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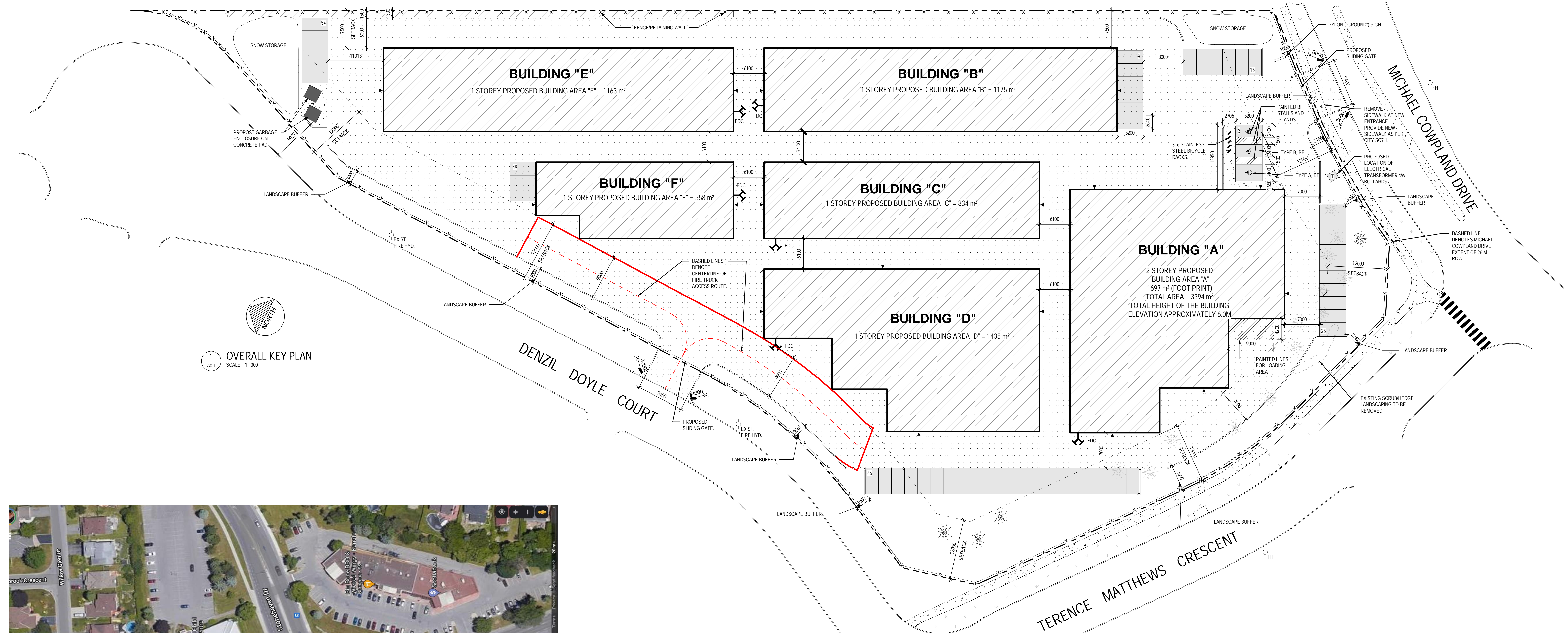
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TYPICAL SITE NOTES

- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACTOR ADMINISTRATOR PRIOR TO CONSTRUCTION.
- LAYOUT TO BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS.
- ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, REMOVALS, DISPOSALS AND ROUGH GRADING AS REQUIRED TO CONSTRUCTION ALL WORKS AS SHOWN ON ALL PLANS, DETAILS AND SPECIFICATIONS.
- LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL EXISTING ROADS, SIDEWALKS, CURBS, FENCING, PAVING, SLOTTED AREAS, AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CONTRACT ADMINISTRATOR'S APPROVAL AT THE CONTRACTOR'S OWN COSTS.
- ALL EXISTING TREES, SHRUB BEDS, MULCH BEDS, AND SOIL TO REMAIN TO BE PROTECTED DURING CONSTRUCTION. AREAS DAMAGED DURING CONSTRUCTION TO BE REPAIRED TO CONTRACT ADMINISTRATOR'S APPROVAL AT THE CONTRACTOR'S OWN COST.
- USE SPECIFIED BACKFILL IN ALL TRENCHES RUNNING BELOW ALL STRUCTURES, PAVING, WALKWAYS, ETC.
- FILL ALL HOLES AND LOW AREAS TO DESIGN SUBGRADE WITH COMPACTED FILL SUITABLE TO SURFACE FINISH. FOR SLOTTED/PLANTED AREAS USE COMPACTED CLEAN EARTH FILL SUITABLE FOR PLANT GROWTH. FOR PAVED AREAS USE COMPACTED GRANULAR BASE.
- ALL TREES WITHIN OR IMMEDIATELY ADJACENT TO AREA OF WORK TO BE PROTECTED TO CITY OF OTTAWA TREE PROTECTION STANDARDS.

