

6				
5				
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2				
1	ISSUED FOR REVISED SPA	2022/10/12	DB	

NUMBER	MILESTONE / FAT SALLANT	DATE	TIME (AMM)	INITIALS
REVISION BY / COUPLER				
RL		DB		
DRAWN BY / DESSINE PAR		SCALE / ÉCHELLE		
AM		1:250		

DETAIL NUMBER	DRAWING TITLE	SHEET NUMBER
1	A1.1	

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ARCHITECT / ARCHITECTE
Ontario Association of Architects
Lisa Stern
Licence 3049

CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT
FIRE STATION 45
1075 MARCH ROAD
OTTAWA, ONTARIO

DRAWING / DESSIN
**ARCHITECTURAL SITE PLAN
INTERIM CONDITION**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ
BUILDING NUMBER / NUMÉRO DU BÂTIMENT
BE 3098 PR 10000 BU 1000

SHEET NO. / FEUILLE NO.
A1.2

CITY PROJECT NO.
CR013392

CONS. PROJECT NO.
2206

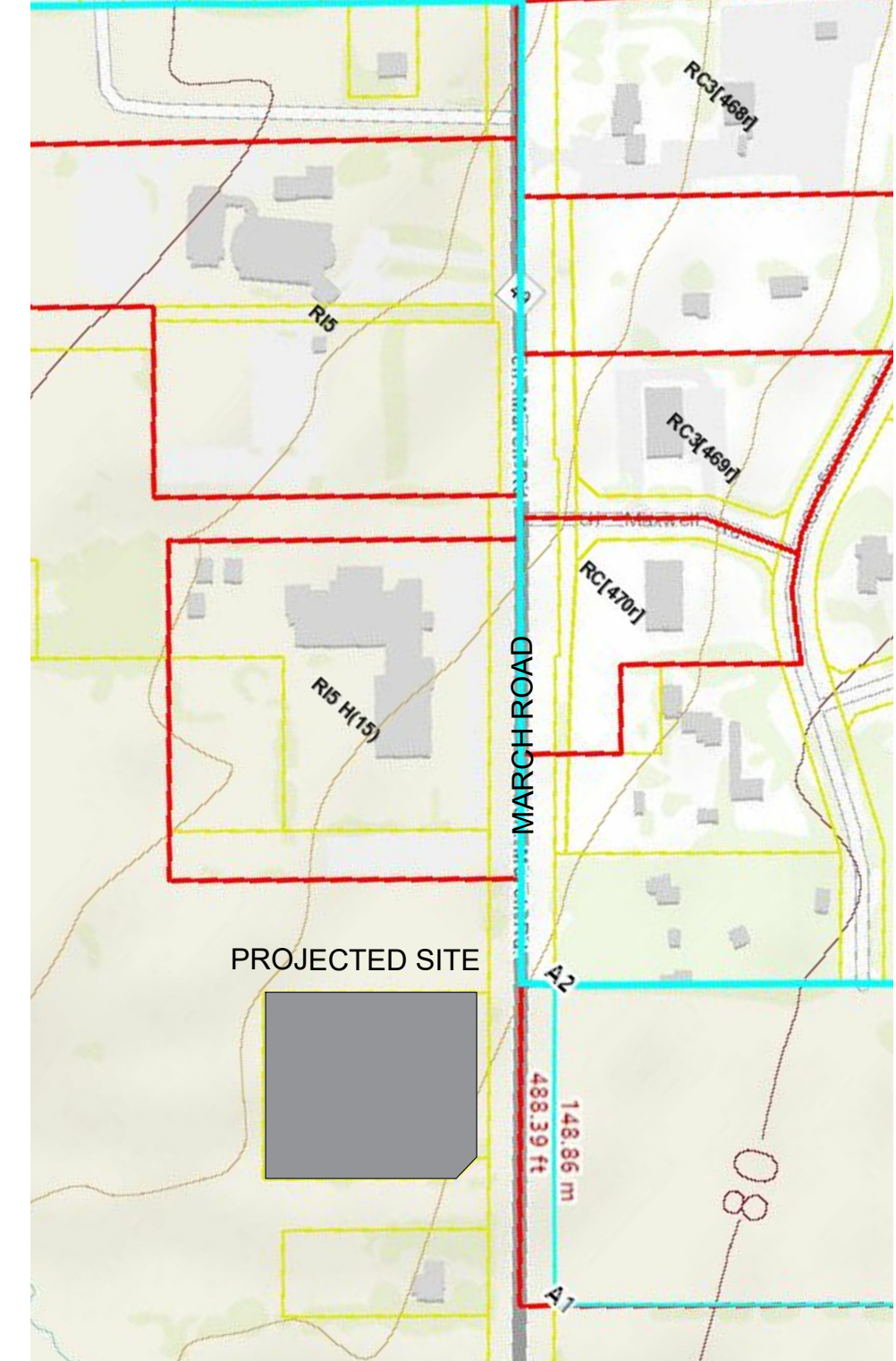
PLAN # 18766

