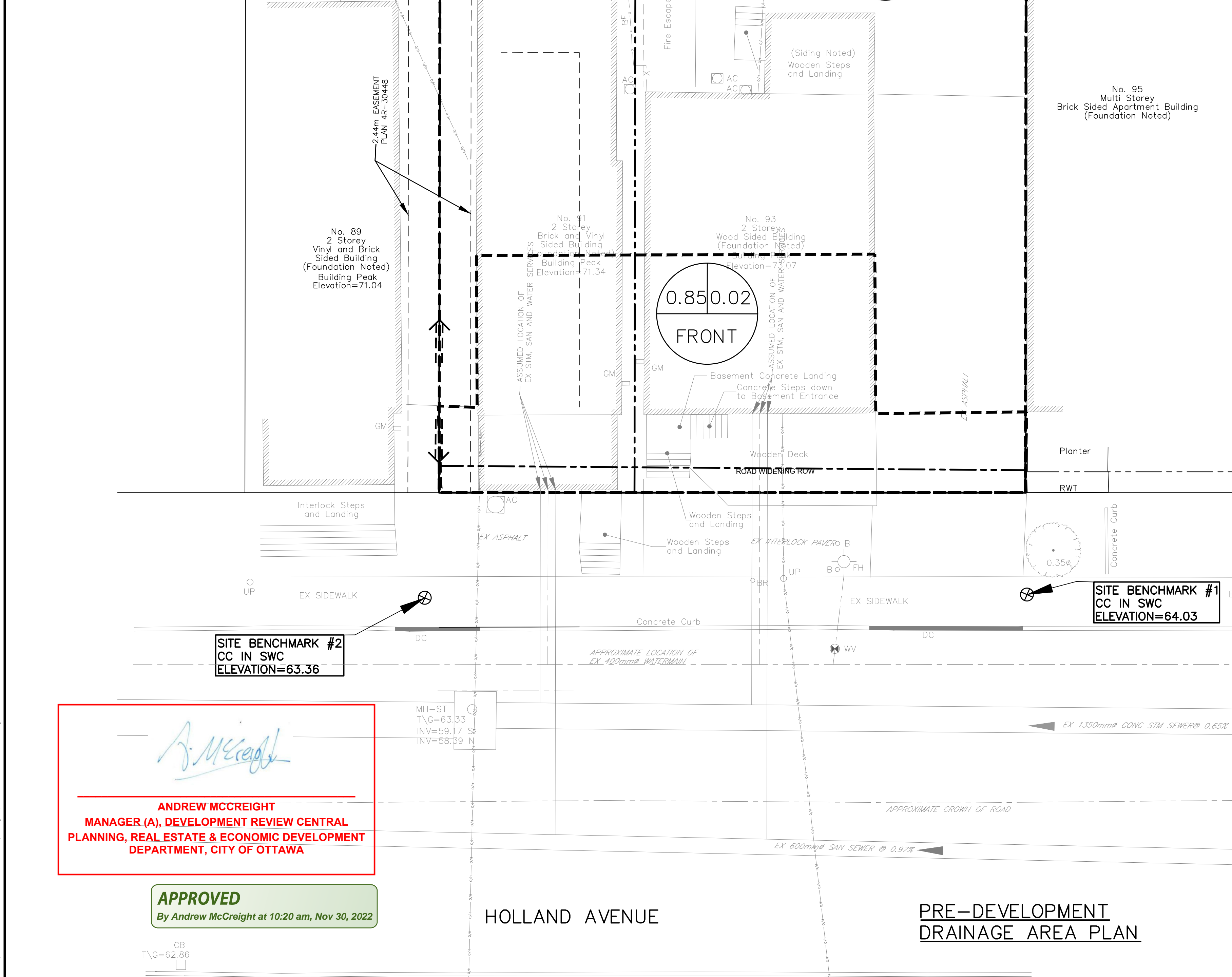


KEY MAP
SCALE: N.T.S.



