

EXTERIOR WALL ASSEMBLIES

W1, W1a, W2, W2a. Precast insulated concrete shaft wall, insulated metal wall panel (non-combustible), insulated metal wall panel w/ outer finish (non-combustible). Includes R-value, cUL #, and detailed cross-section diagrams.

FLOOR AND ROOF ASSEMBLIES

R1, F1, F2. Roof, First Floor, Second, Third, Fourth and Fifth Floor. Includes R-value, cUL #, and detailed cross-section diagrams of floor and roof structures.

CEILING ASSEMBLIES

C1, C2, C3. Gypsum Ceiling Assembly, Washroom Ceiling Assembly, Acoustic Ceiling Assembly. Includes R-value, cUL #, and detailed cross-section diagrams.

INTERIOR WALL ASSEMBLIES (NON FRR)

W3, W4, W5, W6, W7, W8, W9, W10. Interior wall assemblies for non-FRR areas including corridors, customer welcome areas, and fire hose cabinets. Includes R-value, cUL #, and diagrams.

INTERIOR WALL ASSEMBLIES (FRR) (SLAB TO SLAB PARTITIONS)

W3a, W3b, W3c, W3e, W3f, W3g. Fire-rated interior wall assemblies for various rooms like MOP&COMM RM, Stairs/Elevator Shaft, and Pump RM. Includes R-value, cUL #, and diagrams.

GLAZING SPECIFICATION - BLDG A

GLAZING PERFORMANCE DATA. Product description: STARPHIRE® ULTRA-CLEAR GLASS IS A UNIQUE LOW-IRON GLASS... Performance data including Transmittance, Reflectance, and Solar Energy.

STORAGE AREA WINDOWS (TYPICAL)

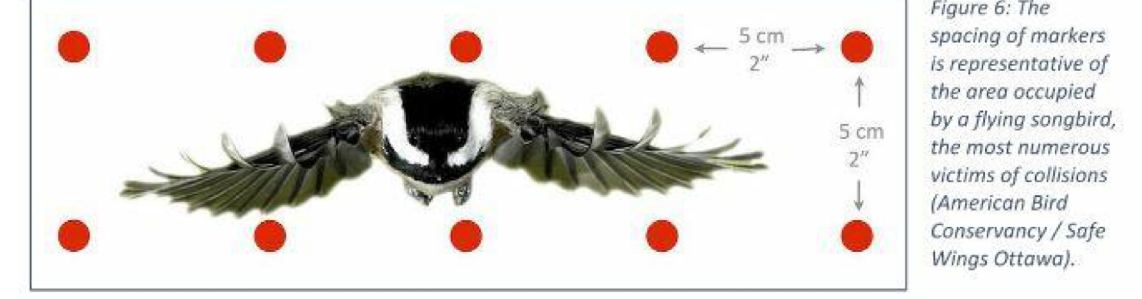
Storage area window details including typical aluminum store front window with fixed glazing, keyplan map, and consultant information.

OTTAWA BIRD-SAFE DESIGN GUIDELINE SEPTEMBER 2020

- Where glazing is used, bird-safe glass or glass with integrated protection measures is preferred... Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m...

Specifications for Bird-Safe Glass

Several techniques can be used to make glass more visible to birds as a solid barrier. These include the use of closely spaced grilles or muntins... Treatments applied to interior surfaces of the glass will not adequately address reflectivity issues.

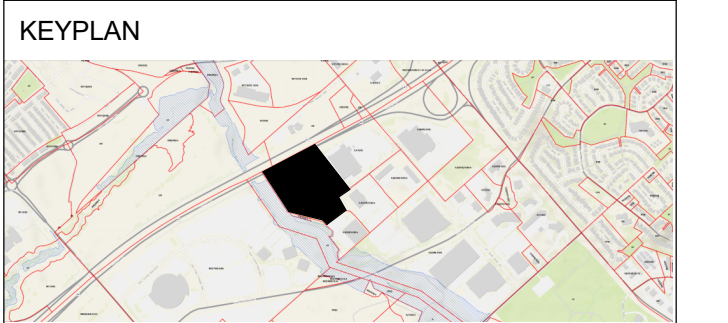


- 1. WATER-RESISTANT GYPSUM WALL BOARD TO BE USED AT WET LOCATIONS... 2. 8 INCHES EQUIVALENT THICKNESS - 2 HOUR FIRE-RESISTANCE RATING (MAX) PER UL DESIGN... 3. 7 5/8 INCHES EQUIVALENT THICKNESS - 3 HOUR FIRE-RESISTANCE RATING...

WALL TYPE NOTES

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ISSUES table with columns: No., DESCRIPTION, DATE. Lists 8 issues related to design development, permit, and landscape.



CONSULTANTS ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION: IBI GROUP - OTTAWA... CIVIL / LANDSCAPE / PLANNING: NOVATECH

GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS... CLELAND JARDINE ENGINEERING LTD... STATE OF THE ART ACOUSTIC INC.

SEAL

PRIME CONSULTANT IBI GROUP 400-333 Preston Street, Ottawa ON, K1S 5N4, Canada

PROJECT U-HAUL MOVING & STORAGE OF OTTAWA 30 FRANK NIGHBOR PLACE, OTTAWA, ON U-Haul Office 942072

PROJECT NO: 138165 DRAWN BY: A. Chu CHECKED BY: Y. Bilbetsi

SHEET TITLE BLDG A - BUILDING ASSEMBLIES

SHEET NUMBER A-0006 ISSUE 8

BUILDING D
EXTERIOR WALL ASSEMBLIES

TYPE: W11	
R-VALUE: 22	
cUL #: N/A	
TYPE: W12	
R-VALUE: 22	
cUL #: N/A	

FLOOR AND ROOF ASSEMBLIES

TYPE: R1	
R-VALUE: 40	
cUL #: N/A	
TYPE: F1	
R-VALUE: N/A	
cUL #: N/A	

CEILING ASSEMBLIES

TYPE: C3	
R-VALUE: N/A	
cUL #: N/A	

GLAZING SPECIFICATION - BLDG D

GLAZING PERFORMANCE DATA

PRODUCT DESCRIPTION: STARPHIRE® ULTRA-CLEAR GLASS IS A UNIQUE LOW-IRON GLASS, THE CLEAREST FLOAT GLASS AVAILABLE, DELIVERING HIGH LIGHT TRANSMITTANCE AND TRUE-COLOR FIDELITY.

PRODUCT LAYERS:

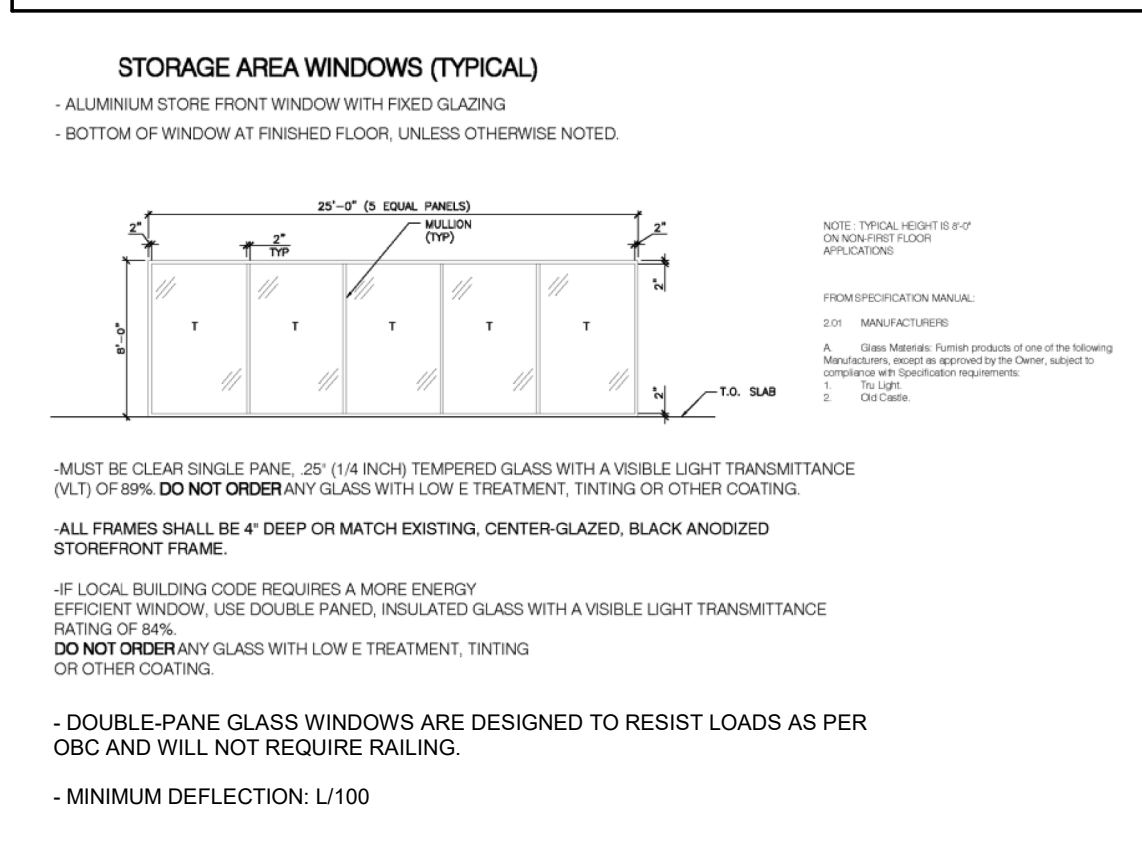
- 1/4" (6mm) STARPHIRE®
- 1/2" (12.7mm) SPACE - AIR - NO GAS
- 1/4" (6mm) STARPHIRE®

PERFORMANCE DATA

TRANSMITTANCE	NRFC U-VALUE
• VISIBLE LIGHT: 84%	• WINTER: 0.47
• SOLAR ENERGY: 80%	• SUMMER: 0.50
• UV: 77%	

REFLECTANCE

• VISIBLE LIGHT- EXT: 15%	SHADING COEFFICIENT: 0.94
• VISIBLE LIGHT- INT: 15%	SHGC: 0.82
• SOLAR ENERGY: 14%	LSG: 1.02



OTTAWA BIRD-SAFE DESIGN GUIDELINE
SEPTEMBER 2020

- 2021-10-07**
- c) Where glazing is used, bird-safe glass or glass with integrated protection measures is preferred (as per specifications below). Treatments should be applied to a **minimum** of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.
- d) Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m from the surface of the roof or terrace or the height of the adjacent mature vegetation, whichever is greater.

Specifications for Bird-Safe Glass

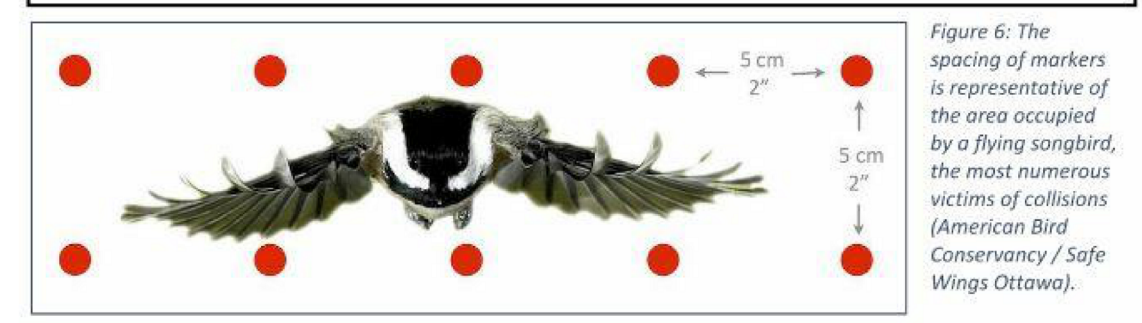
Several techniques can be used to make glass more visible to birds as a solid barrier. These include the use of closely spaced grilles or muntins (i.e., bars dividing individual panes of glass) and the application of commercial films and visual markers. Patterns and images can be applied directly to the glass during manufacture using ceramic fritting, acid etching, digital printing or silk-screening. Creative solutions such as painted murals may also be an option in some cases. Permanent or built-in treatments are preferred for their durability, but other solutions can be effective as long as they are properly maintained and replaced when necessary.

In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the **exterior (first) surface** of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a **minimum** of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

Treatments applied to interior surfaces of the glass **will not** adequately address reflectivity issues. They will also be less effective at reducing transparency issues if reflectivity is not addressed.



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ISSUES

No.	DESCRIPTION	DATE
1	CONCEPT DESIGN	2022-04-29
2	DESIGN DEVELOPMENT	2022-06-03
3	ISSUED FOR PERMIT	2022-07-19
4	RESPONSE TO SPC COMMENTS	2022-08-26
5	2ND RESUBMISSION - EIS / LANDSCAPE	2022-10-17
6	3RD RESUBMISSION - EIS / LANDSCAPE	2022-11-16



CONSULTANTS

ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION:
IBI GROUP - OTTAWA
333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5N4

CIVIL / LANDSCAPE / PLANNING: NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS
1188 WOODWARD DRIVE, OTTAWA, ON, K2C 3R8

CLELAND JARDINE ENGINEERING LTD
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SENEX CONSULTING LTD.
238 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

SEAL

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PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entity 942072

PROJECT NO:
138165

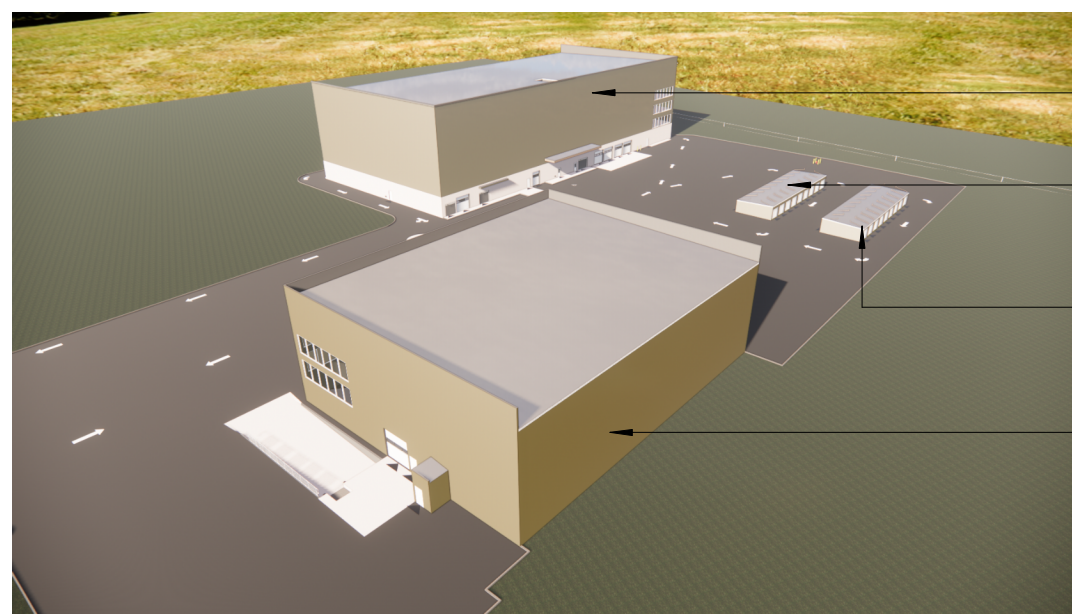
DRAWN BY: A. Chu	CHECKED BY: Y. Bilbeisi
PROJECT MGR: Y. Bilbeisi	APPROVED BY: H. Semple