ONTARIO BUILDING CODE

- SITE PLAN DESIGN IS BASED ON SECTION 3.10. SELF-SERVICE STORAGE BUILDINGS.
- OCCUPANCY CLASSIFICATION IS F-2. ALL BUILDINGS ARE SPRINKLERED. OCCUPANT LOAD DOES NOT APPLY.
- SPATIAL SEPARATIONS DOES NOT APPLY BETWEEN BUILDINGS AS PER OBC 3.10.4.3 (4). THE DISTANCE BETWEEN INDIVIDUAL BUILDINGS SHALL NOT BE LESS THAN 6M.
- PER OBC 3.10. PROVISIONS FOR FIRE FIGHTING MEETS 9M WIDE ACCESS ROUTE AND UNOBSTRUCTED PATH OF TRAVEL FOR THE FIRE FIGHTER FROM THE VEHICLE TO THE FIRE DEPARTMENT CONNECTION (FDC) OF MAX. 45M.

ZONING

60 Denzil Doyle Court
 SITE INFORMATION
 Legal Description: Part of Lot 31, Concession 10, Geographic Township of Goulbourn, City of Ottawa
 Municipal Address: 60 Denzil Doyle Court, Kanata, ON
 Site Area: 16,575 m² (178,411.8 B2)
 Building Area: Existing: N/A, Proposed: 8,557 m² (92,106.8 B2)
 ZONING INFORMATION:
 Zoning: Business Park Industrial, Subzone 4 - Kanata South Business Park (IP4)
 Lot Coverage (Sec 205, Table 205(i)): Required 55% (maximum) Proposed 41%
 Building Height (Sec 205, Table 205(b)): Required 22 m (maximum) Proposed 6.6 m
 Floor Space Index (Sec 205, Table 205(g)): Required 2 (maximum) Proposed 0.5
 Required Yards (Sec 206, Table 206):
 Min. Front Yard Building A - 12 (12 m required)
 Min. Interior Side Yard Buildings B and E - 7.5 m (7.5 m required)
 Min. Rear Side Yard: 12 m (7.5 m required)

SITE PLAN SYMBOLS LEGEND

- ENTRANCE
- PROPERTY LINE
- FIRE HYDRANT
- SIDEWALK/CONCRETE SURFACE
- SETBACK LINE
- GRASS
- FENCE LINE
- LANDSCAPING
- ASPHALT
- PAINTED LINES
- PADMOUNT TRANSFORMER BY HYDRO OTTAWA. PROVIDE TRANSFORMER BASE TO HYDRO OTTAWA STANDARDS. PRECAST TRANSFORMER BASE AND BOLLARDS BY GENERAL CONTRACTOR. REFER TO HYDRO OTTAWA STANDARD DETAILS UFS0001, UFS0002 AND UFS008.
- BOLLARD
- DOTES TREE TO BE REMOVED
- DOTES TREE TO REMAIN

LOT DISCRPTION

TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1 Plan of PART OF LOT 31 CONCESSION 10 GEOGRAPHIC TOWNSHIP OF GOULBOURN CITY OF OTTAWA Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

PARKING
 ZONING REQUIREMENTS:
 WAREHOUSE: 0.8 PER 100M² FOR THE FIRST 5,000 M² OF GFA, AND 0.4 PER 100 M² ABOVE 5,000 M² OF GFA
 TOTAL PROPOSED GFA = 8557 M²
 ±0.4 (3527 M² / 100 M²) = 40 PARKING STALLS
 ±0.4 (3527 M² / 100 M²) = 14 PARKING STALLS
 TOTAL PARKING STALLS REQUIRED = 54
 FDC - APPROXIMATE LOCATION OF FIRE DEPARTMENT CONNECTION ON BUILDING

SITE SUMMARY

EXISTING LOT AREA 16575 SQ.M
 PROPOSED BUILDING "A" 3394 SQ.M
 PROPOSED BUILDING "B" 1175 SQ.M
 PROPOSED BUILDING "C" 834 SQ.M
 PROPOSED BUILDING "D" 1435 SQ.M
 PROPOSED BUILDING "E" 1163 SQ.M
 PROPOSED BUILDING "F" 558 SQ.M
 TOTAL PROPOSED G.F.A. 8557 SQ.M
 LOT COVERAGE (8557-1687 BLDG "A")/16860 41% PROPOSED
 THE MAXIMUM PERMITTED LOT COVERAGE IS 55% AS PER TABLE 205(C)

ARCHITECTURAL

GENERAL SITE PLAN

PROJECT NO: 219-00063-11
 DRAWING NO: As Indicated
 SHEET NO: A0.1
 DATE: 2022-12-12