawing No.:		
ASP-1		
Drawing Series: ARCHITECTURAL - SPA		

HOLIDAY INN OTTAWA- ROOM MIX

	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL	PERCENTAGAGE	MIX
KING	3	6	6	6	21	24%	32%
ACC KING	1	2	2	2	7	8%	
QQ	0	15	15	15	45	51%	51%
ACC JUNIOR SUITE	0	1	1	0	15	2%	17%
JUNIOR SUITE	0	4	4	5		15%	
TOTAL	4	28	28	28	88	100%	100%
TOTAL ACC. ROOMS	1	3	3	2	9	10%	100%

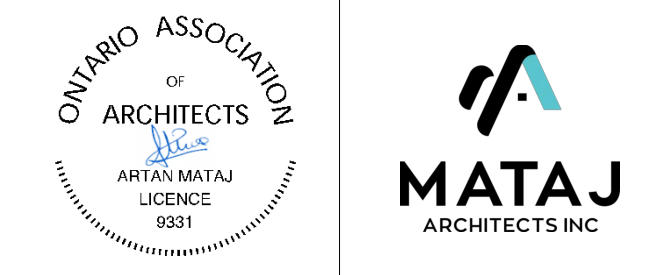


Key Plan:

No.	Date	Issue/Revision	By:
1	2022-12-09	ISSUED FOR SPA	

Drawing Issues/Revisions:

Note:
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Project:
HOLIDAY INN OTTAWA
 140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED BASEMENT FLOOR PLAN

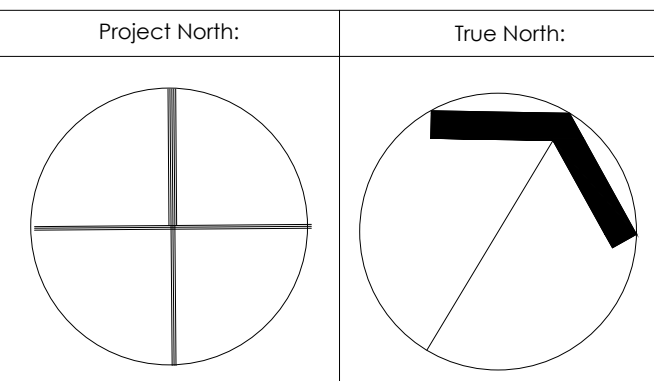
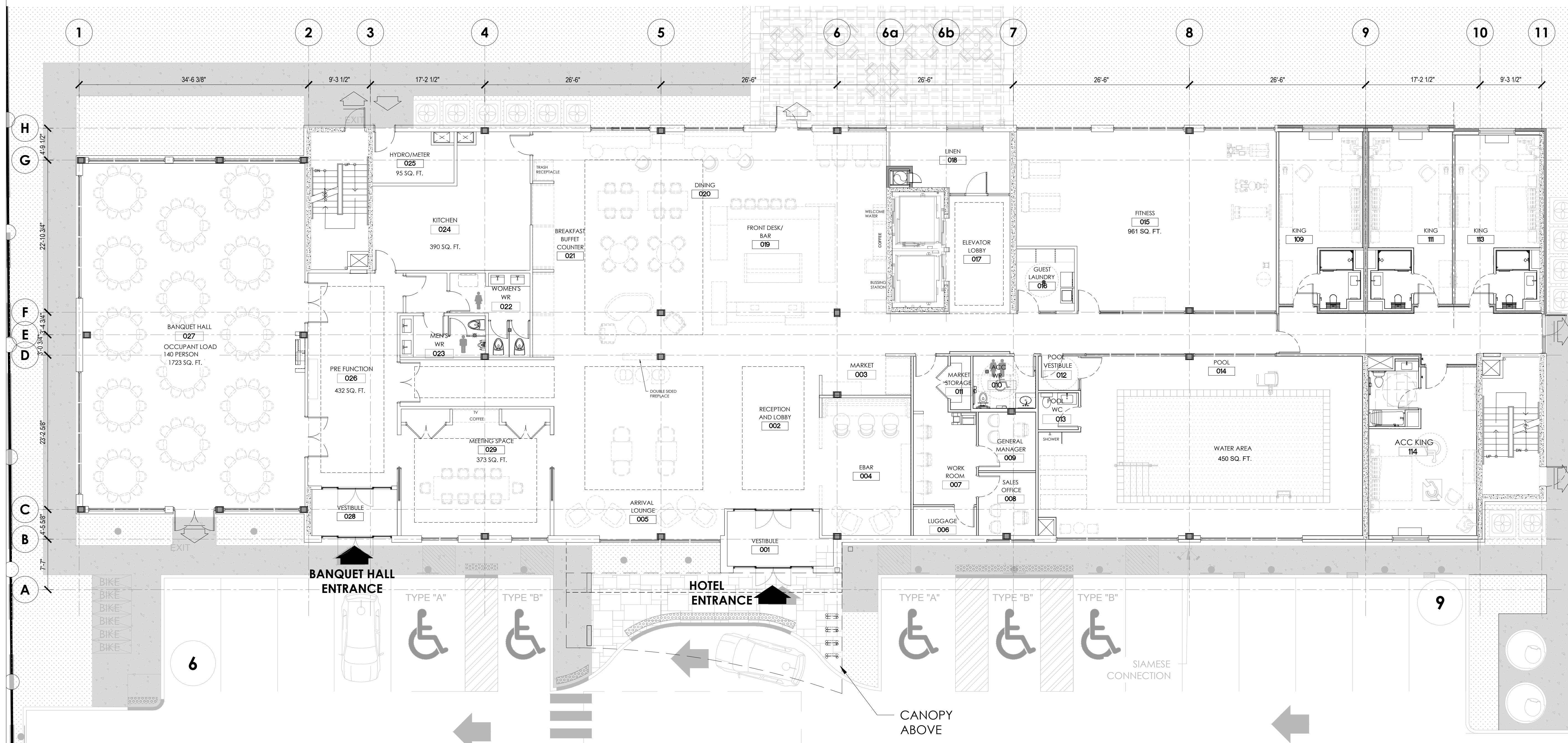
Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No.:
A.201
 Drawing Series:
 ARCHITECTURAL - SPA