SHEET TITLE
BLDG D - BUILDING ASSEMBLIES

SHEET NUMBER A-0009	ISSUE 6
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SITE LEGEND:

	PROPERTY LINE		EXIST. MH	EXISTING MANHOLE COVER
	ZONING SETBACKS		EXIST. FH	EXISTING FIRE HYDRANT
	FIRE ROUTE		EXIST. SAN. MH	EXISTING SANITARY MANHOLE COVER
	GLYCOL HEAT TRACING		EXIST. MH THH	EXISTING MANHOLE COVER THH
	2.6m x 5.2m PARKING SPACE (YELLOW)		EXIST. CB	EXISTING CATCH BASIN
	3.4m x 1.5m x 5.2m BARRIER FREE PARKING SPACE (YELLOW)		NEW MH	NEW MANHOLE COVER
	2.6m x 6.7m PARALLEL PARKING SPACE (YELLOW)		NEW CB	NEW CATCH BASIN
	LIGHT STANDARD (REFER TO ELECTRICAL)		FDC	FIRE DEPARTMENT CONNECTION
	EXIT OR ENTRANCE (REFER TO SITE PLAN FOR ADDITIONAL NOTES)		GM	NATURAL GAS METER (REF. TO MECH.)
	0.6mx1.8m BICYCLE PARKING SPACE			1.5m WIDE PAINTED STRIPED PEDESTRIAN WALKWAY (YELLOW)
				REMOVE EXISTING LANDSCAPING IN THE FUTURE ROW AND REPLACE WITH TOP SOIL/SEED/GRASS (REFER TO LANDSCAPE DRAWINGS)
				NEW LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
				CONCRETE SLAB
				DMC / MC / DC - DEPRESSED / MOUNTABLE CURB



2 3D VIEW - SOUTH-NORTH AERIAL
A-1001 Scale: NTS

GENERAL NOTES:

- U-HAUL WILL PROVIDE "BUTLER" STAMPED ENGINEERING DRAWINGS FOR PERMIT SUBMISSION. WE ARE ASSUMING THAT THE BUILDING IS SUPPLIED, AND WE DESIGN THE FOUNDATIONS FOR IT.
- "AS CORRESPONDED BETWEEN U-HAUL AND COLETTE GORNI, CITY PLANNER, ON MARCH 21st 2022. THE ZONING FOR THE SITE IS IL6[1414] H(30)-H (LIGHT INDUSTRIAL, SUBZONE 6, URBAN EXCEPTION 1414, HEIGHT LIMIT OF 30M, WITH A HOLDING SYMBOL). THIS ZONING PERMITS A MAXIMUM HEIGHT OF 30M, WHICH SHOULD ALLOW A 5-STORY BUILDING (ASSUMING EACH STOREY HAS A HEIGHT OF 3-4M).

ALL OTHER ZONING REQUIREMENTS CAN BE FOUND IN TABLE 203 OF THE ZONING BY-LAW. PLEASE ALSO REVIEW SECTION 204(6) OF THE ZONING BY-LAW AND URBAN EXCEPTION 1414 FOR ADDITIONAL PROVISIONS APPLICABLE TO THE SITE.

SITE DATA AND ZONING INFORMATION

PROJECT LOCATION	30 FRANK NIGHBOR PLACE, OTTAWA, ONTARIO, K2V 1B9	
LEGAL DESCRIPTION	PART OF BLOCK 2, REGISTERED PLAN 4M-1012, CITY OF OTTAWA.	
PROPERTY OWNER	U-Haul Co. (Canada) Ltd. 2727 N. CENTRAL AVENUE, PHOENIX, AZ USA 85004. PHONE: (602) 263 - 6502	
ZONING DESIGNATION	IL6[1414] H(30)-H - LIGHT INDUSTRIAL	

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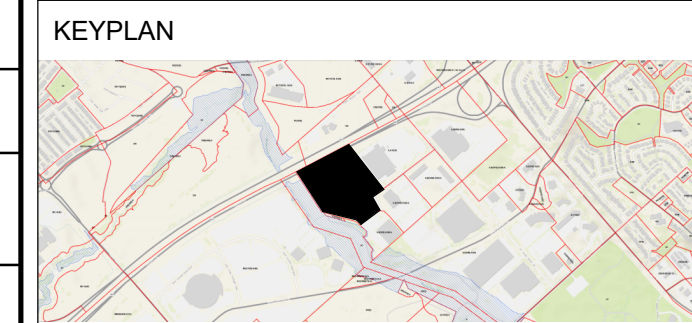
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ISSUES

No.	DESCRIPTION	DATE
1	CONCEPT DESIGN	2022-04-29
2	ISSUED FOR SITE PLAN CONTROL APPLICATION	2022-05-18
3	DESIGN DEVELOPMENT	2022-06-03
4	ISSUED FOR PERMIT	2022-07-19
5	RESPONSE TO SPC COMMENTS	2022-08-26
6	RESPONSE TO PERMIT COMMENTS - BLDG D	2022-09-06
8	3RD RESUBMISSION - EIS / LANDSCAPE	2022-11-16
7	RESPONSE TO PERMIT COMMENTS - BLDG B & C	2022-11-18



CONSULTANTS

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IBI GROUP - OTTAWA
333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5N4

CIVIL / LANDSCAPE / PLANNING: NOVATEK
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS
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103-42 STANISLAVE DRIVE, OTTAWA, ON K2K 2A9

SENEZ CONSULTING LTD.
288 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

TOTAL LAND AREA
9.44 ACRES / 411,673 SQ. FEET / 38,245.6 SQ. METERS

TOTAL FOOTPRINT AREA

NEW BUILDING:
- PROPOSED SELF-STORAGE BLDG. (BLDG. A) = 3421.43 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. B) = 209.03 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. C) = 209.03 m²
- PROPOSED WAREHOUSE BLDG. (BLDG. D) = 1620.17 m²
- AREA = 5,459.66 m²

TOTAL BUILDINGS FOOTPRINT = 5,459.66 m²

TOTAL GROSS FLOOR AREA

NEW BUILDING:
- PROPOSED SELF-STORAGE BLDG. (BLDG. B) = 209.03 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. C) = 209.03 m²
- PROPOSED WAREHOUSE BLDG. (BLDG. D) = 1,620.17 m²
- AREA = 2,038.23 m²

NEW BUILDING (BLDG. A):
- FIRST FLOOR = 3,421.43 m²
- SECOND FLOOR = 3,421.43 m²
- THIRD FLOOR = 3,421.43 m²
- FOURTH FLOOR = 3,421.43 m²
- FIFTH FLOOR = 3,421.43 m²
- TOTAL AREA = 17,107.17 m²

TOTAL BUILDINGS GROSS FLOOR AREA = 19,145.4 m²

PERMIT FEE CALCULATIONS

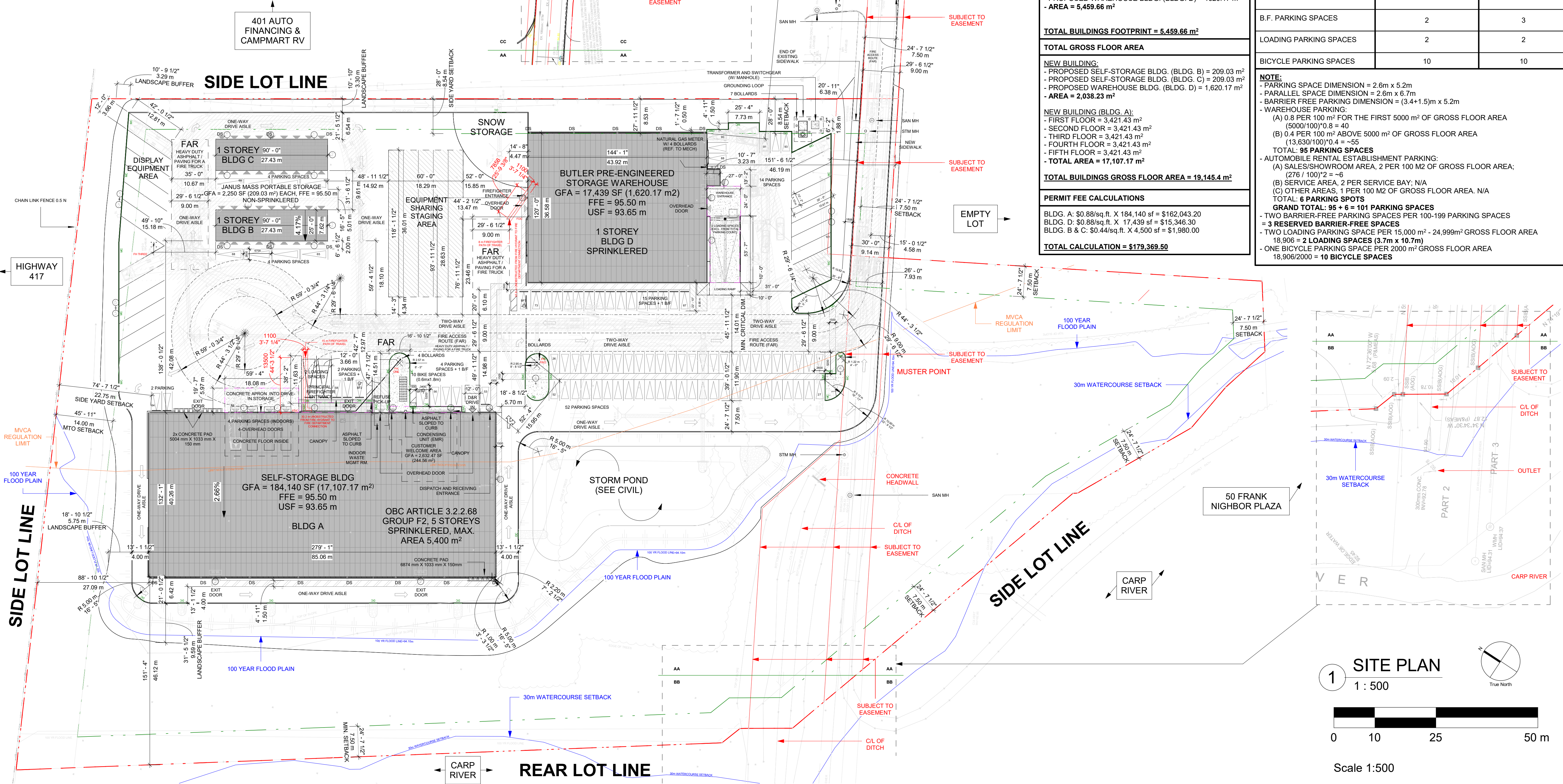
BLDG. A: \$0.88/sq.ft. X 184,140 sf = \$162,043.20
BLDG. D: \$0.88/sq.ft. X 17,439 sf = \$15,346.30
BLDG. B & C: \$0.44/sq.ft. X 4,500 sf = \$1,980.00

TOTAL CALCULATION = \$179,369.50

ITEM	REQUIRED	PROVIDED
MINIMUM LOT AREA	2000 m ²	38,245.6 m ²
MINIMUM LOT FRONTAGE	NO MINIMUM	148.11 m
MAX LOT COVERAGE	65%	14%
MAXIMUM FLOOR INDEX	2	0.14
FRONT YARD SETBACK	12 m (39.4 FT)	68.3 m (223'-11")
INTERIOR SIDE YARD SETBACK	7.5 m (25 FT)	8.5 m (28')
REAR YARD SETBACK	7.5 m (25 FT)	43.1 m (141'-6")
EXTERIOR YARD SETBACK	7.5 m (25 FT)	7.5 m (25 FT)
MAXIMUM BUILDING HEIGHT	30 m*	21.3 m
LANDSCAPE BUFFER	- FRONT = 3 m - SIDE = NO MINIMUM - REAR = 3 m	- FRONT = 3 m - SIDE = 3 TO 7.5 m - REAR = 5.3 m
LANDSCAPE AREA / PERCENTAGE OF SITE AREA	N/A (INDUSTRIAL ZONE)	3811.6 m ² / 10.1% OF SITE AREA
PARKING SPACES	101	101
B.F. PARKING SPACES	2	3
LOADING PARKING SPACES	2	2
BICYCLE PARKING SPACES	10	10

NOTE:

- PARKING SPACE DIMENSION = 2.6m x 5.2m
- PARALLEL SPACE DIMENSION = 2.6m x 6.7m
- BARRIER FREE PARKING DIMENSION = (3.4+1.5)m x 5.2m
- WAREHOUSE PARKING:
- (A) 0.8 PER 100 M² FOR THE FIRST 5000 M² OF GROSS FLOOR AREA
(5000/100)*0.8 = 40
- (B) 0.4 PER 100 M² ABOVE 5000 M² OF GROSS FLOOR AREA
(13,630/100)*0.4 = 55
- TOTAL: 95 PARKING SPACES
- AUTOMOBILE RENTAL ESTABLISHMENT PARKING:
- (A) SALES/SHOWROOM AREA, 2 PER 100 M² OF GROSS FLOOR AREA:
(276 / 100)*2 = 6
- (B) SERVICE AREA, 2 PER SERVICE BAY; N/A
- (C) OTHER AREAS, 1 PER 100 M² OF GROSS FLOOR AREA. N/A
- TOTAL: 6 PARKING SPOTS
- GRAND TOTAL: 95 + 6 = 101 PARKING SPACES
- TWO BARRIER-FREE PARKING SPACES PER 100-199 PARKING SPACES = 3 RESERVED BARRIER-FREE SPACES
- TWO LOADING PARKING SPACE PER 15,000 m² - 24,999 m² GROSS FLOOR AREA = 2 LOADING SPACES (3.7m x 10.7m)
- ONE BICYCLE PARKING SPACE PER 2000 m² GROSS FLOOR AREA = 18,906/2000 = 10 BICYCLE SPACES



1 SITE PLAN
1 : 500

Scale 1:500

0 10 25 50 m

PRIME CONSULTANT

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PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entry 942072

PROJECT NO: 138165

DRAWN BY: A. Chu

PROJECT MGR: Y. Bilbeisi

SHEET TITLE: ARCHITECTURAL SITE PLAN AND ZONING INFORMATION

SHEET NUMBER: A-1001

ISSUE: 8

2022-12-06 1:17:37 PM

Door Schedule - Building A - Level 4														
DOOR #	DOOR						FRAME							COMMENT
	DOOR TYPE	NOMINAL WIDTH	NOMINAL HEIGHT	DOOR MATERIAL	HANDING	FINISH AND COLOUR	GLASS	FIRE RATING	MATERIAL	FINISH AND COLOUR	FIRE RATING	HARD WARE		
A-401A	7A	3' - 4"	7' - 0"	AL	LH	FACTORY PRIMED - U-HAUL ORANGE HIGH GLOSS		45 MIN.	AL	ALUMINUM BOTTOM BAR		E		
A-402A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)			HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		D	TILE EDGE THRESHOLD, AUTO OPEN PUSH BUTTONS, BARRIER FREE COMPLIANT I.D. SIGN "RESTROOM"	
A-403A	7A	3' - 4"	7' - 0"	AL	ROLL-UP DOOR	FACTORY PRIMED - U-HAUL ORANGE HIGH GLOSS		45 MIN.	AL	ALUMINUM BOTTOM BAR		E		
A-404A	7B	8' - 0"	7' - 0"	AL	ROLL-UP DOOR	FACTORY PRIMED - U-HAUL ORANGE HIGH GLOSS		45 MIN.	AL	ALUMINUM BOTTOM BAR		E		
A-A4A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		
A-B4A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		
A-C4A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		
A-D4A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		

Door Schedule - Building A - Level 5														
DOOR #	DOOR						FRAME							COMMENT
	DOOR TYPE	NOMINAL WIDTH	NOMINAL HEIGHT	DOOR MATERIAL	HANDING	FINISH AND COLOUR	GLASS	FIRE RATING	MATERIAL	FINISH AND COLOUR	FIRE RATING	HARD WARE		
A-501A	7A	3' - 4"	7' - 0"	AL	LH	FACTORY PRIMED - U-HAUL ORANGE HIGH GLOSS		45 MIN.	AL	ALUMINUM BOTTOM BAR		E		
A-502A	7A	3' - 4"	7' - 0"	AL	ROLL-UP DOOR	FACTORY PRIMED - U-HAUL ORANGE HIGH GLOSS		45 MIN.	AL	ALUMINUM BOTTOM BAR		E		
A-503A	7B	8' - 0"	7' - 0"	AL	ROLL-UP DOOR	FACTORY PRIMED - U-HAUL ORANGE HIGH GLOSS		45 MIN.	AL	ALUMINUM BOTTOM BAR		E		
A-A5A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		
A-B5A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		
A-C5A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		
A-D5A	5	3' - 2"	7' - 0"	HM	LH	FACTORY PRIMED - FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		90 MIN.	HM	FACTORY PRIMED FIELD PAINT U-HAUL EGGSHELL BLACK (P-K)		K		

CLIENT
U-Haul CO. (Canada) LTD.