AS PER CITY OF OTTAWA NO SMOKING POLICY, THERE SHALL BE NO SMOKING ON THE PROPERTY AT ANY TIME. NO SMOKING IS PERMITTED DURING THE CONSTRUCTION AND AFTER COMPLETION OF THE WORK.

SCALE
0m 5 10 15
SCALE 1 : 200

LEGEND

- PROPOSED BUILDING
- EXISTING BUILDINGS TO REMAIN
- PROPERTY LINE
- SETBACK
- DEPRESSED CURB DETAIL TO CITY OF OTTAWA STANDARD SC-7
- BUILDING ENTRANCE/EXIT
- ACCESSIBLE PARKING VERTICAL SIGNAGE
- NO PARKING VERTICAL SIGNAGE
- PROPOSED FENCE
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED WALL MOUNTED LIGHT
- PROPOSED LIGHT POLE
- PROPOSED RECESSED DOWN LIGHT
- LIGHT STANDARD
- PROPOSED EXT. LIGHT POLE
- PROPOSED CATCH BASIN MANHOLE
- PROPOSED CATCH BASIN



SITE DATA
LEGAL DESCRIPTION:
PART 1 PLAN 4R-53315
PIN 04526-1644

CIVIL ADDRESS:
1075 MARCH ROAD

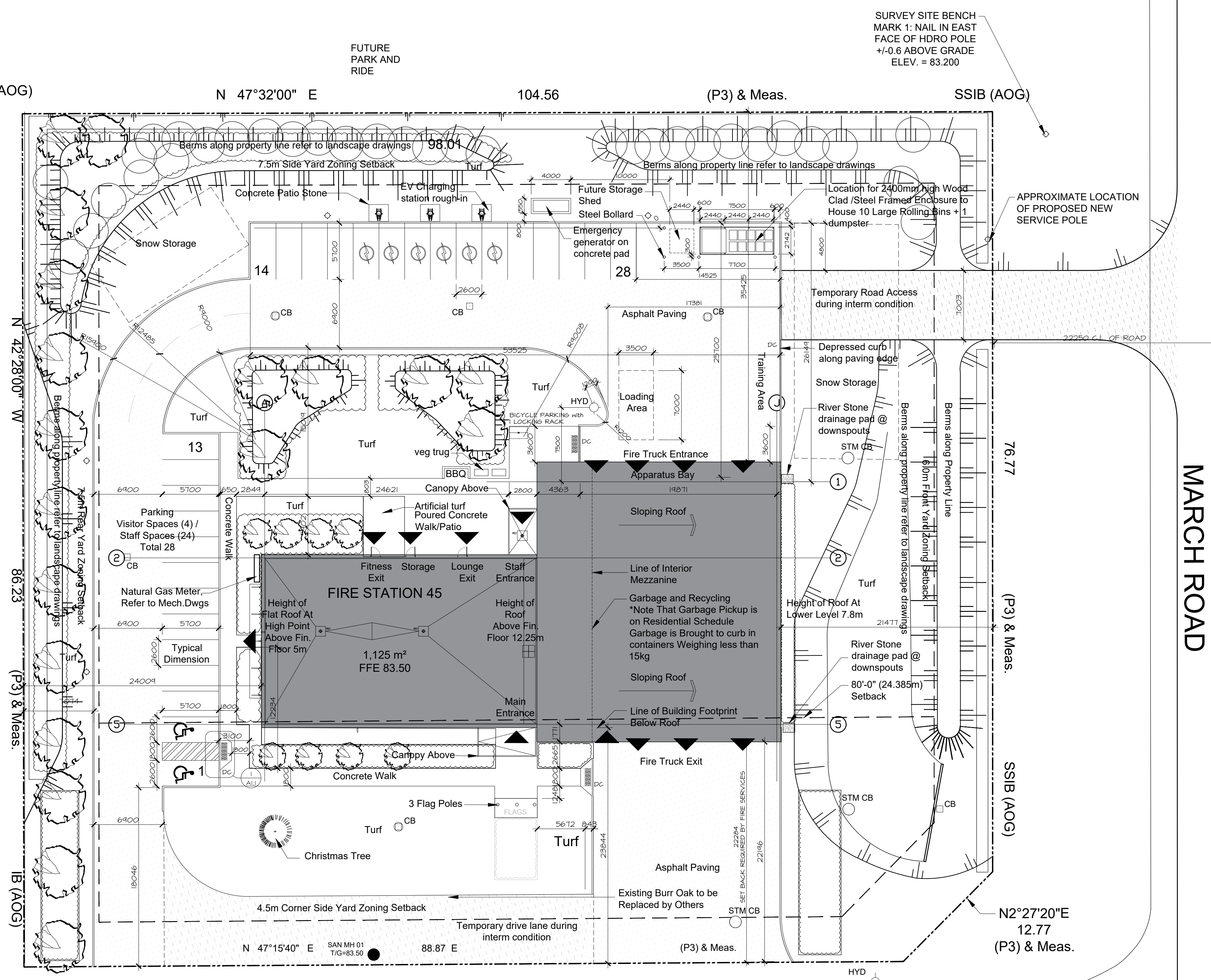
ZONING NOTES:
OFFICIAL PLAN DESIGNATION: GENERAL URBAN AREA
ZONING: I1A MINOR INSTITUTIONAL PENDING
ABUTTING ZONES: NORTH - RU PENDING
EAST - RU(14r)
SOUTH - RU PENDING
WEST - RU PENDING