1 PROPOSED BASEMENT FLOOR PLAN
 A.201 1/8"=1'-0"

HOLIDAY INN OTTAWA- ROOM MIX

	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL	PERCENTAGAGE	MIX
KING	3	6	6	6	21	24%	32%
ACC KING	1	2	2	2	7	8%	
QQ	0	15	15	15	45	51%	51%
ACC JUNIOR SUITE	0	1	1	0	15	2%	17%
JUNIOR SUITE	0	4	4	5		15%	
TOTAL	4	28	28	28	88	100%	100%
TOTAL ACC. ROOMS	1	3	3	2	9	10%	100%

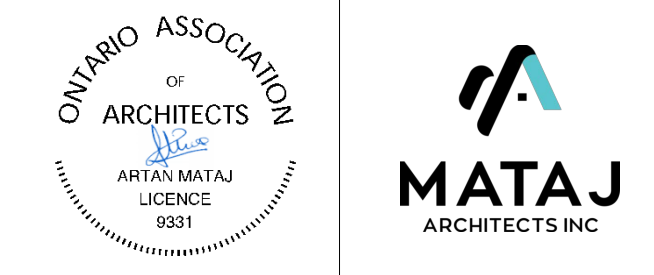


Key Plan:

No.	Date:	Issue/Revision	By:
1	2022-12-09	ISSUED FOR SPA	

Drawing Issues/Revisions:

Note:
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Project:
HOLIDAY INN OTTAWA
 140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED GROUND FLOOR PLAN

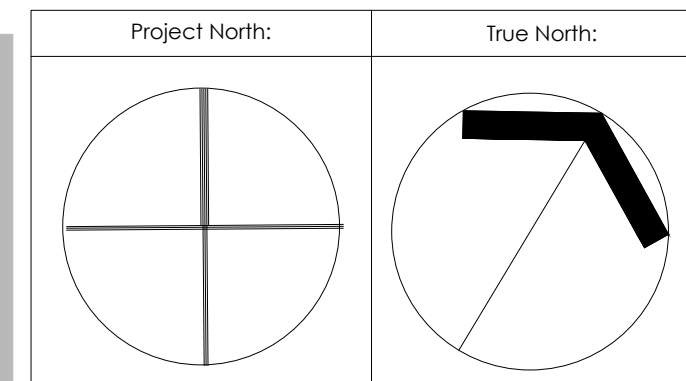
Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No.:
A.202
 Drawing Series:
 ARCHITECTURAL - SPA

1 PROPOSED GROUND FLOOR PLAN
 1/8"=1'-0"

HOLIDAY INN OTTAWA- ROOM MIX

	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL	PERCENTAGE	MIX
KING	3	6	6	6	21	24%	32%
ACC KING	1	2	2	2	7	8%	
QQ	0	15	15	15	45	51%	51%
ACC JUNIOR SUITE	0	1	1	0	15	2%	17%
JUNIOR SUITE	0	4	4	5		15%	
TOTAL	4	28	28	28	88	100%	100%
TOTAL ACC. ROOMS	1	3	3	2	9	10%	100%