SITE BENCHMARK #2
CC IN SWC
ELEVATION=63.36

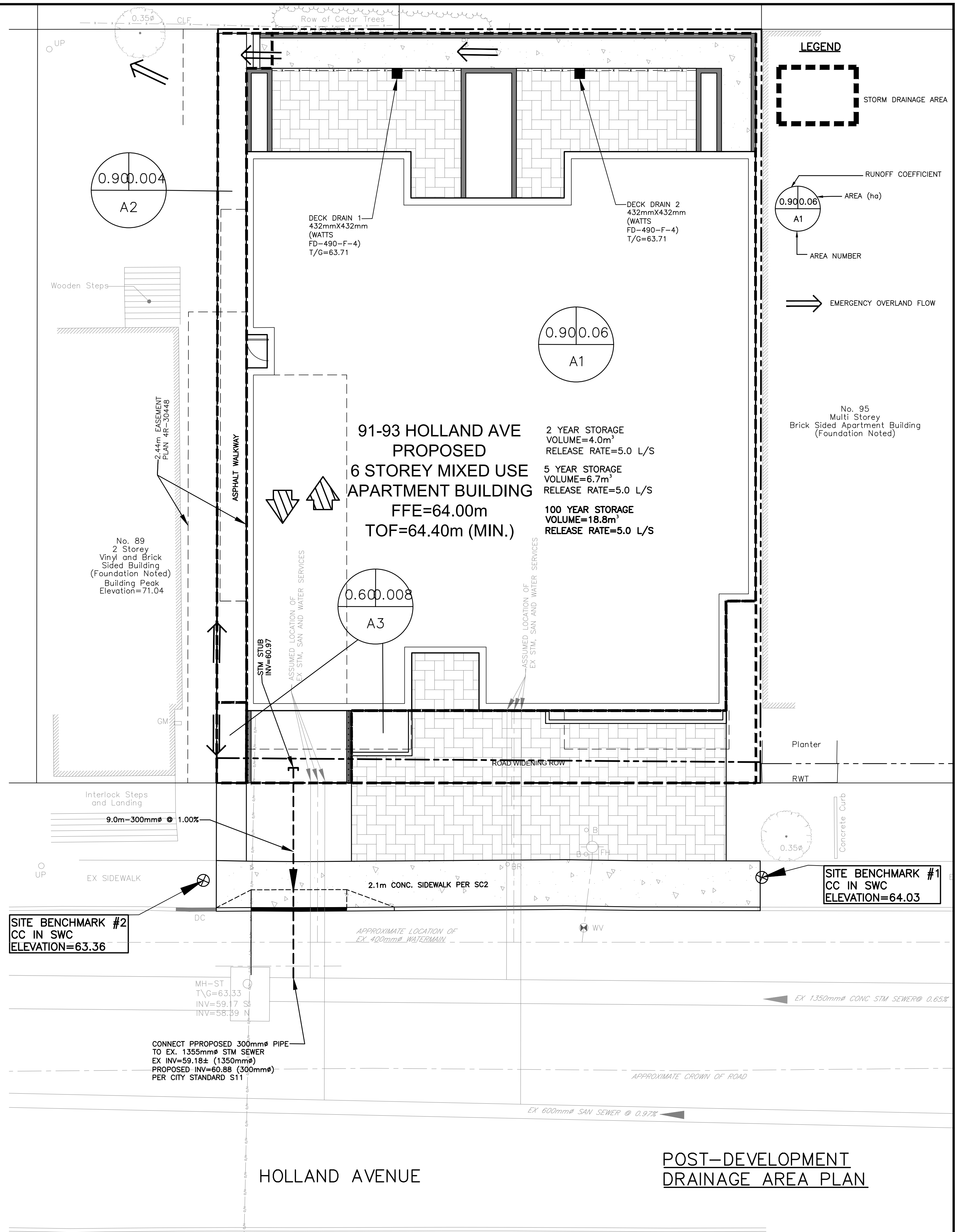
SITE BENCHMARK #1
CC IN SWC
ELEVATION=64.03

Andrew McCreight
ANDREW MCCREIGHT
MANAGER (A), DEVELOPMENT REVIEW CENTRAL
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 10:20 am, Nov 30, 2022