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ISSUES		
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3	2ND RESUBMISSION - EIS / LANDSCAPE	2022-10-17
4	3RD RESUBMISSION - EIS / LANDSCAPE	2022-11-16

CONSULTANTS
ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION:
IBI GROUP - OTTAWA
333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5N4

CIVIL / LANDSCAPE / PLANNING: NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS
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SENEZ CONSULTING LTD.
288 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

EXTERIOR DOOR TYPES - BLDG A

DOOR TYPE - 1
POWER SINGLE-SLIDE ENTRANCE DOOR
DIRA-GUIDE 2000 SERIES BY STANLEY ACCESS TECHNOLOGIES
BLACK ANODIZED ALUMINUM FRAME
"T" DENOTES TEMPERED SAFETY GLASS
SIGN ADJACENT TO DOOR STATING THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS
ONLY THE SLIDING PANEL BREAKS OUT FOR EMERGENCY EGRESS
1" BOTTOM RAIL
AUTO LOCKING PER SCHEDULE
NO THRESHOLD
INTERNATIONAL SYMBOL OF ACCESSIBILITY
U-VALUE = (SUMMER: 0.45, WINTER: 0.47), SHGC: 0.82

DOOR TYPE - 2
GLAZED SWING DOOR
18 GA. WITH RIGID POLYSTYRENE CORE
1.6 GA. H.M. FRAME
"T" DENOTES TEMPERED SAFETY GLASS
VISION LITE
FACTORY PRIMED: FIELD PAINT PER SCHEDULE
U-VALUE = (SUMMER: 0.45, WINTER: 0.47), SHGC: 0.82

DOOR TYPE - 3
GENERAL PURPOSE EXTERIOR DOOR
FLUSH METAL
18 GA. WITH RIGID POLYSTYRENE CORE
1.6 GA. H.M. FRAME
FACTORY PRIMED: FIELD PAINT PER SCHEDULE
U-VALUE = (SUMMER: 0.45, WINTER: 0.47), SHGC: 0.82

DOOR TYPE - 4A
LOAD/UNLOAD OVERHEAD DOOR
MANUFACTURER: CLOPAY OR EQUAL
MODEL: GD2LW1 (VERIFY W RATING WITH REQUIREMENTS)
LOW-HEADROOM REAR MOUNTED 2" TRACK - FIELD VERIFY FACTORY FINISH - ULTRA-GRAIN WALNUT
"T" DENOTES TEMPERED SAFETY GLASS FULL VIEW 3RD & 4TH SECTION FROM FINISH FLOOR
MOTORIZED, INSULATED SECTIONAL OVERHEAD DOOR STRUCTURAL FRAME (JAMB AND HEAD)
FULL WEATHERSTRIP
VERTICAL RAILS UNLESS NOTED OTHERWISE. FIELD VERIFY.
FULL WEATHERSTRIP
U-VALUE = (SUMMER: 0.45, WINTER: 0.47), SHGC: 0.82
FOLLOWING FEATURES SHALL BE COORDINATED WITH UHL CONSTRUCTION PROJECT MANAGER/OWNERS REPRESENTATIVE AND OVERHEAD DOOR INSTALLER:
1- MANUAL OPEN/CLOSE/STOP BUTTONS
2- CLOSE TIMER
3- MILLERS SAFETY EDGE
4- SAFETY BEAMS/EYES
5- LIFTMASTER LIGHT CURTAIN PN: LC-36A
6- ELECTRIC OPERATOR CONTROLS
7- SAFETY MOTION/TRIGGER (1) BEA IS40 MOTION LOW VOLTAGE DOOR SAFETY TRIGGER
8- IN-GROUND PAVE OVER BD LOOPS (SAFETY/TRIGGER LOOPS) 4" Ø CENTERED FROM ACTIVE DOOR CENTER SEE BD LOOP INSTALLATION DOCUMENT
FOLLOWING FEATURES SHALL BE COORDINATED WITH SECURITY VENDOR PER SECURITY LAYOUT PLAN (Q DRAWINGS):
1- SECURITY ACCESS TRIGGER (WIEGAND/DOORKING) BY SECURITY VENDOR.

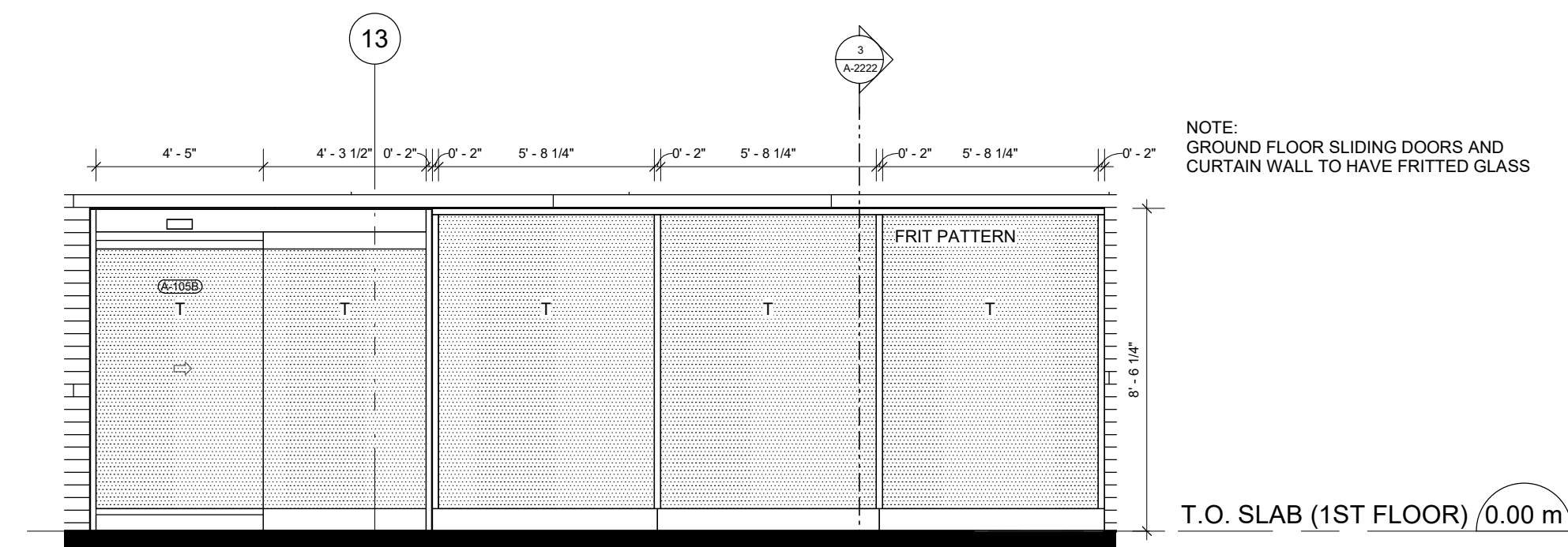
DOOR TYPE - 4B
WAREHOUSE OVERHEAD DOOR
MANUFACTURER: CLOPAY OR EQUAL
MODEL: 3724W1 (VERIFY W RATING WITH REQUIREMENTS)
"T" DENOTES TEMPERED SAFETY GLASS FULL VIEW 3RD SECTION FROM FINISH FLOOR
MOTORIZED, INSULATED SECTIONAL OVERHEAD DOOR STRUCTURAL FRAME (JAMB AND HEAD)
FULL WEATHERSTRIP
FACTORY PRIMED PAINT EXTERIOR SIDE OF DOOR PER SCHEDULE
U-VALUE = (SUMMER: 0.45, WINTER: 0.47), SHGC: 0.82
FOLLOWING FEATURES SHALL BE COORDINATED WITH UHL CONSTRUCTION PROJECT MANAGER/OWNERS REPRESENTATIVE AND OVERHEAD DOOR INSTALLER:
1- MANUAL OPEN/CLOSE/STOP BUTTONS
2- ELECTRIC OPERATOR CONTROLS
3- MILLERS SAFETY EDGE
4- SAFETY BEAMS/EYES
5- LIFTMASTER LIGHT CURTAIN PN: LC-36A
6- SAFETY MOTION/TRIGGER (2) BEA IS40 MOTION LOW VOLTAGE (DOOR SAFETY/TRIGGER DEAM)
FOLLOWING FEATURES SHALL BE COORDINATED WITH SECURITY VENDOR PER SECURITY LAYOUT PLAN (Q DRAWINGS) AND SHALL BE INSTALLED AT WAREHOUSE DOORS ONLY:
1- TRIGGER NEO-DSC WIRELESS TRANSCIEVER W/ KEY PHOB.

DOOR TYPE - 4C
REFUSE DOOR
MANUFACTURER: CLOPAY OR EQUAL
MODEL: 3724W1 (VERIFY W RATING WITH REQUIREMENTS)
MOTORIZED, INSULATED SECTIONAL OVERHEAD DOOR STRUCTURAL FRAME (JAMB AND HEAD)
VERTICAL RAILS UNLESS NOTED OTHERWISE. FIELD VERIFY.
FULL WEATHERSTRIP
FACTORY PRIMED PAINT EXTERIOR SIDE OF DOOR PER SCHEDULE
U-VALUE = (SUMMER: 0.45, WINTER: 0.47), SHGC: 0.82
FOLLOWING FEATURES SHALL BE COORDINATED WITH UHL CONSTRUCTION PROJECT MANAGER/OWNERS REPRESENTATIVE AND OVERHEAD DOOR INSTALLER:
1- MANUAL OPEN/CLOSE/STOP BUTTONS
2- ELECTRIC OPERATOR CONTROLS
3- MILLERS SAFETY EDGE
4- SAFETY BEAMS/EYES
5- LIFTMASTER LIGHT CURTAIN PN: LC-36A
6- SAFETY MOTION/TRIGGER (2) BEA IS40 MOTION LOW VOLTAGE (DOOR SAFETY/TRIGGER DEAM)
FOLLOWING FEATURES SHALL BE COORDINATED WITH SECURITY VENDOR PER SECURITY LAYOUT PLAN (Q DRAWINGS) AND SHALL BE INSTALLED AT WAREHOUSE DOORS ONLY:
1- TRIGGER NEO-DSC WIRELESS TRANSCIEVER W/ KEY PHOB.

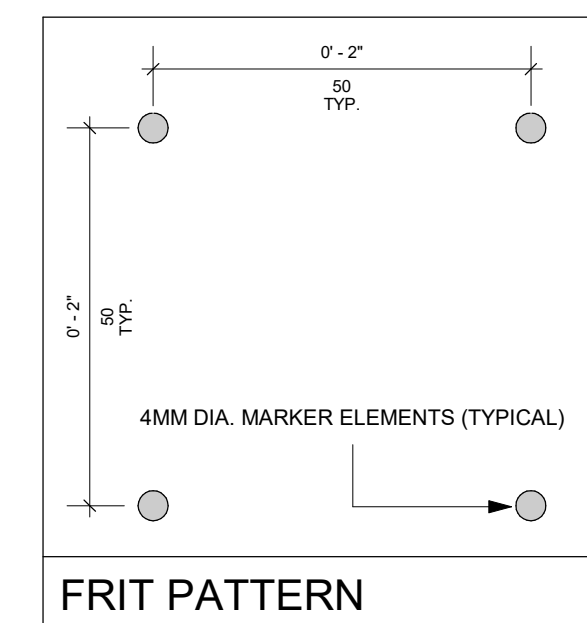
DOOR TYPE - 5
GENERAL PURPOSE INTERIOR DOOR
FLUSH METAL
18 GA. WITH HONEYCOMB CORE
20 GA. H.M. FRAME
FACTORY PRIMED: FIELD PAINT PER SCHEDULE

DOOR TYPE - 6
INTERIOR STORAGE LOCKER DOOR (IHS-18)
FLUSH METAL SWING DOOR WITH DIAGONAL BRACING
MANUFACTURED BY JANUS OR EQUAL
SPECIAL 18 GA. FRAME
PRE-FINISHED HIGH GLOSS U-HAUL ORANGE AISLE SIDE

DOOR TYPE - 7A & 7B
INTERIOR STORAGE LOCKER DOOR (IHS-04)
MODEL 650 ROLL UP DOOR BY JANUS OR EQUAL
ALUMINUM BOTTOM BAR
U-HAUL FINISHED CURTAINS AND HARDWARE
PRE-FINISHED AISLE SIDE: U-HAUL ORANGE, HIGH GLOSS



1 BLDG A - EXT. SLIDING DOOR AND CURTAIN WALL
1/4" = 1'-0"



INTERIOR DOOR TYPES - BLDG A

DOOR TYPE - 5
GENERAL PURPOSE INTERIOR DOOR
FLUSH METAL
18 GA. WITH HONEYCOMB CORE
20 GA. H.M. FRAME
FACTORY PRIMED: FIELD PAINT PER SCHEDULE

DOOR TYPE - 6
INTERIOR STORAGE LOCKER DOOR (IHS-18)
FLUSH METAL SWING DOOR WITH DIAGONAL BRACING
MANUFACTURED BY JANUS OR EQUAL
SPECIAL 18 GA. FRAME
PRE-FINISHED HIGH GLOSS U-HAUL ORANGE AISLE SIDE