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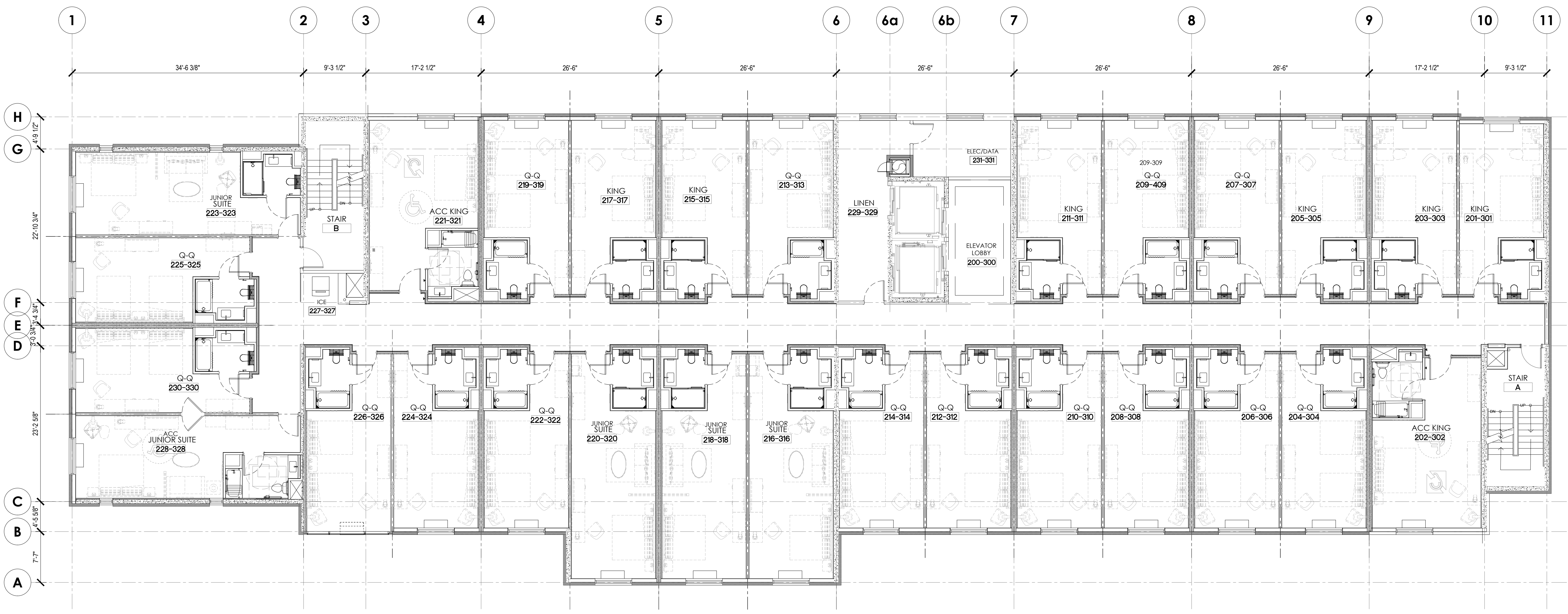
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Project:
HOLIDAY INN OTTAWA
 140 Lusk St, Ottawa, ON

Sheet Title:
**PROPOSED
 2ND & 3RD FLOOR PLAN**

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

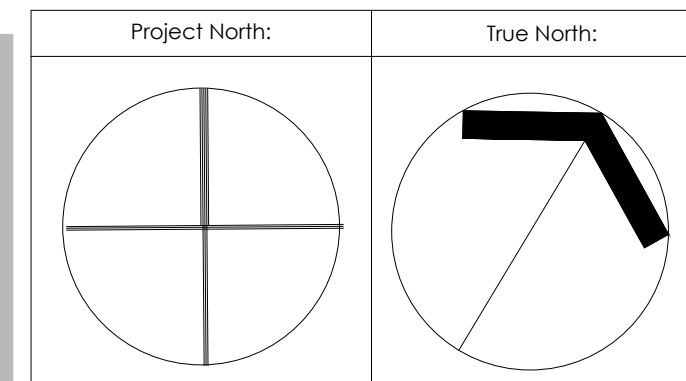
Drawing No.:
A.203
 Drawing Series:
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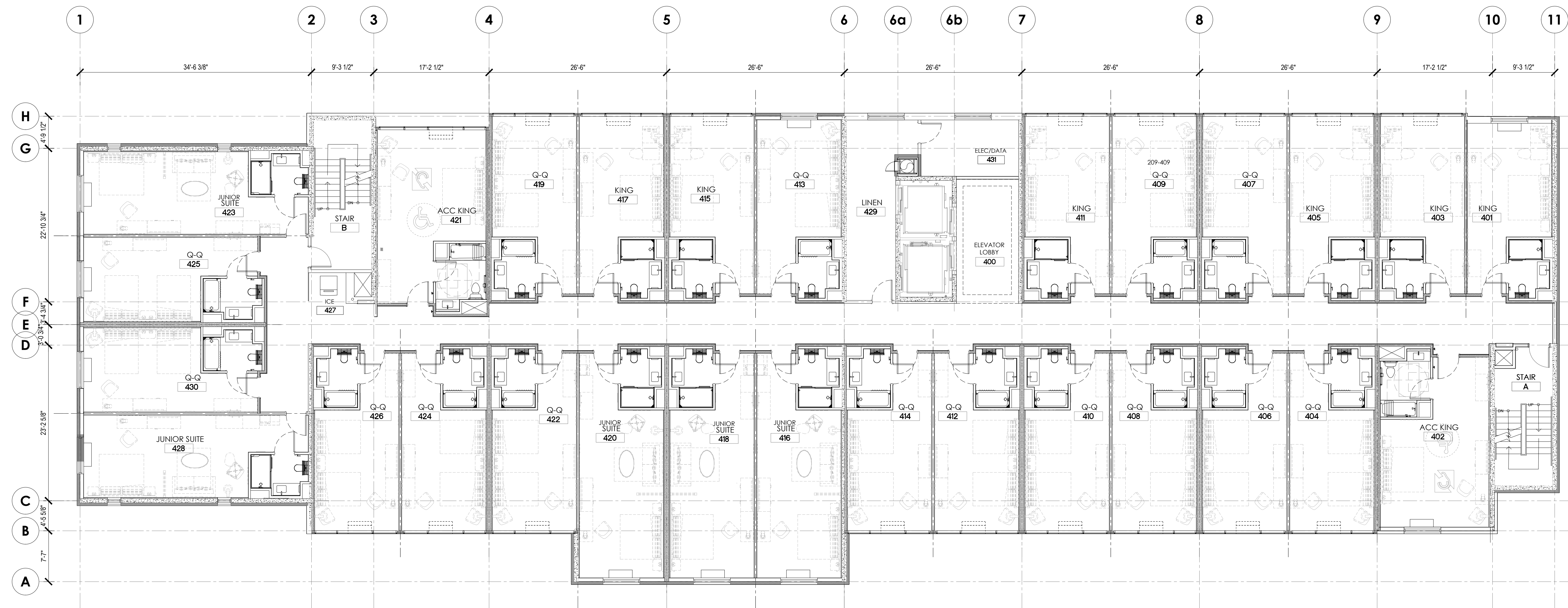
1 PROPOSED 2ND & 3RD FLOOR PLAN
 A.203 1/8"=1'-0"