HOLLAND AVENUE

PRE-DEVELOPMENT
DRAINAGE AREA PLAN



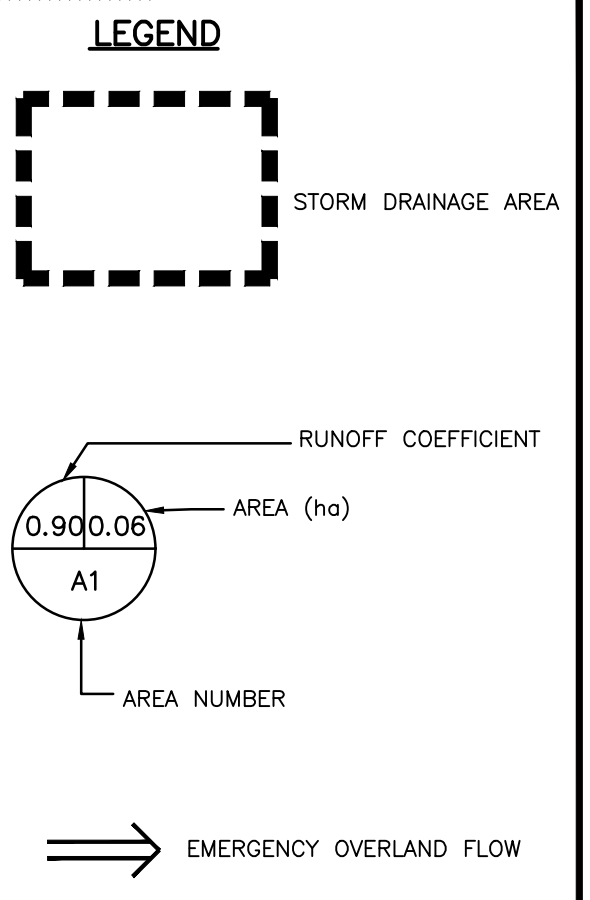
SITE BENCHMARK #2
CC IN SWC
ELEVATION=63.36

SITE BENCHMARK #1
CC IN SWC
ELEVATION=64.03

CONNECT PROPOSED 300mm ϕ PIPE
TO EX. 1355mm ϕ STIM SEWER
EX INV=59.18 \pm (1350mm ϕ)
PROPOSED INV=60.88 (300mm ϕ)
PER CITY STANDARD S11

HOLLAND AVENUE

POST-DEVELOPMENT
DRAINAGE AREA PLAN



No. 95
Multi Storey
Brick Sided Apartment Building
(Foundation Noted)

**91-93 HOLLAND AVE
PROPOSED
6 STOREY MIXED USE
APARTMENT BUILDING**
FFE=64.00m
TOF=64.40m (MIN.)

2 YEAR STORAGE
VOLUME=4.0m³
RELEASE RATE=5.0 L/S

5 YEAR STORAGE
VOLUME=6.7m³
RELEASE RATE=5.0 L/S

100 YEAR STORAGE
VOLUME=18.8m³
RELEASE RATE=5.0 L/S

CONTRACT DRAWINGS:
Contractor must verify all dimensions and be responsible for same. Any discrepancies must be reported to the Engineer before commencing work. Drawings are not to be copied, distributed or used by others without the express written consent of Ainley Graham & Associates Limited. Use of these drawings by any party for any other purpose is subject to the following caution.

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NO.	REVISIONS	DATE	INITIAL	NO.	REVISIONS	DATE	INITIAL
5	ISSUED FOR REVIEW/COORDINATION	MAR 18/22	JX	5	ISSUED FOR REVIEW/COORDINATION	MAR 18/22	JX
4	ISSUED FOR SPA	SEPT 24/21	JX	4	ISSUED FOR SPA	SEPT 24/21	JX
3	REVISED PER NEW SITE PLAN	SEPT 20/21	JX	3	REVISED PER NEW SITE PLAN	SEPT 20/21	JX
2	REVISED PER NEW SITE PLAN	APR 21/21	JX	2	REVISED PER NEW SITE PLAN	APR 21/21	JX
6	RE-ISSUED FOR SITE PLAN APPROVAL	APR 08/22	JX	1	ISSUED FOR REVIEW/COORDINATION	APR 08/21	JX

Not Valid Unless Signed And Dated

**Professional Engineers
Ontario**
APRIL 08, 2022
Limited Licensee
Name: J.W.XU
Number: 100171806
Category: CIVIL see limitation
Limitations:
This license is subject to the limitations as detailed on the certificate.
Association of Professional Engineers of Ontario

SCALE: 1 : 100
DESIGN: JX
DRAWN: MH
CHECKED: GSC/JX
DATE: MARCH 2021

**SIX-STOREY MIXED USE
APARTMENT BUILDING
91-93 HOLLAND AVENUE
CITY OF OTTAWA**

**PRE-DEVELOPMENT DRAINAGE AREA PLAN
POST-DEVELOPMENT DRAINAGE AREA PLAN**

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Ottawa, Ontario
K1T 3T7
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Fax: (613) 822-1573

CONTRACT No. 21007 004-21007-STM1