DOOR TYPE - 7A & 7B
INTERIOR STORAGE LOCKER DOOR (IHS-04)
MODEL 650 ROLL UP DOOR BY JANUS OR EQUAL
ALUMINUM BOTTOM BAR
U-HAUL FINISHED CURTAINS AND HARDWARE
PRE-FINISHED AISLE SIDE: U-HAUL ORANGE, HIGH GLOSS

- ALL PASSAGE DOOR DOORWAYS SHALL HAVE A 32" (815mm) MIN. CLEAR OPENING WIDTH. CLEAR OPENINGS OF DOORWAYS WITH SWING DOORS ARE MEASURED FROM THE FACE OF THE DOOR TO THE STOP WHEN THE DOOR IS OPENED 90°. THERE SHALL BE NO PROJECTIONS IN TO THE REQUIRED CLEAR WIDTH LOWER THAN 34" (865mm) ABOVE FINISHED FLOOR. PROJECTIONS INTO THE CLEAR WIDTH BETWEEN 34" (865mm) AND 80" (2030mm) SHALL NOT EXCEED 4" (100mm).
 - ALL THRESHOLDS TO BE BRUSHED ALUMINUM AND A MAXIMUM OF 1/2" (12mm) IN HEIGHT.
 - ALL DOOR HANDLES SHALL BE LEVER TYPE, MOUNTED BETWEEN 34" (865mm) AND 48" (1220mm) MEASURED FROM FINISHED FLOOR TO CENTERLINE OF LEVER.
 - ALL EXTERIOR MAN DOORS TO HAVE ACCESSIBLE THRESHOLDS.
 - REFER TO DOOR SCHEDULE AND/OR SPECIFICATIONS FOR DOOR SPECS AND FINISH.
 - EXTERIOR HOLLOW METAL DOORS TO HAVE A FIELD PAINTED ENAMEL FINISH.
 - ALL GLAZING IN DOORS TO BE LAMINATED SAFETY GLASS.
 - ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
 - GLAZING IN STOREFRONT DOORS TO MATCH COLOUR AND TINT OF ADJACENT GLAZING.
 - VERIFY ALL DOOR HARDWARE WITH OWNER PRIOR TO INSTALLATION.
 - ALL FIRE RATED DOORS, INCLUDING DOORS WITH GLAZING, SHALL BEAR APPROVAL AGENCY RATING LABELS.
 - HARDWARE ON FIRE RATED DOORS SHALL BE LISTED FOR THOSE RATINGS.
 - ALL FIRE RATED DOOR ASSEMBLIES SHALL HAVE CLOSERS AND BE SELF LATCHING.
 - PROVIDE PRIVACY LOCKS AT ALL SINGLE OCCUPANT WASHROOMS.
 - PROVIDE 22ga. GALVANIZED BONDERIZED FLASHING AT ALL DOOR HEADS. COLOUR TO MATCH ADJACENT WALL FINISH. VERIFY WITH OWNER.
- DOOR AND FRAME NOTES**

PRIME CONSULTANT
IBI GROUP
400-333 Preston Street,
Ottawa ON, K1S 5N4, Canada
Tel: 613 225 1311 Fax: 613 225 9868
ibigroup.com

PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entity 942072

PROJECT NO:
138165

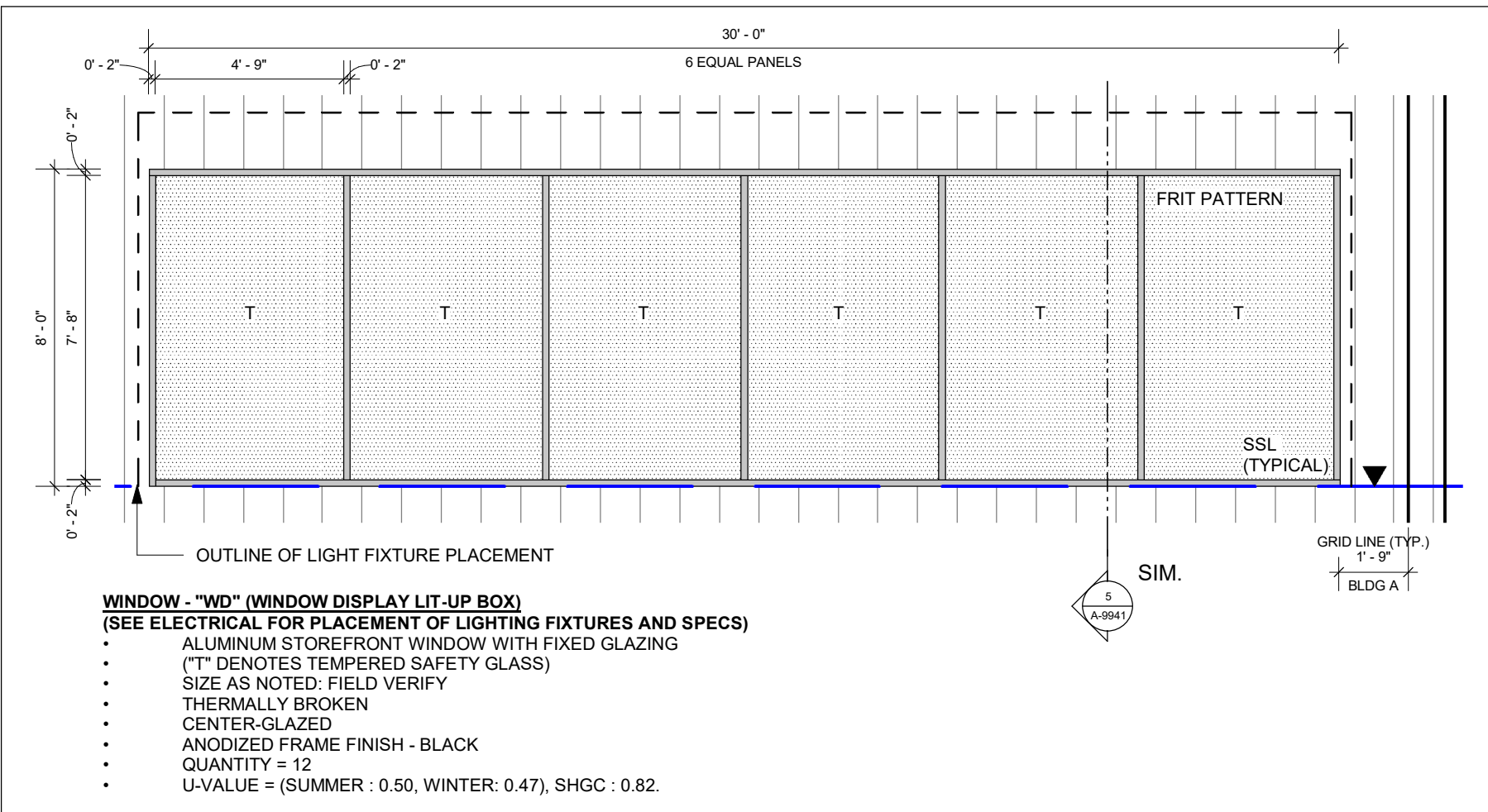
DRAWN BY: A. Chu
CHECKED BY: Y. Bilbetsi

PROJECT MGR: Y. Bilbetsi
APPROVED BY: H. Semple

SHEET TITLE
BLDG A - DOOR SCHEDULE - 2 OF 2

SHEET NUMBER
A-9922

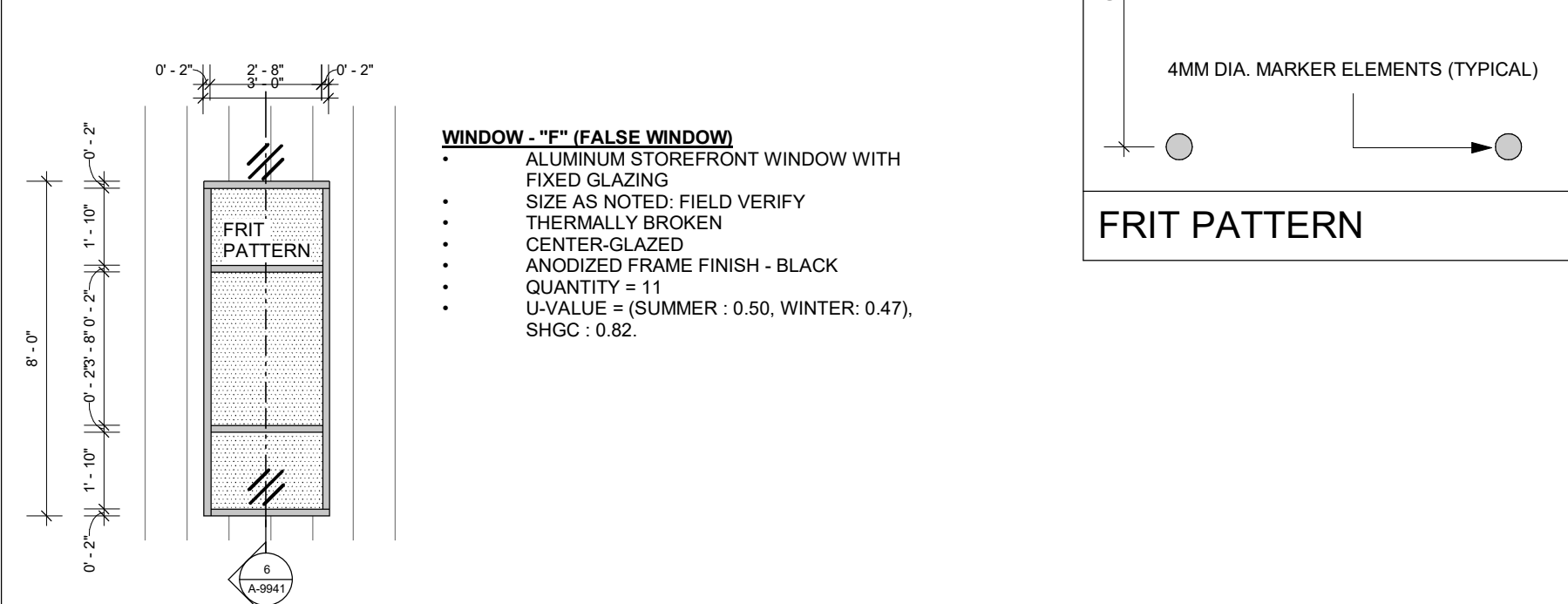
ISSUE
4



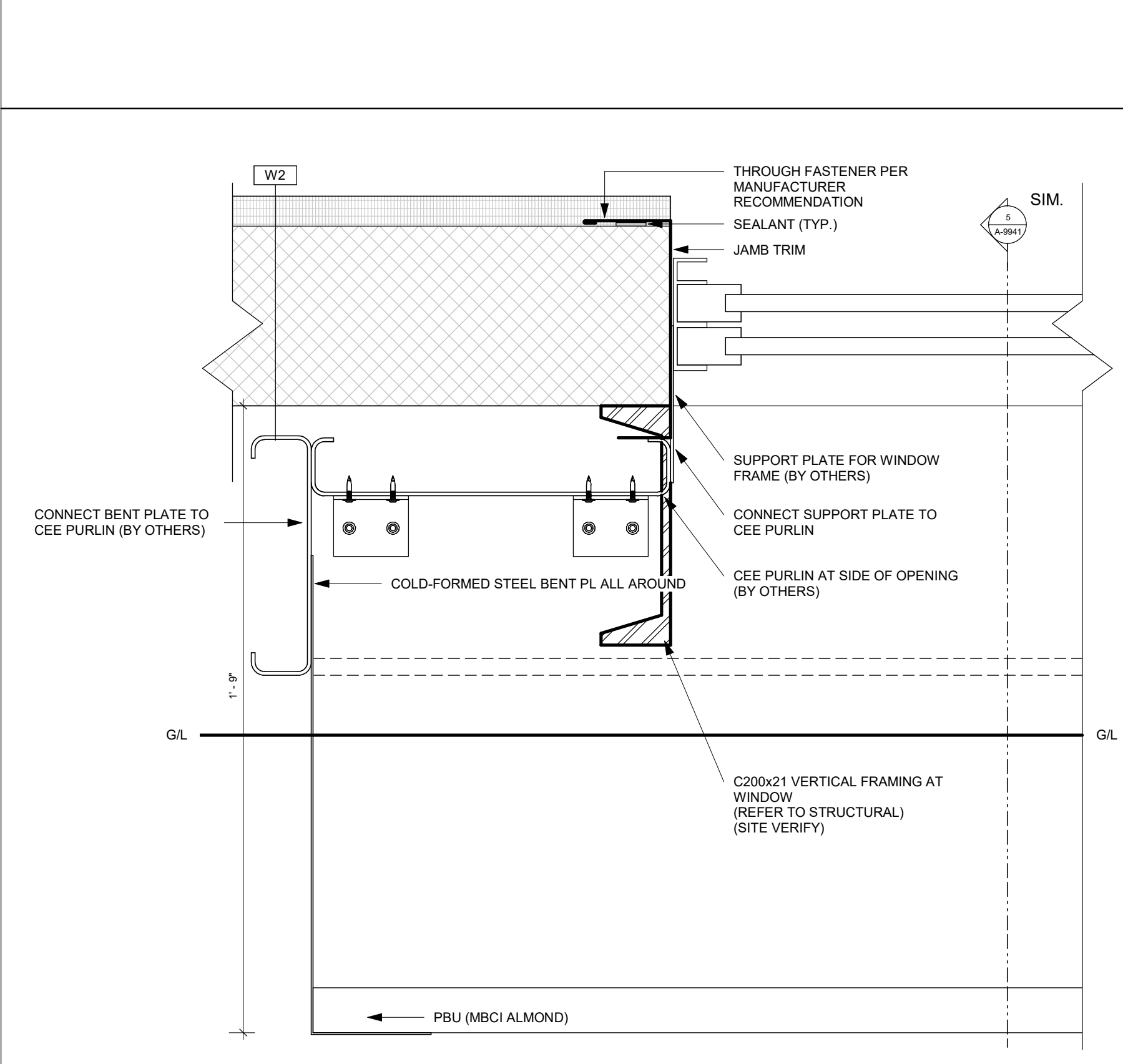
1 BLDG A - "WD" (DISPLAY LIT-UP) - ELEVATION
 1/4" = 1'-0"

NOTE:

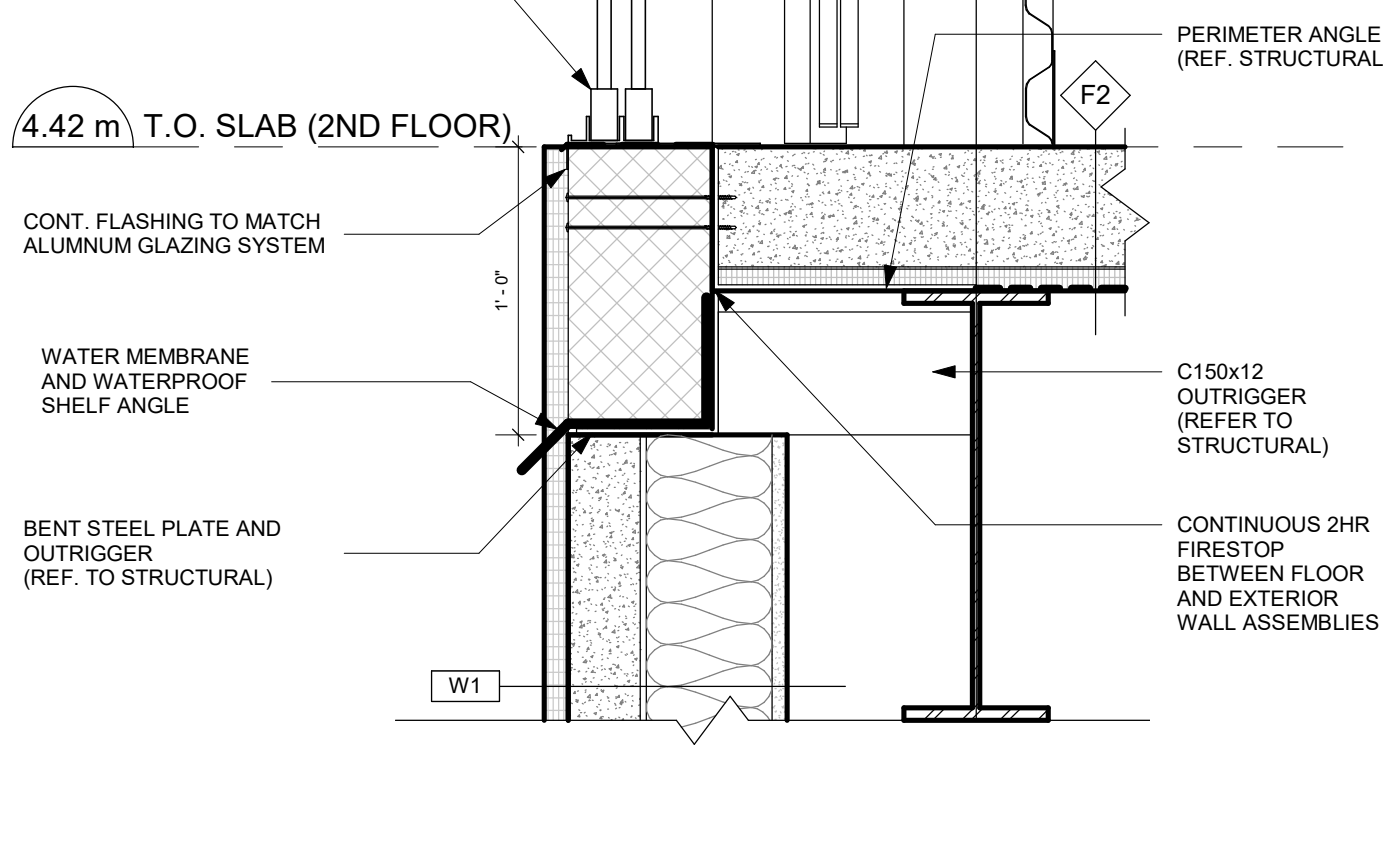
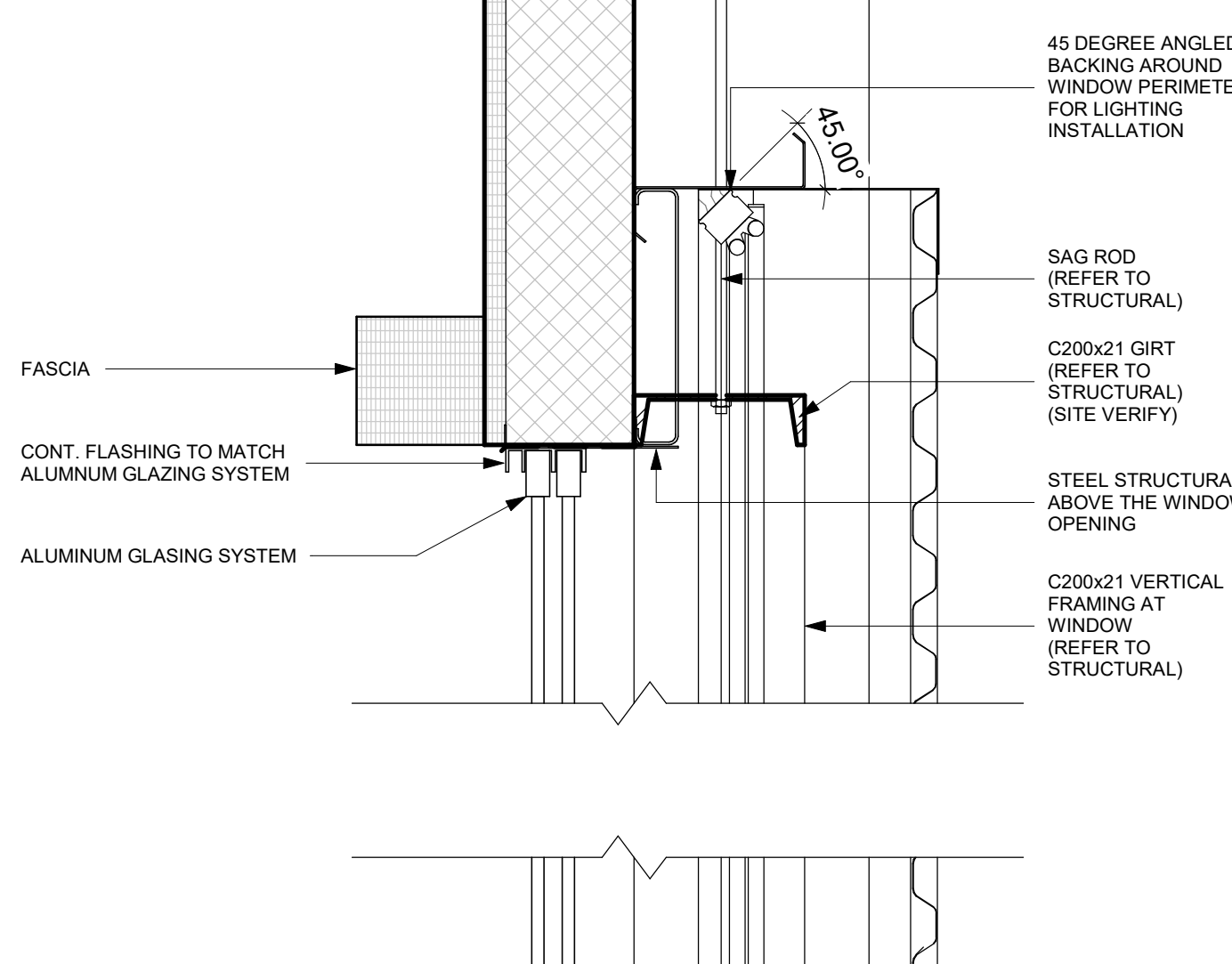
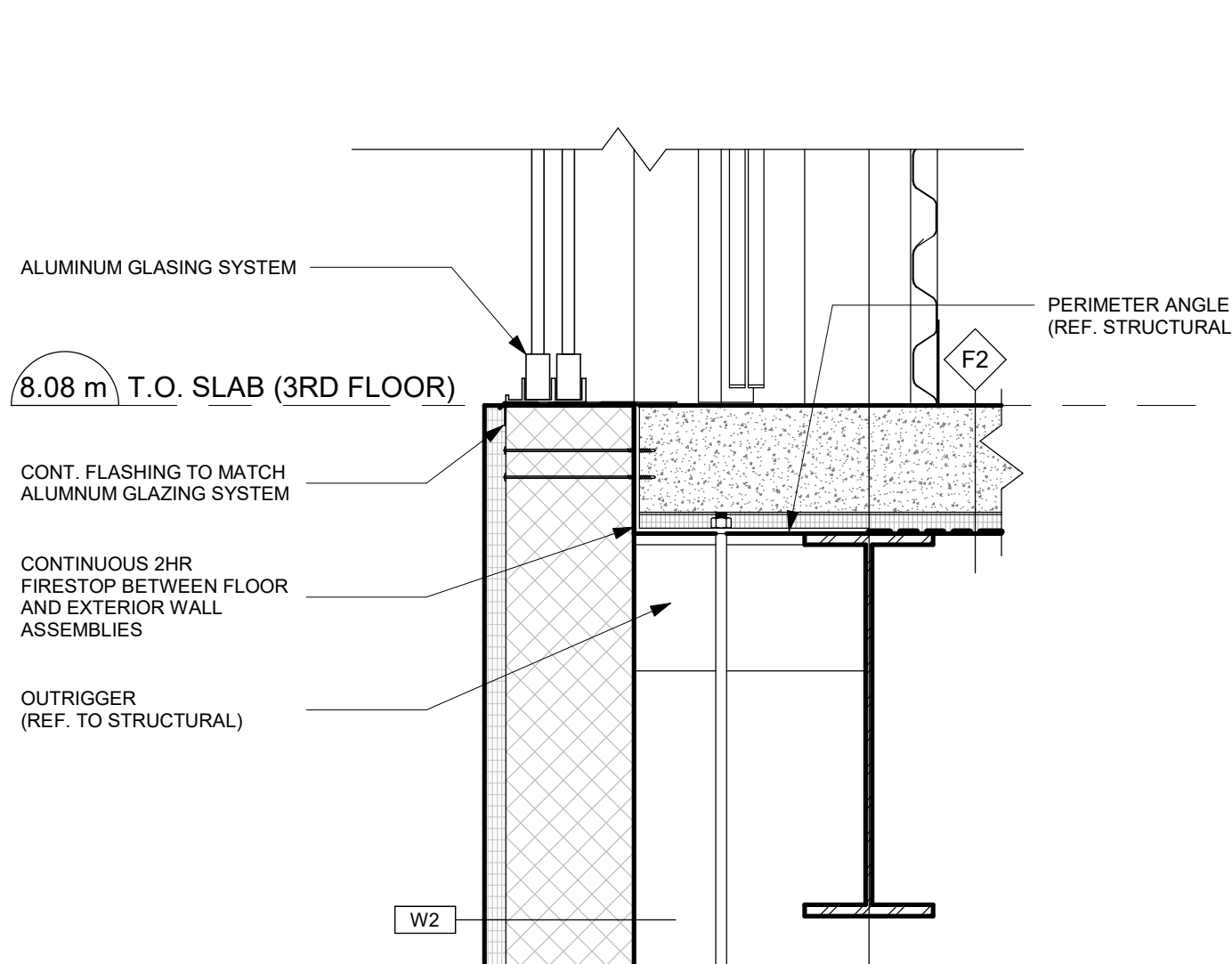
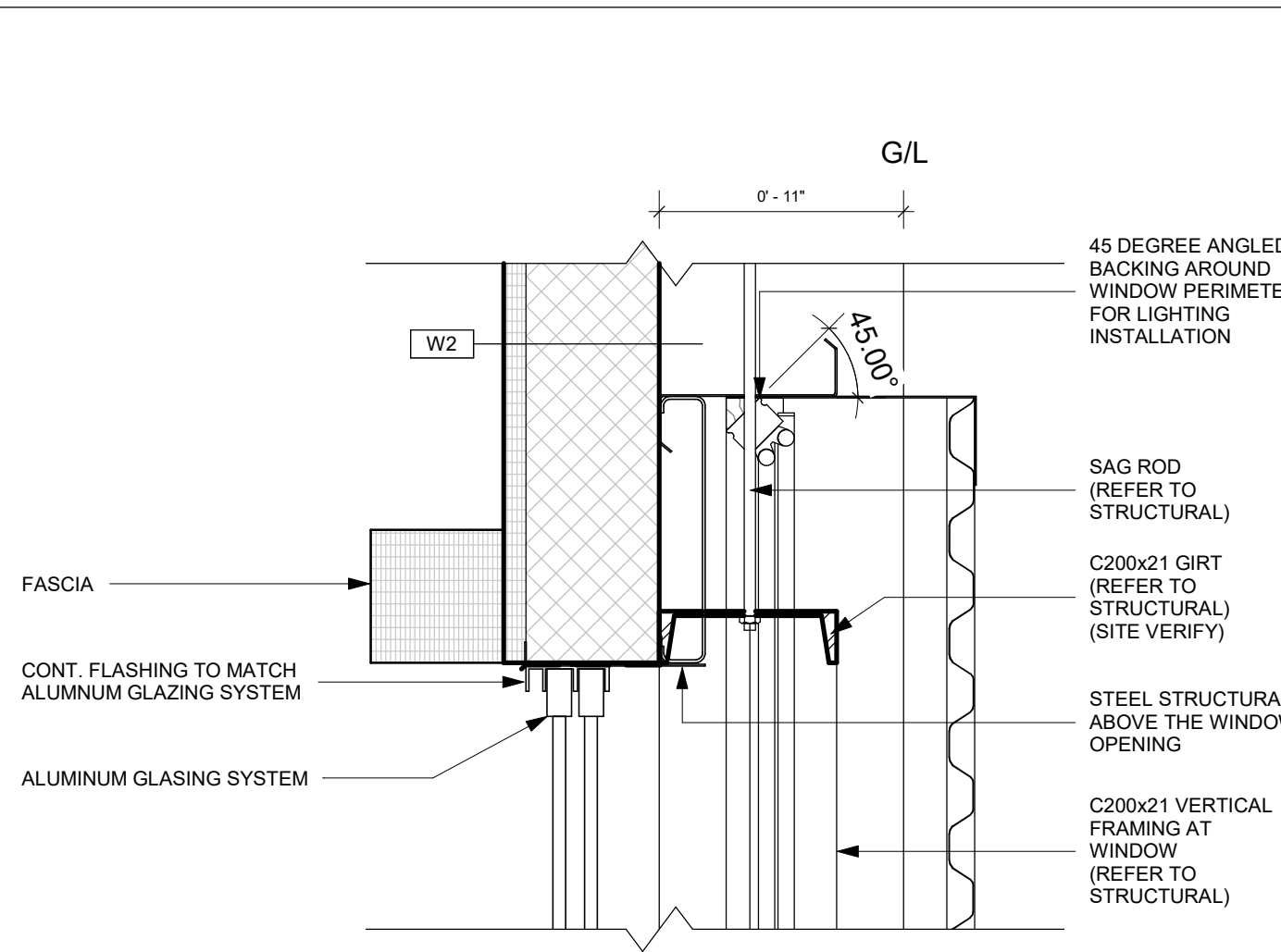
- BLDG A - ALL WINDOWS TO HAVE FRITTED GLASS
- WINDOW FRAMING BY MISCELLANEOUS METALS ENGINEER