HOLIDAY INN OTTAWA- ROOM MIX

	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL	PERCENTAGAGE	MIX
KING	3	6	6	6	21	24%	32%
ACC KING	1	2	2	2	7	8%	
QQ	0	15	15	15	45	51%	51%
ACC JUNIOR SUITE	0	1	1	0	15	2%	17%
JUNIOR SUITE	0	4	4	5		15%	
TOTAL	4	28	28	28	88	100%	100%
TOTAL ACC. ROOMS	1	3	3	2	9	10%	100%



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Drawing Issues/Revisions:

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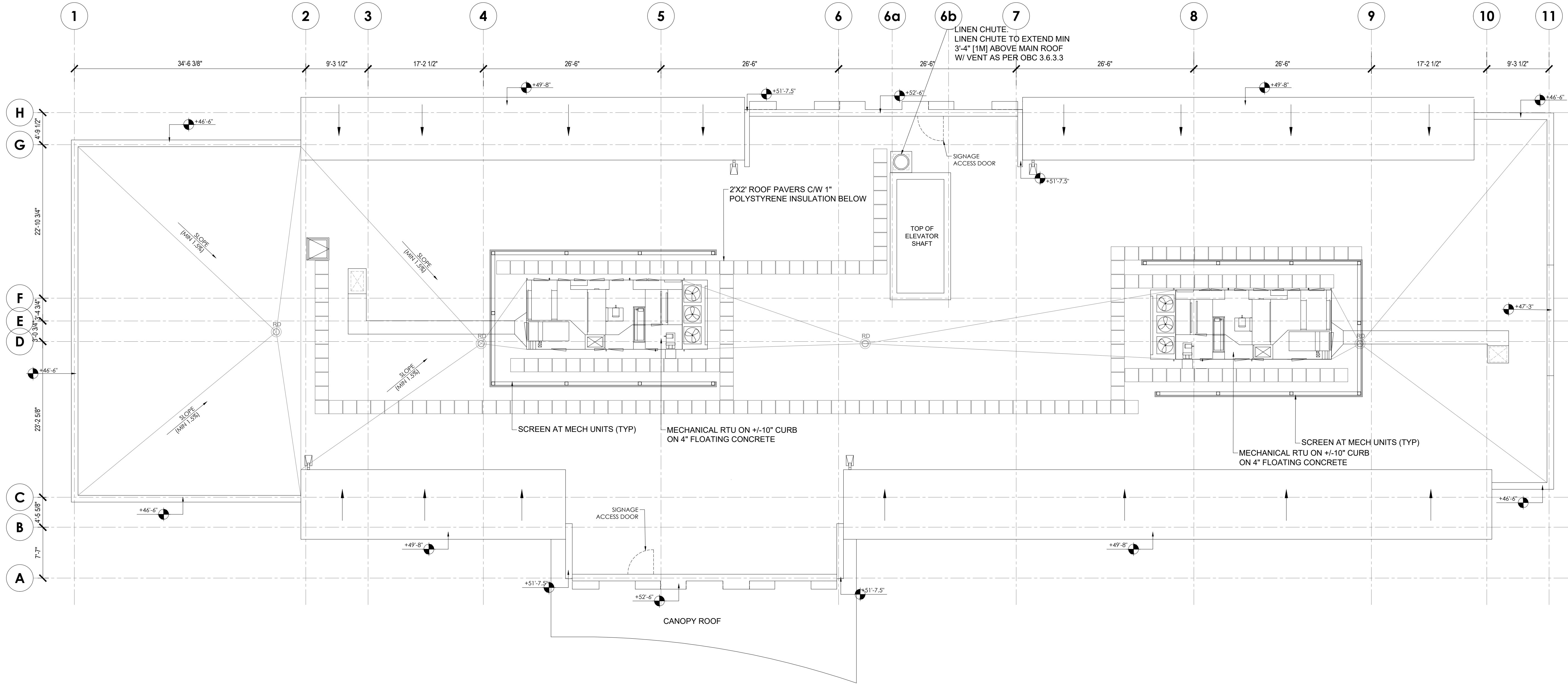
Project:
HOLIDAY INN OTTAWA
 140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED 4TH FLOOR PLAN