BUILDING AREA: 1,125m²

PROJECT STATS

	REQUIRED	PROVIDED
LOT AREA	Min 400m ²	6307.2m ²
LOT FRONTAGE (MARCH ROAD)	Min. 15m	76.71m
FRONT YARD SETBACK (MARCH ROAD)	6.0m	21.40m
INTERIOR YARD SETBACK (SOUTH)	4.5m	22.2m
INTERIOR YARD SETBACK (NORTH)	7.5m	35.43m
REAR YARD SETBACK (WEST)	7.5m	24m
BUILDING HEIGHT	15m	12.25m
MAX. LOT COVERAGE	N/A	N/A
MIN. WIDTH LANDSCAPING ABUTTING STREET	3m	10m
MIN. WIDTH LANDSCAPING AROUND PARKING	1.5m	7.1m
MIN. LANDSCAPED AREA - PARKING = 15%	240m ²	4648m ²
PARKING - EMERGENCY SERVICE	12	24
RATE: 1/100m ² BLDG AREA: 1,125m ²	(1/100)	(2/13/100)
VISITOR PARKING	0	4
TOTAL PARKING	11	28
BIKE PARKING (1/100m ² GROSS FLR. AREA)	12	12
LOADING SPACE (MIN 3.5m W X 7m L)	1	1

PLEASE REFER TO LANDSCAPE PLAN FOR PAVING, PLANTING, AND SITE LIGHTING INFO
PLEASE REFER TO SITE SERVICING AND GRADING PLAN FOR GRADING INFORMATION



Lisa Stern

LISA STERN
PLANNER
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Lisa Stern at 12:16 pm, Dec 21, 2022

ADJACENT UN-DEVELOPED LANDS
FUTURE PARK AND RIDE

IB (AOG)

N 47°32'00" E

104.56

(P3) & Meas.

SSIB (AOG)

MARCH ROAD

(P3) & Meas.

SSIB (AOG)

N2°27'20"E
12.77
(P3) & Meas.

FUTURE PARK AND RIDE

SURVEY SITE BENCH
MARK 1: NAIL IN EAST
FACE OF HDRO POLE
+/-0.6 ABOVE GRADE
ELEV. = 83.200

APPROXIMATE LOCATION
OF PROPOSED NEW
SERVICE POLE

IB (AOG)

N 47°15'40" E

SAN MH 01
TIG-83.50

88.87 E

(P3) & Meas.