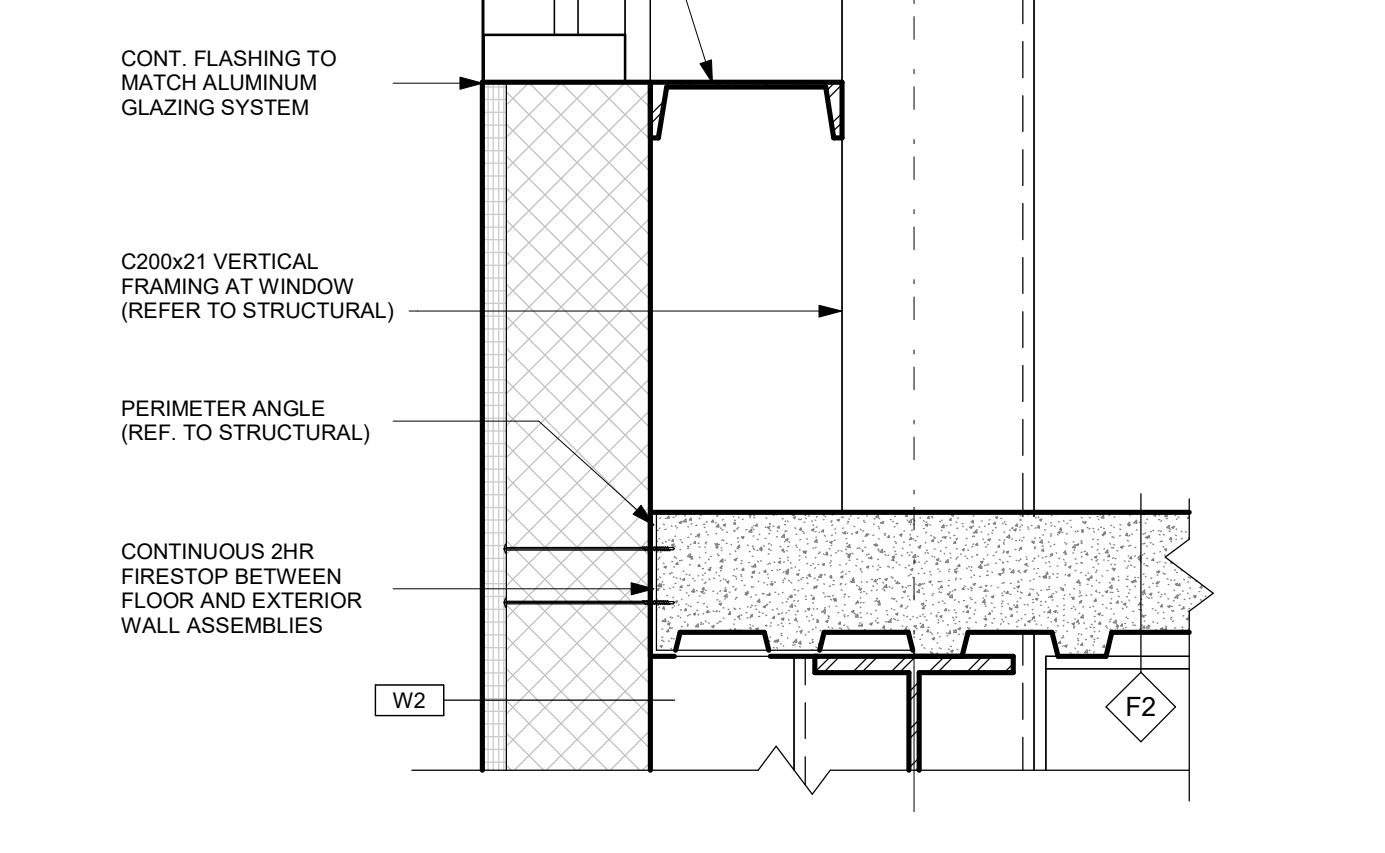
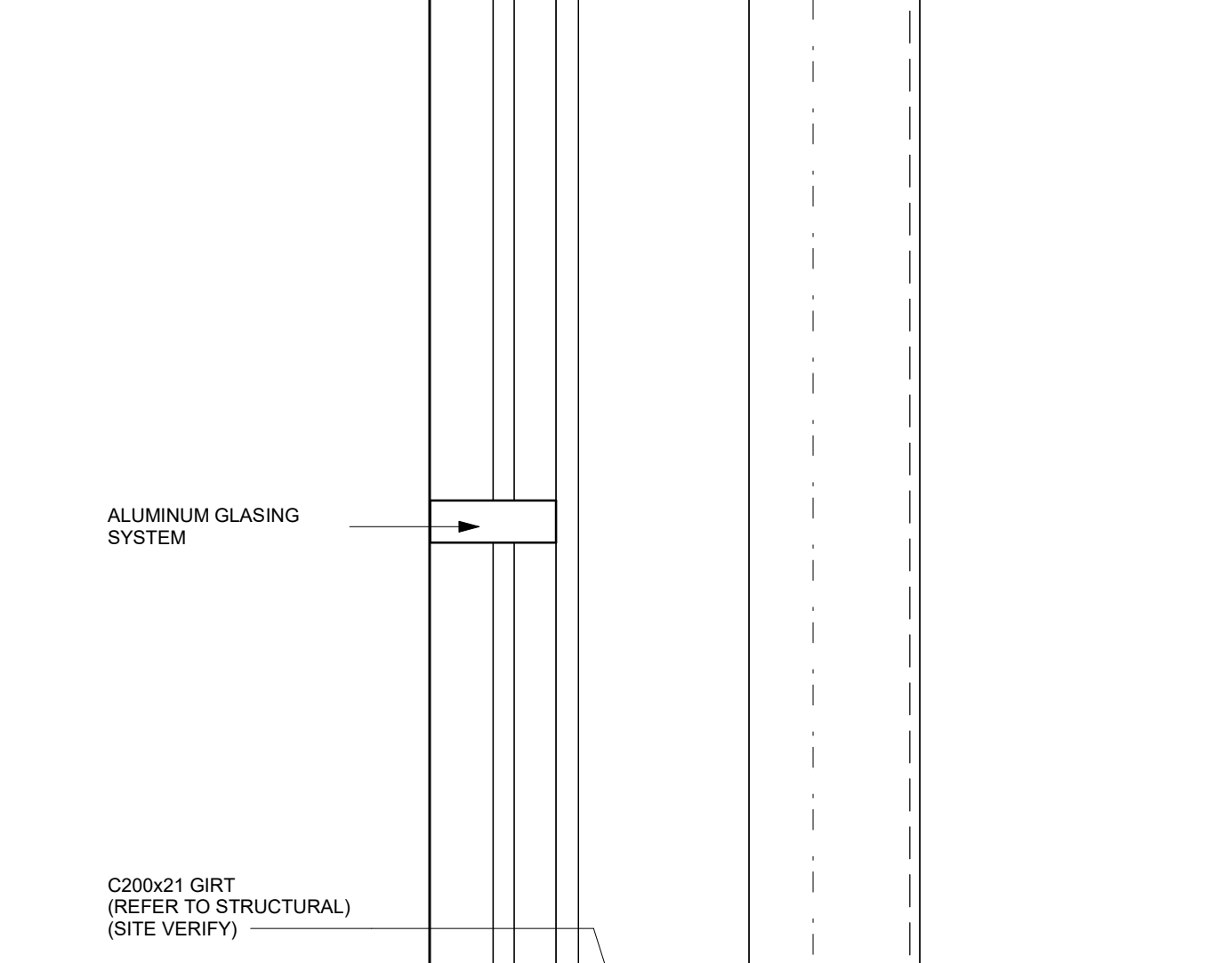
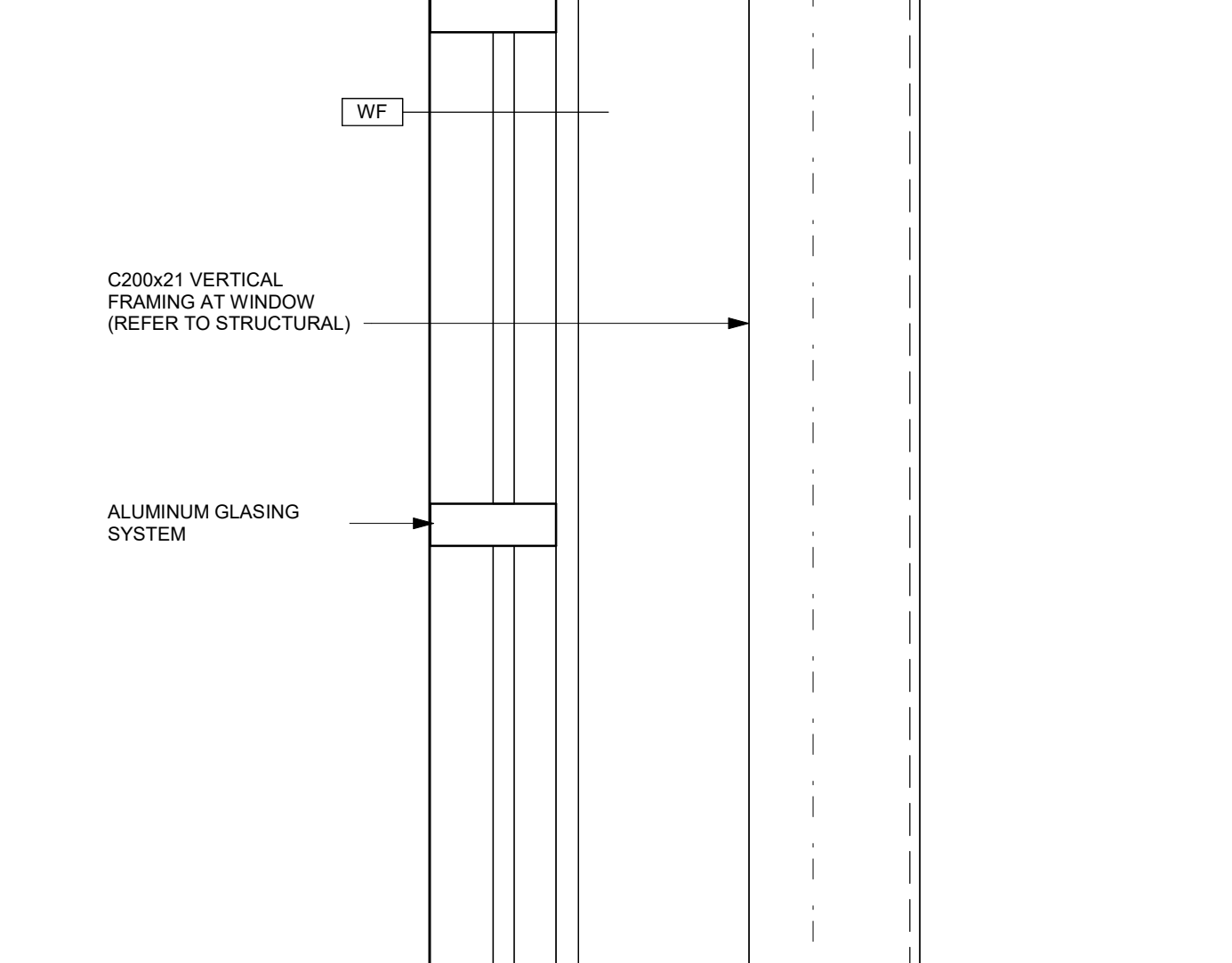
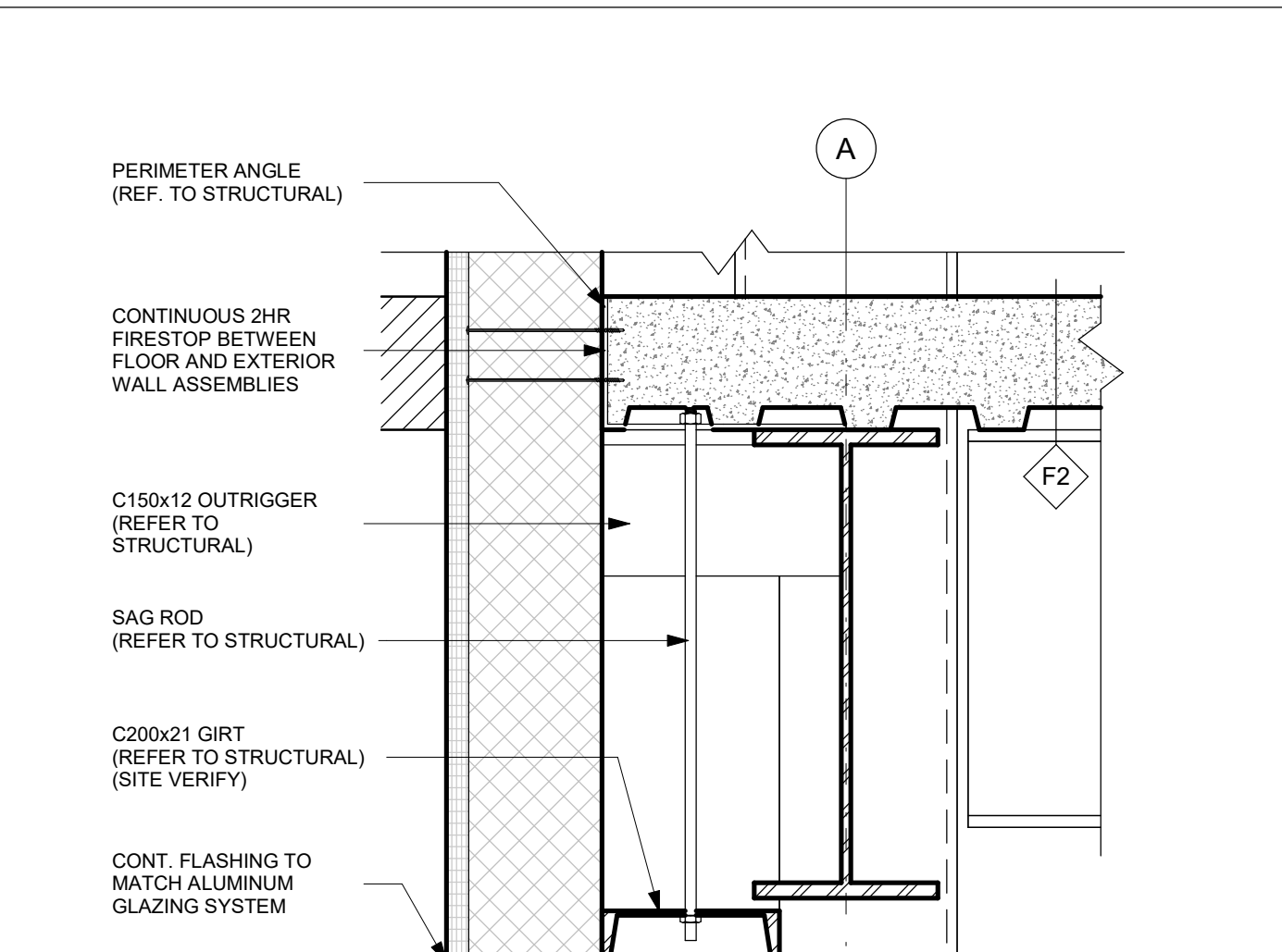
2 BLDG A - "WF" (FALSE)
 1/4" = 1'-0"