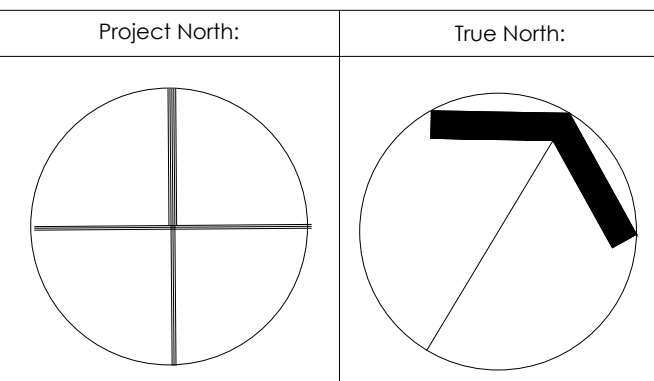
Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No.:
A.204
 Drawing Series:
 ARCHITECTURAL - SPA

1 PROPOSED 4TH FLOOR PLAN
 A.204 1/8"=1'-0"



1 PROPOSED ROOF FLOOR PLAN
 A.205 1/8"=1'-0"

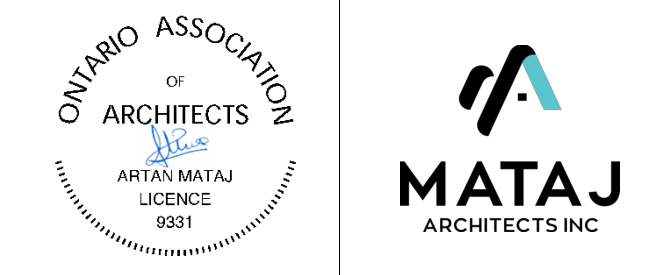


Key Plan:

No.	Date	Issue/Revision	By:
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No.	Date	Issue/Revision	By:

Notes:
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MATAJ ARCHITECTS
 INCORPORATED
 206-418 Incaquois Shore Rd.
 Oakville, Ontario
 L6H 0K7
 T.905.231.4444

Project:
HOLIDAY INN OTTAWA
 140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED ROOF FLOOR PLAN

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No.:
A.205
 Drawing Series:
 ARCHITECTURAL - SPA



Key Plan:

2	2022-12-09	ISSUED FOR SPA	
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No. Date: Issue/Revision By:

Drawing Issues/Revisions:

Note:
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Oakville, Ontario
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1.905.281.4444

Project:
HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:

3D RENDER - DAY TIME

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
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Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027
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Drawing No:

A.300

Drawing Series:
ARCHITECTURAL - SPA

EXTERIOR FINISH SCHEDULE			
	MATERIAL/FINISH	COLOR	NOTES
EIFS			
1	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BLACK	
2	EIFS BY CORNERPOINT OR EQUIVALENT, SANDSTONE FINISH	BM, KENDALL CHARCOAL HC-166	
3	WOOD VENEER & EPOXY OVER EIFS SYSTEM, BY CORNER POINT	TIMBER TEAK EQUIVALENT	
4	EIFS BY CORNERPOINT OR EQUIVALENT, GEMSTONE FINISH	BLACK, MAINE	
5	EIFS BY CORNERPOINT OR EQUIVALENT, METALLIC FINISH	WHITE DOVE, BM OC 151	
6	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	WHITE DOVE, BM OC 151	
7	EIFS PANEL BY DURABOND OR EQUIVALENT, SANDSTONE FINISH	BM, MOZART BLUE 1665	
8	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH METALLIC FINISH	BM, FIELD STONE 1558	
9	EIFS 3/4" REVEAL		
10	EXTERIOR GRADE PAINT ON 3" DIAMETER GALVANIZED STEEL COLUMNS, MATTE FINISH	WHITE	
11	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BM, Classic Burgundy HC-182	
12	STAC-BOND ALUMINUM COMPOSITE PANEL, NATURAL MIRROR FINISH	STB-M01	
LIGHTING			
20	2 LINEAR WHITE STRIPS WITH LENS ON A DIMMER	3000 K	
21	4" X 4" LED LIGHT	3000 K, WHITE LENS	
22	DECORATIVE WALL SCONCE	3000 K	
23	ILLUMINATED SIGNAGE		
24	3x12 SS LED SURFACE MOUNTED DOWNLIGHT	3000 K	