4 BLDG A - "WD" (DISPLAY LIT-UP) JAMB DETAIL
 3" = 1'-0"



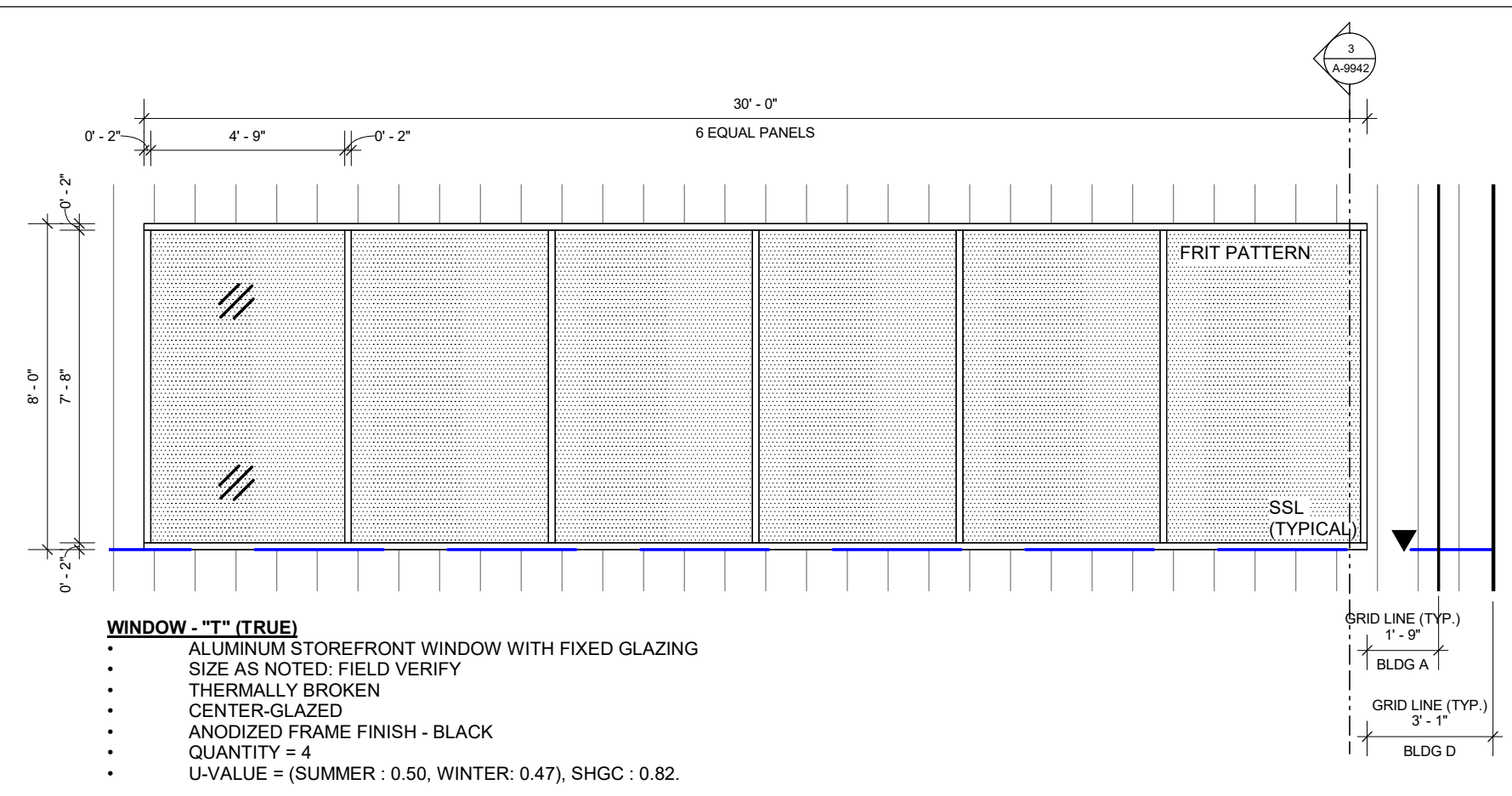
5 BLDG A - "WD" - SECTION
 1 1/2" = 1'-0"



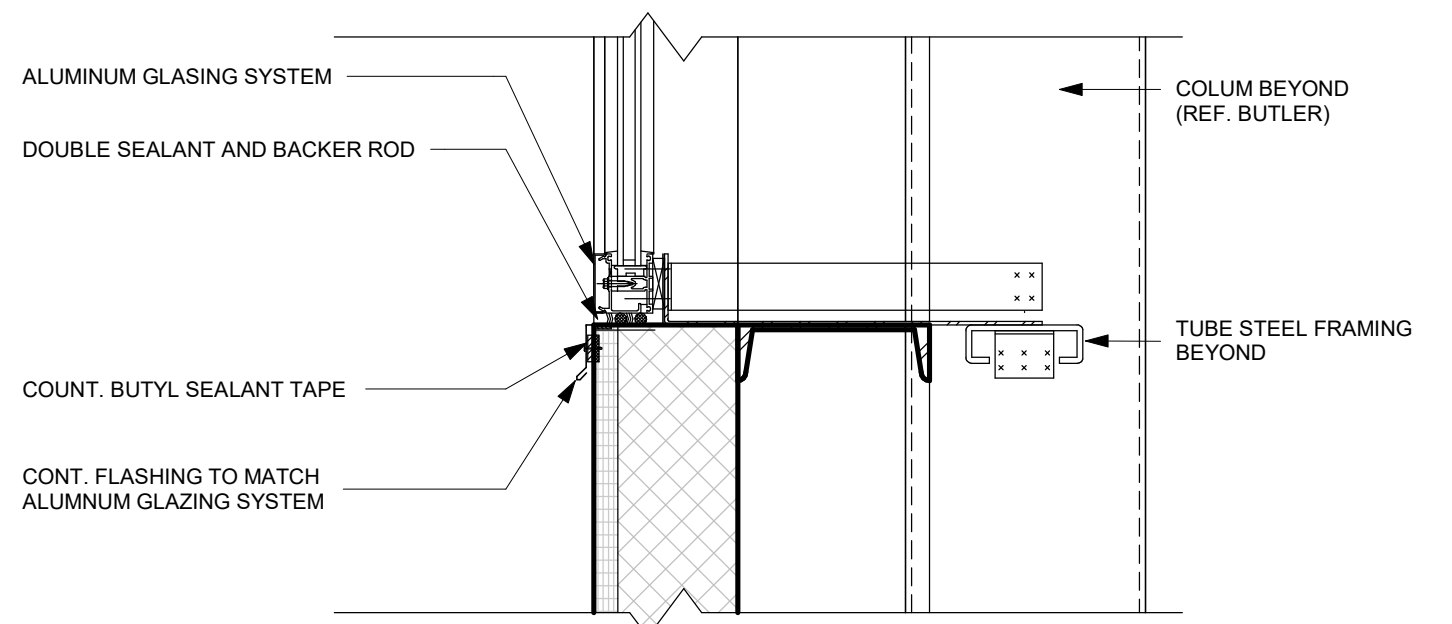
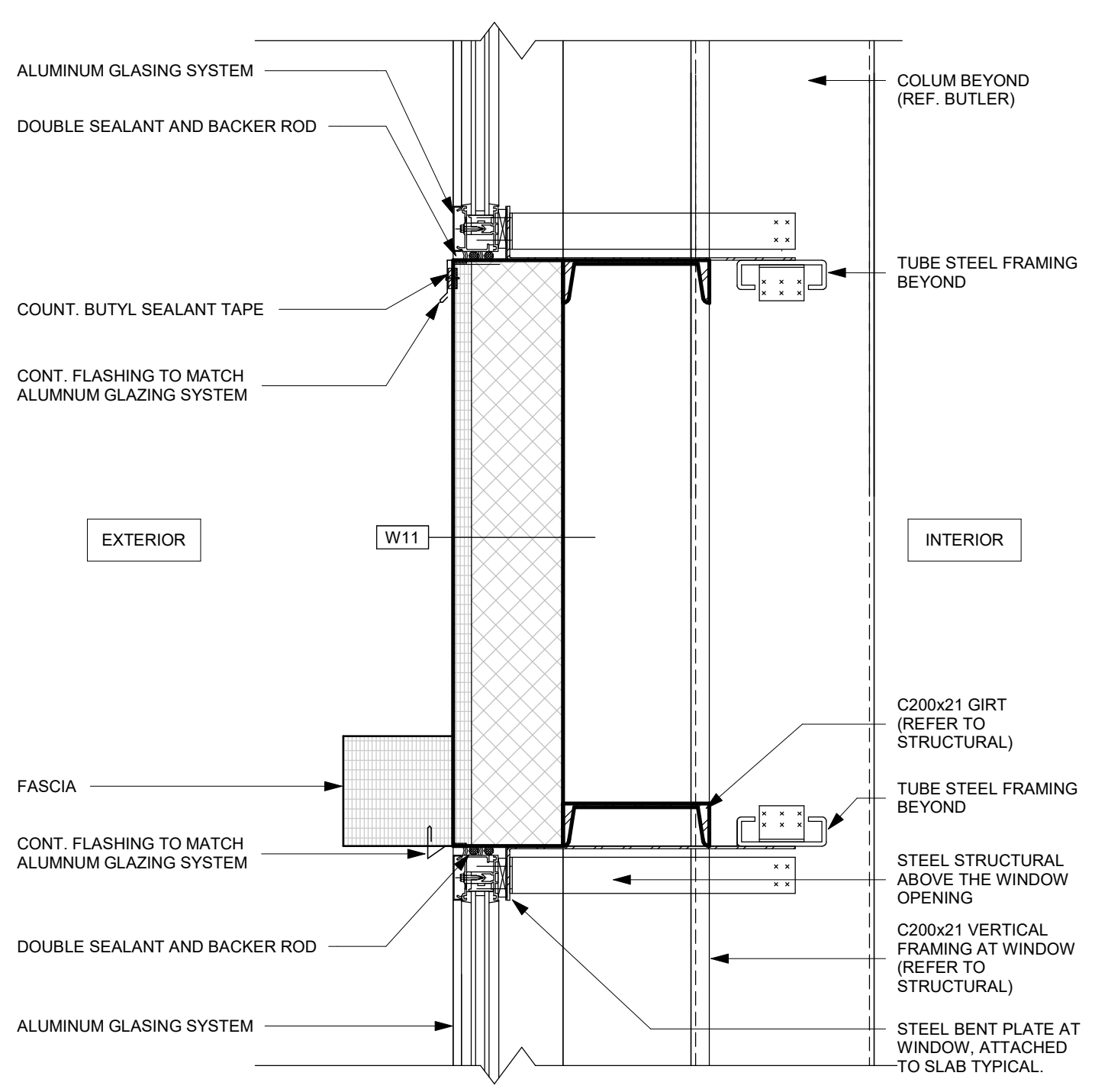
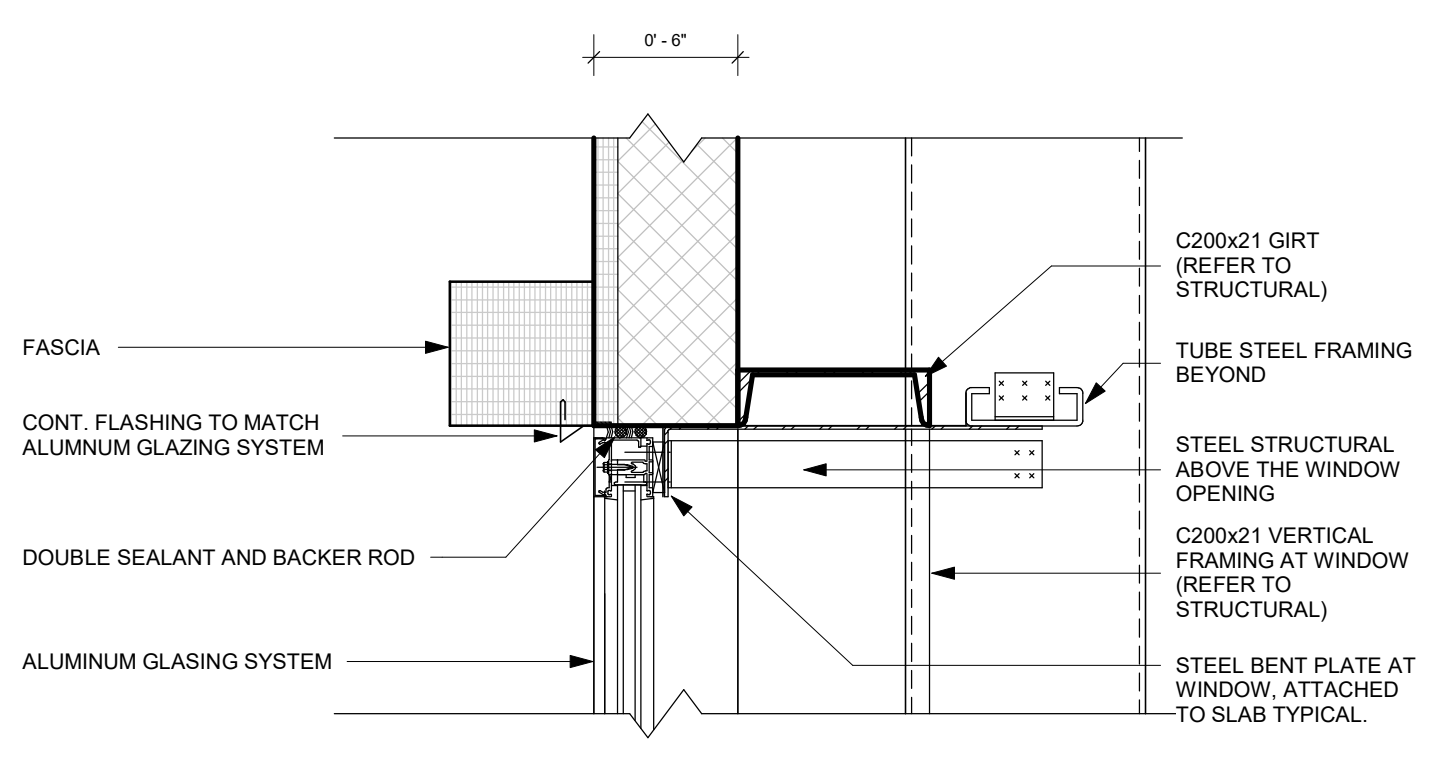
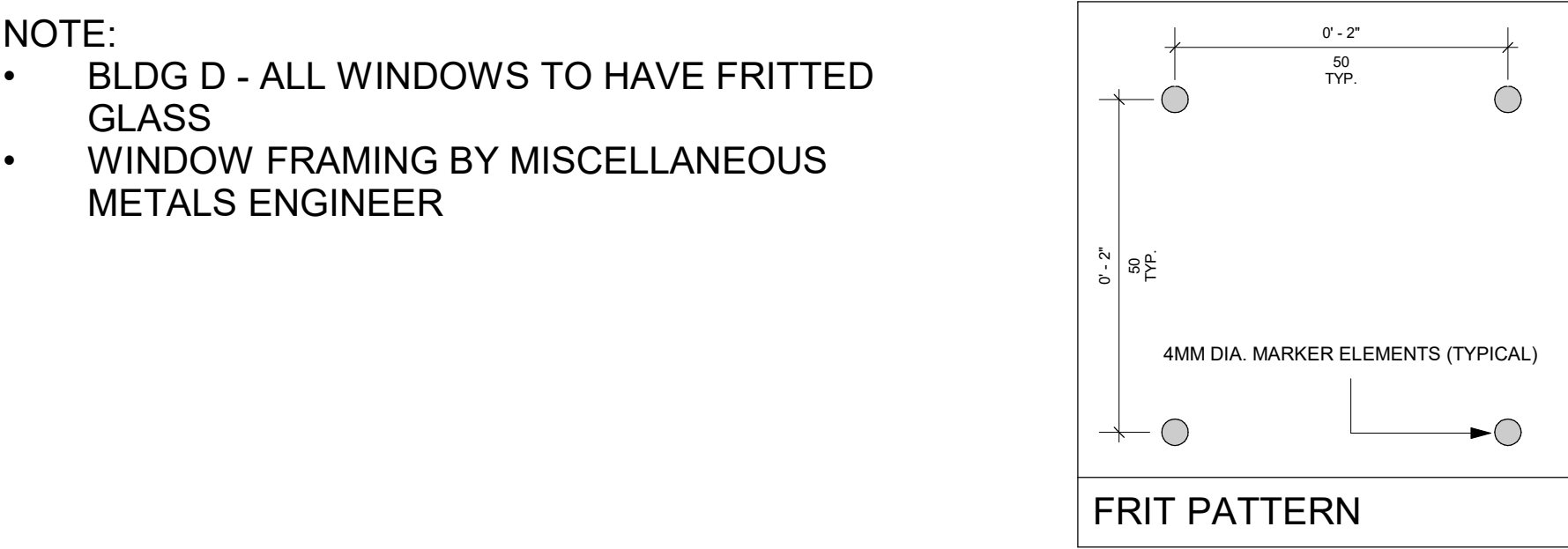
6 BLDG A - "WF" - SECTION
 1 1/2" = 1'-0"

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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2022-07-19
2	2ND RESUBMISSION - EIS / LANDSCAPE	2022-10-17
3	3RD RESUBMISSION - EIS / LANDSCAPE	2022-11-16
CONSULTANTS		
ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION: IBI GROUP - OTTAWA 333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5N4		
CIVIL / LANDSCAPE / PLANNING: NOVATECH 240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6		
GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS 1188 WOODWARD DRIVE, OTTAWA, ON, K2C 3R8		
CLELAND JARDINE ENGINEERING LTD 200-880 TERRY FOX, KANATA, ON, K2L 4B9		
STATE OF THE ART ACOUSTICK INC. 43-1010 POLYTEK STREET, OTTAWA, ON K1J 9J3		
J.D. BARNES LTD 103-62 STEACIE DRIVE, OTTAWA, ON K2K 2A9		
SENEZ CONSULTING LTD. 288 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7		
SEAL		
PRIME CONSULTANT		
IBI GROUP 400-333 Preston Street, Ottawa ON, K1S 5N4, Canada Tel: 613 225 1311 Fax: 613 225 9868 ibigroup.com		
PROJECT U-HAUL MOVING & STORAGE OF OTTAWA 30 FRANK NIGHBOR PLACE, OTTAWA, ON U-Haul Entity 942072		
PROJECT NO: 138165		
DRAWN BY: A. Chu	CHECKED BY: Y. Bilbeisi	
PROJECT MGR: Y. Bilbeisi	APPROVED BY: H. Semple	
SHEET TITLE BLDG A - WINDOW SCHEDULE AND DISPLAY BOX DETAILS		
SHEET NUMBER A-9941	ISSUE 3	

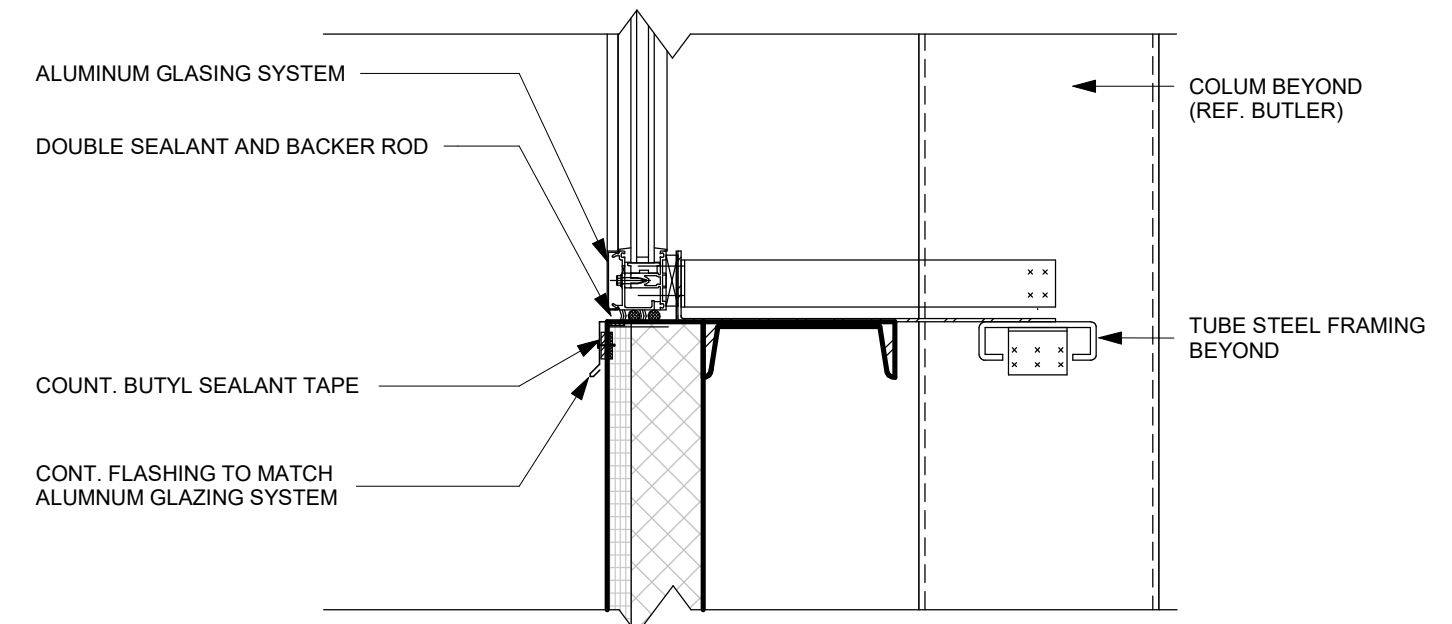
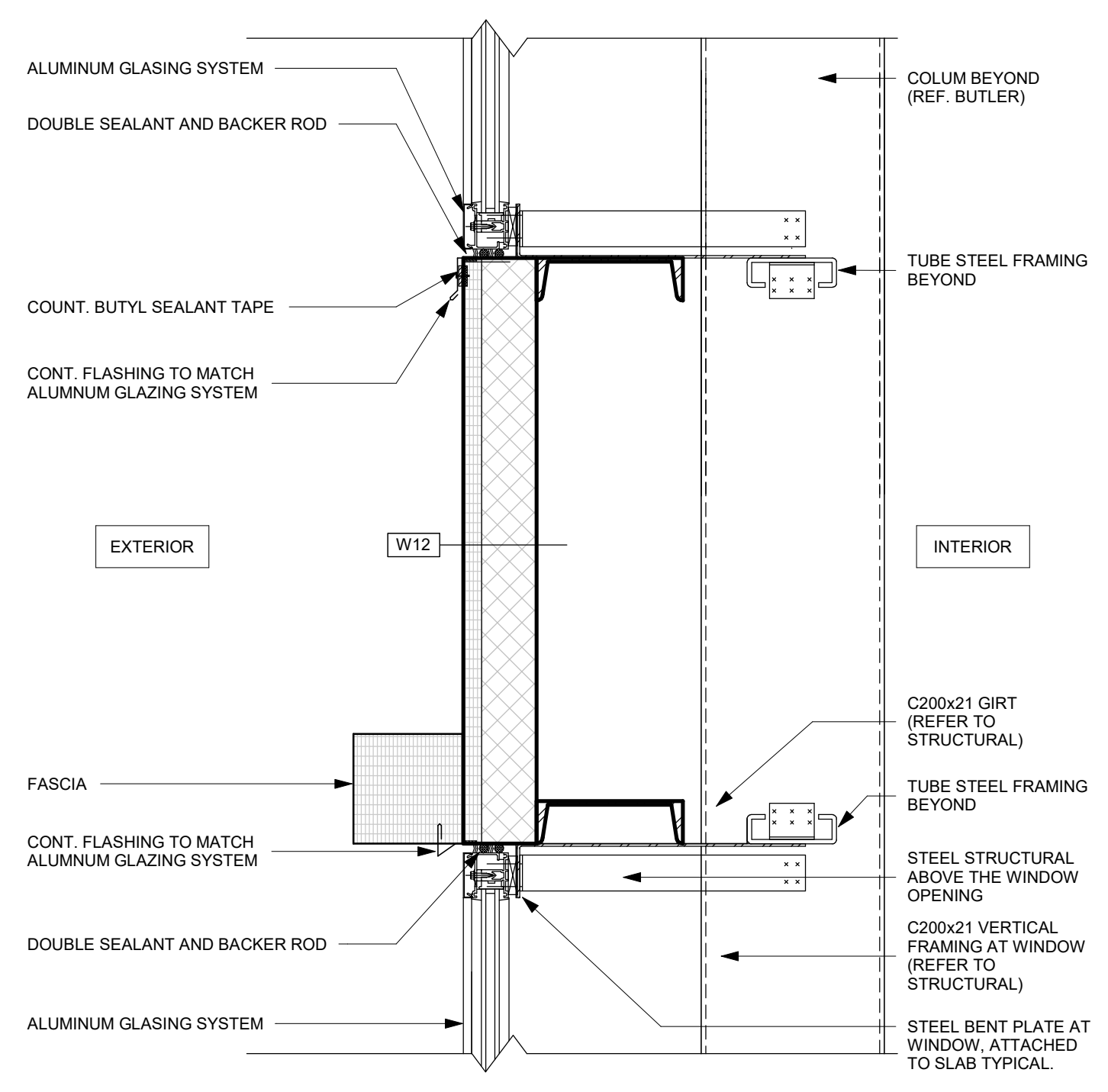
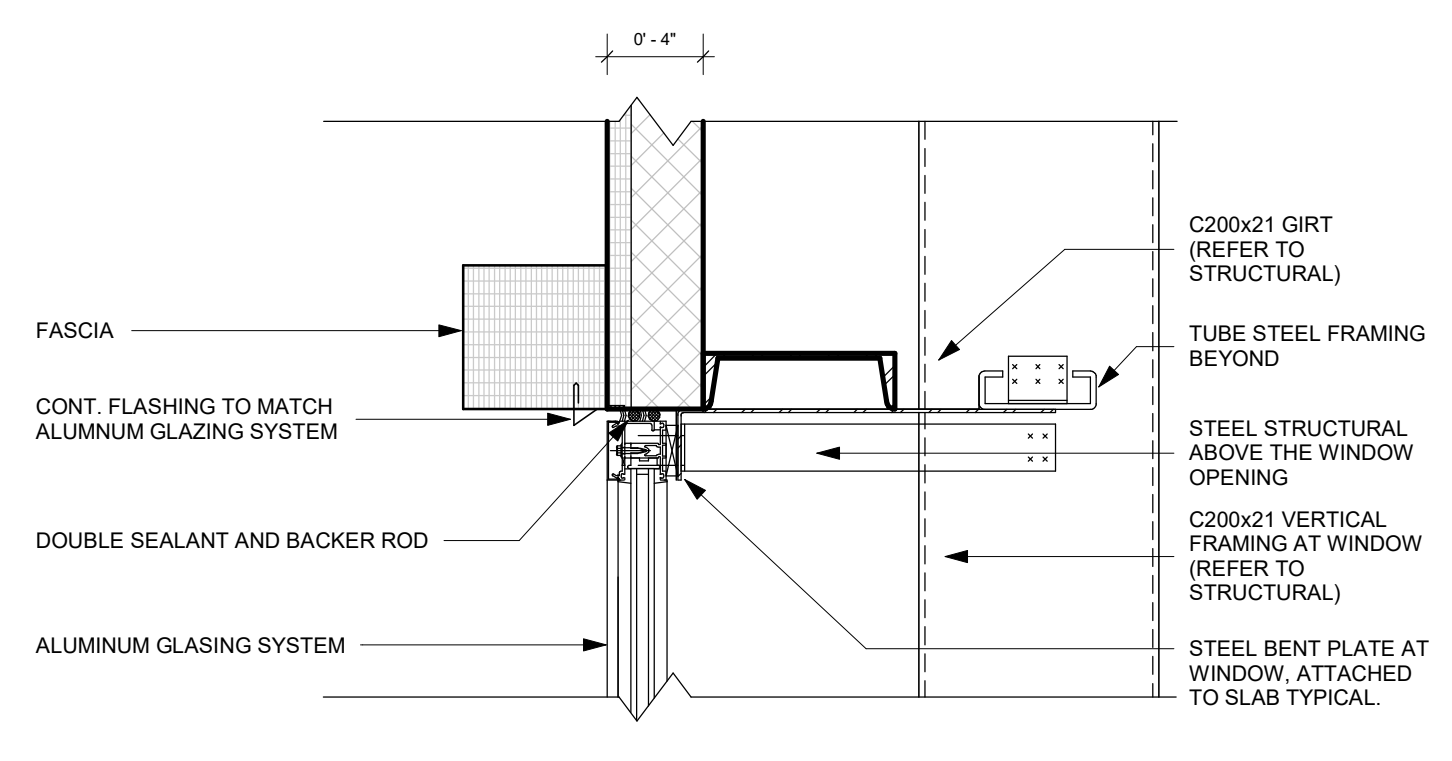
2022-12-06 1:17:46 PM



1 BLDG D - "WT" (TRUE) - ELEVATION
1/4" = 1'-0"



2 BLDG D - "WT" - SECTION - EAST
1 1/2" = 1'-0"



3 BLDG D - "WT" - SECTION - SOUTH
1 1/2" = 1'-0"

CLIENT
U-Haul CO. (Canada) LTD.

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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2022-07-19
2	RESPONSE TO PERMIT COMMENTS - BLDG D	2022-09-06
3	2ND RESUBMISSION - EIS / LANDSCAPE	2022-10-17
4	3RD RESUBMISSION - EIS / LANDSCAPE	2022-11-16

CONSULTANTS

ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION:
IBI GROUP - OTTAWA
333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5N4

CIVIL / LANDSCAPE / PLANNING: NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS
1188 WOODWARD DRIVE, OTTAWA, ON, K2C 3R8

CLELAND JARDINE ENGINEERING LTD
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STATE OF THE ART ACOUSTICK INC.
43-1010 POLYTEK STREET, OTTAWA, ON K1J 9J3

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SENEZ CONSULTING LTD.
288 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

SEAL

PRIME CONSULTANT

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Tel: 613 225 1311 Fax: 613 225 9668
ibigroup.com

PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entity 942072

PROJECT NO:
138165

DRAWN BY: A. Chu **CHECKED BY:** Y. Bilbeisi

PROJECT MGR: Y. Bilbeisi **APPROVED BY:** H. Semple

SHEET TITLE
BLDG D - WINDOW SCHEDULE AND DETAILS

SHEET NUMBER A-9942	ISSUE 4
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Autodesk Docs: 138165-Uhaul_Kanata R2022UHU07-NewBldg_Kanata.rvt

SCALE CHECK 1/4"