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00 (6" EIFS)
B	+6" PROJECTING FROM 'A' PLANE
C	-1" RECESSED FROM 'A' PLANE
D	-2" RECESSED FROM 'A' PLANE
E	-3" RECESSED FROM 'A' PLANE
F	-4" RECESSED FROM 'A' PLANE

GENERAL NOTES:

- ALL GRILLS IN EXTERIOR ELEVATION PAINTED TO MATCH ADJACENT COLOR.
- SAMPLES OF ALL EXTERIOR FINISHES AND COLORS SHOULD BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION
- CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLORS.
- FOR FIELD APPLIED EIFS, CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS IT PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR



Key Plan:



No.	Date:	Issue/Revision	By:
2	2022-12-09	ISSUED FOR SPA	
1	2022-10-25	ISSUED FOR MINOR VARIANCE SUB.	

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

Note:
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Project:
HOLIDAY INN OTTAWA
 140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED SOUTH ELEVATION

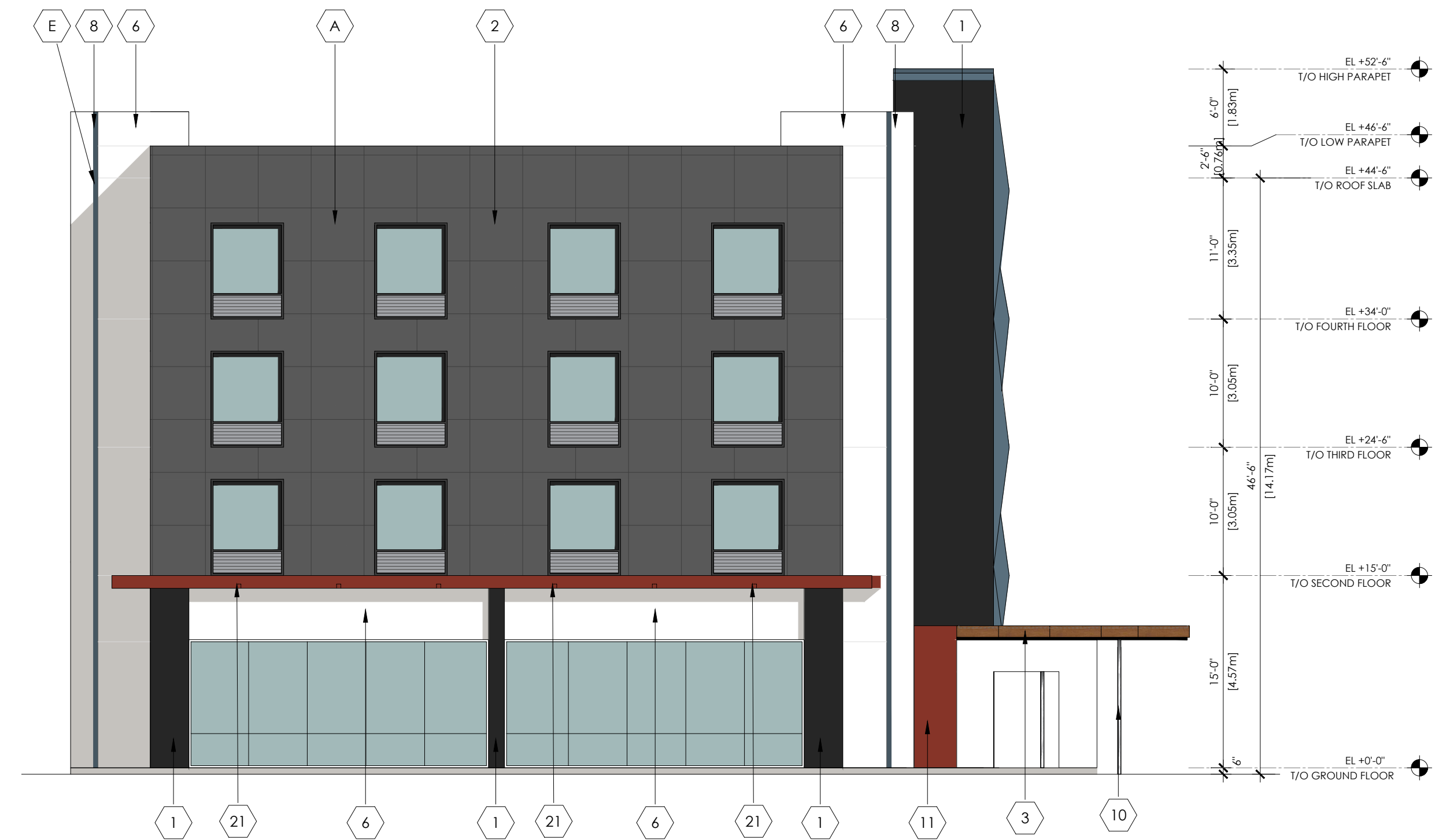
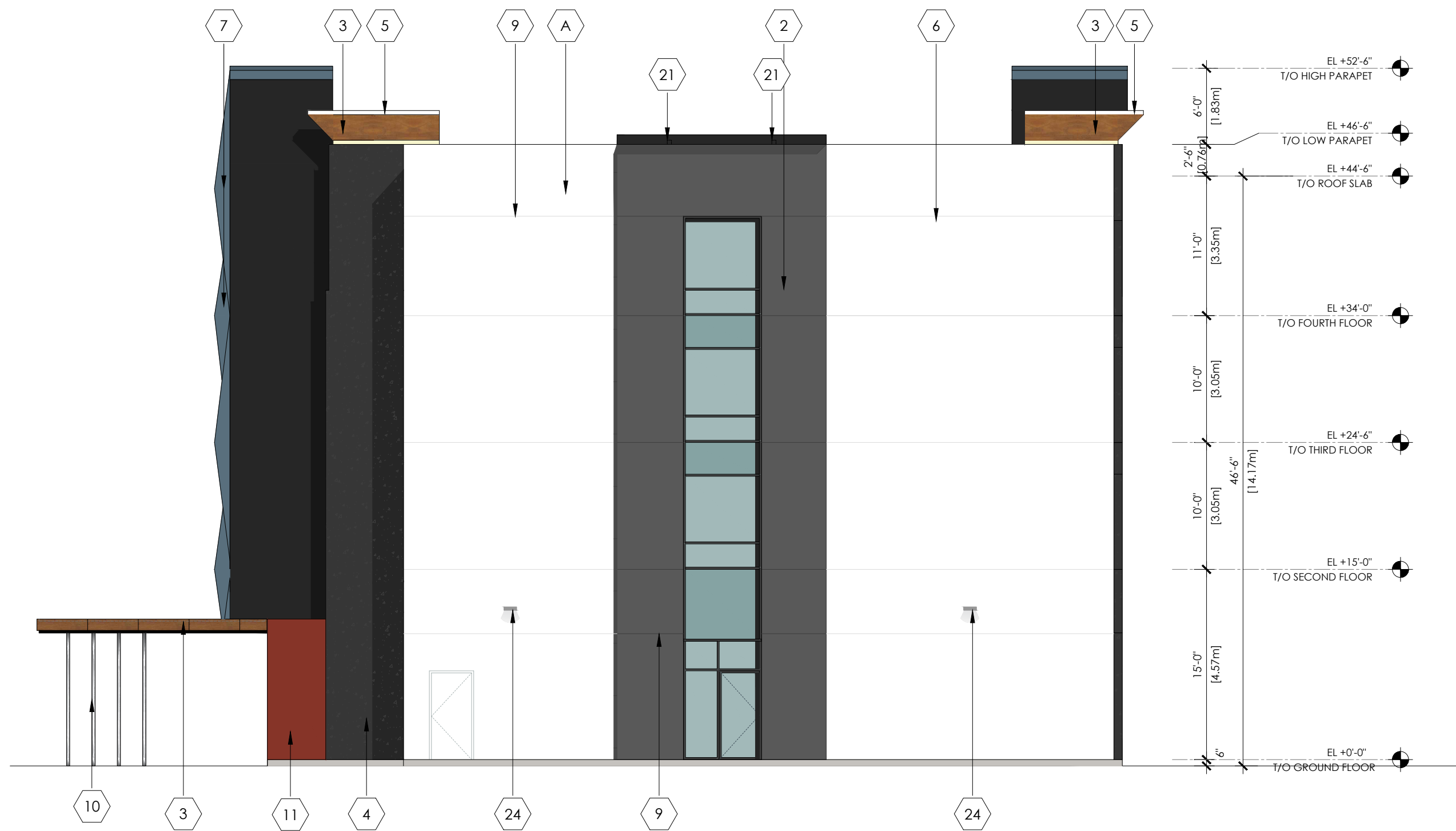
Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.301
 Drawing Series:
 ARCHITECTURAL - SPA

EXTERIOR FINISH SCHEDULE			
	MATERIAL/FINISH	COLOR	NOTES
EIFS			
1	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BLACK	
2	EIFS BY CORNERPOINT OR EQUIVALENT, SANDSTONE FINISH	BM, KENDALL CHARCOAL HC-166	
3	WOOD VENEER & EPOXY OVER EIFS SYSTEM, BY CORNER POINT	TIMBER TEAK EQUIVALENT	
4	EIFS BY CORNERPOINT OR EQUIVALENT, GEMSTONE FINISH	BLACK MAINE	
5	EIFS BY CORNERPOINT OR EQUIVALENT, METALLIC FINISH	WHITE DOVE, BM OC 151	
6	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	WHITE DOVE, BM OC 151	
7	EIFS PANEL BY DURABOND OR EQUIVALENT, SANDSTONE FINISH	BM, MOZART BLUE 1665	
8	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH METALLIC FINISH	BM, FIELD STONE 1558	
9	EIFS 3/4" REVEAL		
10	EXTERIOR GRADE PAINT ON 3" DIAMETER GALVANIZED STEEL COLUMNS, MATTE FINISH	WHITE	
11	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BM, Classic Burgundy HC-182	
12	STAC-BOND ALUMINUM COMPOSITE PANEL, NATURAL MIRROR FINISH	STB-M01	
LIGHTING			
20	2 LINEAR WHITE STRIPS WITH LENS ON A DIMMER	3000 K	
21	4" X 4" LED LIGHT	3000 K, WHITE LENS	
22	DECORATIVE WALL SCONCE	3000 K	
23	ILLUMINATED SIGNAGE		
24	3x12 SS LED SURFACE MOUNTED DOWNLIGHT	3000 K	

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00 (6" EIFS)
B	+6" PROJECTING FROM 'A' PLANE
C	-1" RECESSED FROM 'A' PLANE
D	-2" RECESSED FROM 'A' PLANE
E	-3" RECESSED FROM 'A' PLANE
F	-4" RECESSED FROM 'A' PLANE

- GENERAL NOTES:**
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 - SAMPLES OF ALL EXTERIOR FINISHES AND COLORS SHOULD BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION
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 - FOR FIELD APPLIED EIFS, CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS IT PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR



Key Plan:

No.	Date:	Issue/Revision	By:
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Project:
HOLIDAY INN OTTAWA
140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED EAST & WEST ELEVATIONS

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.302
 Drawing Series:
 ARCHITECTURAL - SPA

EXTERIOR FINISH SCHEDULE			
	MATERIAL/FINISH	COLOR	NOTES
EIFS			
1	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BLACK	
2	EIFS BY CORNERPOINT OR EQUIVALENT, SANDSTONE FINISH	BM, KENDALL CHARCOAL HC-166	
3	WOOD VENEER & EPOXY OVER EIFS SYSTEM, BY CORNER POINT	TIMBER TEAK EQUIVALENT	
4	EIFS BY CORNERPOINT OR EQUIVALENT, GEMSTONE FINISH	BLACK MAINE	
5	EIFS BY CORNERPOINT OR EQUIVALENT, METALLIC FINISH	WHITE DOVE, BM OC 151	
6	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	WHITE DOVE, BM OC 151	
7	EIFS PANEL BY DURABOND OR EQUIVALENT, SANDSTONE FINISH	BM, MOZART BLUE 1665	
8	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH METALLIC FINISH	BM, FIELD STONE 1558	
9	EIFS 3/4" REVEAL		
10	EXTERIOR GRADE PAINT ON 3" DIAMETER GALVANIZED STEEL COLUMNS, MATTE FINISH	WHITE	
11	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BM, Classic Burgundy HC-182	
12	STAC-BOND ALUMINUM COMPOSITE PANEL, NATURAL MIRROR FINISH	STB-M01	
LIGHTING			
20	2 LINEAR WHITE STRIPS WITH LENS ON A DIMMER	3000 K	
21	4" X 4" LED LIGHT	3000 K, WHITE LENS	
22	DECORATIVE WALL SCONCE	3000 K	
23	ILLUMINATED SIGNAGE		
24	3x12 SS LED SURFACE MOUNTED DOWNLIGHT	3000 K	

SPECIAL INSTRUCTIONS	
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C	-1" RECESSED FROM 'A' PLANE
D	-2" RECESSED FROM 'A' PLANE
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F	-4" RECESSED FROM 'A' PLANE

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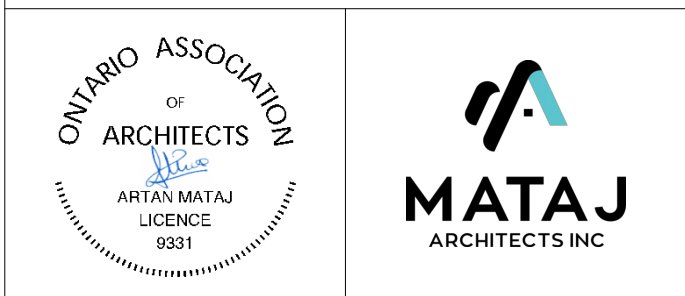


Key Plan:

No.	Date:	Issue/Revision	By:
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1	2022-10-25	ISSUED FOR MINOR VARIANCE SUB.	

Drawing Issues/Revisions:

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Project:
HOLIDAY INN OTTAWA
140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED NORTH ELEVATION

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.303

Drawing Series:
 ARCHITECTURAL - SPA